

**NEDLANDS**

# Design Guidelines

**Draft Version 5.0 | July 2024**

**RESERVE**

**H-U acknowledges and pays respect to the past, present and future Traditional Custodians and Elders of the Noongar nation and the continuation of cultural, spiritual and educational practices of Aboriginal and Torres Strait Islander peoples.**

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# 1 Masterplan Overview

## (1.1) Introduction

The proposed development will deliver a high quality residential and mixed-use precinct;

- The site will see an intergenerational development with varied housing options such as; townhouses, low rise and medium rise apartment buildings.
- Mixed-use offering for medical practitioners, cafes and small format retail.
- High quality public open space for the community including lush landscaping, mature trees, open space for exercise and activities.
- A development designed for Nedlands, connected to place, culture and the existing community.

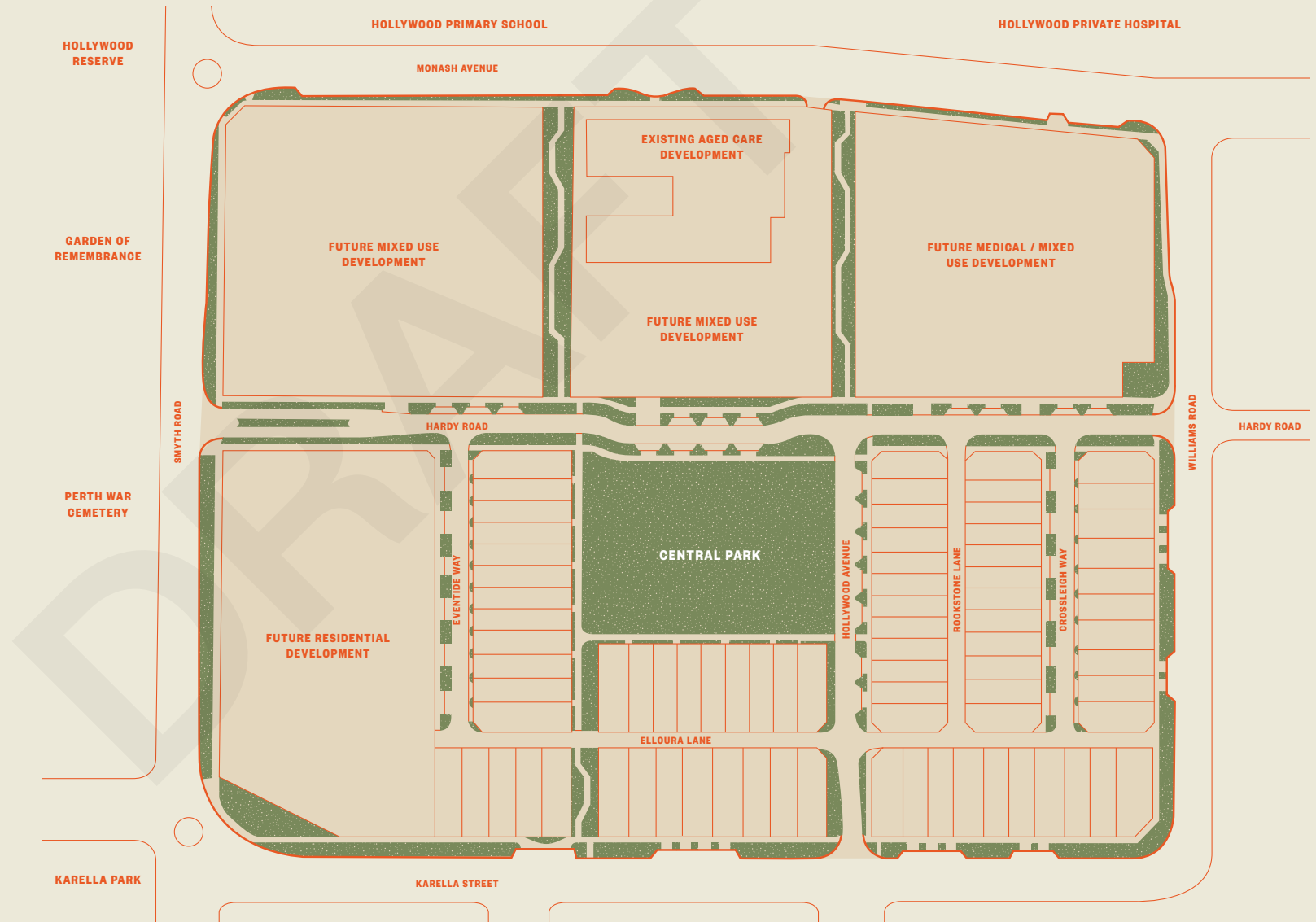


Figure 1 - Indicative Masterplan Layout

# 1 Masterplan Overview

## (1.2) Project Vision

Nedlands Reserve envisions a transformative residential precinct that embraces the established neighbourhood's rich community spirit. Leveraging this foundation, our development aims to create a vibrant and inclusive living environment, preserving the area's heritage while introducing modern amenities.

We commit to being a design exemplar, integrating architectural excellence that aligns with community values. Our holistic approach, blending form, function, and environmental harmony, ensures visually stunning and practical spaces.

Emphasising intentional green spaces, streetscapes, and communal areas, we foster urban links and neighbourly connections, encouraging a healthier, more active lifestyle. Nedlands Reserve Residential Precinct presents a revitalised community, offering contemporary lifestyle opportunities in the heart of the Western Suburbs. It stands as a commitment to building a socially connected, thriving community that stands as a beacon of sustainability and positive impact.

## (1.3) Project Objectives

### **Cultural Identity and Sense of Place**

Protection and celebration of First Nations and other cultural heritage through engagement and consultation in project design and delivery, to ensure the project responds to and is deeply rooted in connection to place.

### **Land Utilisation**

Optimise the use of underutilised land, to create a vibrant mixed-use community that enhances the area's appeal and vibrancy.

### **Housing Choices**

Introduce a diverse range of residential housing options to boost Nedlands' permanent population, offering a mix of housing typologies and affordability options, bolstering local businesses and the economy.

### **Active Green Spaces**

Create a landscape-focused precinct featuring green corridors, seamlessly blending existing urban green spaces with newly developed streetscapes and public areas. This commitment reflects sustainability and climate-conscious principles, emphasising a community-centric space for gathering, play, and passive recreation.

### **Enhance Public Amenities**

Improve the overall quality of urban public and landscape spaces, offering a welcoming and accessible environment for the local community and visitors alike.

### **Pedestrian First**

Develop transportation and pedestrian first infrastructure that integrates with existing networks, making the precinct accessible, pedestrian and cycle friendly, reducing traffic and promoting walkability within the area.

### **Economic Growth**

Contribute to the economic growth of Nedlands by attracting new businesses, promoting innovation, and supporting local enterprise.

### **Job Creation**

Generate employment opportunities not only during the project's development and construction phases but also throughout the long-term operational phase, including hospitality and healthcare sectors.

### **Sustainable Practices**

Incorporate sustainable and environmentally conscious design, construction, and operational practices to reduce the project's ecological footprint and contribute positively to the region's sustainability goals.

### **Community Engagement**

Involve the local community in the decision-making process, seeking their input and feedback to create a project that aligns with their needs and desires.

### **Safety and Security**

Implement measures to enhance safety and security within the precinct, ensuring a welcoming environment for all residents, workers, and visitors.

# 1 Masterplan Overview

## (1.4) Built Form Context

Nedlands features a diverse range of architecture that blends Art Deco, Californian Bungalow, and contemporary styles. Art Deco elements are evident in some homes, showcasing geometric shapes and decorative details. The influence of Californian Bungalow is seen in low-pitched roofs and inviting front porches.

Contemporary styles prevail, featuring clean lines, open layouts, and a focus on incorporating modern materials. The juxtaposition of these architectural influences creates a unique and vibrant character in the residential neighborhoods of Nedlands.



1. Californian Bungalow style. Photo: Timothy Kaye.
2. Art Deco style. Photo: Acton | Belle Property Dalkeith.
3. 123 House, Neil Cownie Architect. Photo: Traianos Pakioulakis.
4. The University of Western Australia. Photo: DMax Photography.
5. Victoria House, MJA Studio. Photo: Dion Robeson.
6. Yilgarn St, Klopper & Davis Architects. Photo: Dion Robeson.

Architectural Styles throughout the City of Nedlands.

## 2 Purpose & Structure

### (2.1) Purpose

The Design Guidelines will ensure that development at Nedlands Reserve will respond to the site's location, context and topography, while enhancing the area's amenity and character. The Design Guidelines prioritise high quality built-form, environmentally sustainable practices and excellent livability for residents, to craft a distinctive and lasting community.

### (2.2) Structure & Use

#### (i) Design Objectives

The Design Objectives define the design intent that forms the basis of the Development Controls.

#### (ii) Development Controls

The Development Controls are established standards that ensure the fulfillment of the Design Objectives. Applicants must complete a checklist to confirm their level of compliance with these controls (refer to Appendix B Application Checklist).

#### (iii) Design Guidance

The design guidance section suggests additional measures that can help a residence attain greater levels of sustainable design, neighbourly interaction, and architectural character.

#### (iv) Block Diagrams

Block-specific building requirements establish development criteria tailored to each individual lot.

### (2.3) Discretion (Innovation & Alternative Design Approach)

To foster innovation, applicants may align with the project vision and objectives through alternative design and development approaches.

Innovative design solutions may be considered at the discretion of the Estate Architect, provided that:

- The proposal aligns with the overall project objectives outlined in the design guidelines, relevant policies, and other requirements of the Nedlands Reserve Precinct Structure Plan.
- There is sufficient justification and specific circumstances that warrant a deviation from the Development Controls.
- Each development application will be evaluated based on its individual merits. Approval of an alternative solution does not set a precedent for other projects.

For clarity, certain terms are defined in Appendix B – Definitions.

### (2.4) Planning & Policy

Design Guidelines are to read in conjunction with Residential Design Codes (R-Codes) and Nedlands Precinct Structure Plan. The Design Guidelines include variations to the R-Codes and additional controls relating to built form, materials and finishes.



The University of Western Australia

# 3 Approval Process

Before submitting to the City of Nedlands (CoN), all developments must undergo review and assessment by the Nedlands Reserve Design Panel (NRDP) to ensure they meet the necessary architectural and built form standards.

The following steps detail the process of designing, submitting, and obtaining approval for developments within Nedlands Reserve.

All requests for endorsement must be submitted via email to [design@nedlandsreserve.com.au](mailto:design@nedlandsreserve.com.au)

## 1. Design Endorsement

The applicant shall submit a completed Design Guidelines assessment (including schematic design plans and Application Checklist - refer Appendix B) to the NRDP.

- The NRDP issues a written response to the applicant, either confirming that the design plans meet the Design Guidelines requirements or requesting additional information / plan revisions.
- If revisions are necessary, the applicant must adjust the design plans and resubmits the final design concept to the NRDP for endorsement.

## 2. Detailed Design Endorsement

The applicant shall submit detailed design drawings and specifications for building permit to the NRDP.

- The NRDP will then evaluate the plans to confirm that the original design concept has been preserved and that all detailed design endorsement requirements have been met.
- The NRDP issues a written response to the applicant, either endorsing the detailed design plans for submission to the CoN or requesting additional information / plan revisions.
- If revisions are necessary, the applicant must adjust the detailed design plans and resubmits the final drawings to the NRDP for endorsement.
- Once the above steps are complete, an application for a Building Permit may be made to the CoN accompanied by the NRDP's statement of endorsement.
- If the applicant cannot obtain the endorsement of the NRDP, they can still apply for Planning Approval and/or a Building Permit from the

CoN. This application must include the written response given to the applicant by the NRDP.

## 3. Building Permit / Planning Application

Prior to commencing any site works or construction, applications for Planning Approval and/or Building Permit a must be lodged with the CoN along with the NRDP statement of endorsement or written feedback.

If the applicant makes modifications to the development plans after submission to the CoN, they must seek written endorsement or feedback from the NRDP regarding the changes and submit this endorsement or feedback to the CoN along with the revised plans.

## 4. Withdrawal of Cavet

To ensure adherence to the Design Guidelines, a caveat will be placed on the Certificate of Title for all lots, specifying the sale conditions. This caveat remains until the development is finished as per the approved plans. The NRDP will undertake a site inspection to confirm all aspects of the development have been completed in accordance with the Planning Approval/Building Permit.

## Nedlands Reserve Design Panel Endorsement

- Approval by the NRDP does not constitute a local government planning or building license approval.
- Incomplete applications will not be accepted. All Submission Requirements must be provided.
- Any external changes to the home design or selections after the NRDP approval has been provided will need to be resubmitted.
- The NRDP's approval is based on compliance with the Design Guidelines and is at the sole discretion of NRDP.
- These Design Guidelines do not replace or override the statutory planning requirements of the City of Nedlands.
- The NRDP does not assess the schematic or detailed design plans for adherence to the R-Codes. For specialist planning advice prior to Building Permit / Planning Application with CoN, please engage a planning consultant.
- Where a design proposal is consistent with the vision for Nedlands Reserve but does not fully comply with these Design Guidelines, the NRDP may approve the design on its merit. This does not create a precedent and all design variations will be assessed on an individual basis.

## 4 Existing Context

### (4.1) Site Context

Nedlands Reserve is located approximately 6km south west of the Perth CBD, within the City of Nedlands local government area. The nearest railway station is Karrakatta Station, approximately 1km west of the site, which is served by the Airport Line and Fremantle Line on the Transperth network.

The site covers approximately 7.4Ha and is broadly bounded by: Hollywood Primary School and Hollywood Hospital to the north; established residential development to the east and south; and Hollywood Reserve, Perth War Cemetery and Karrakatta Cemetery to the west.

Other destinations in proximity to the site include the Swan River, Kings Park, Sir Charles Gairdner Hospital, the University of Western Australia, and the vibrant retail and dining precinct along Hampden Road.



Current Aerial Context

## 5 Precinct Guidelines

This section provides guidance to assist in the design process to ensure that it meets the established vision of the development.

### (5.1) Site Planning, Orientation, Setbacks and Open Space

#### Design Objectives

- To ensure well planned, livable homes.
- To ensure homes are well sited, maximising benefits of local climatic conditions.
- To ensure setback provisions result in cohesive streetscape and built form configurations.

#### Development Control

- DC1 Development to comply with requirements of block diagrams (Refer Section 6).

### (5.2) Built Form Character

#### Design Objectives

- Enhancing the aesthetic appeal and environmental responsiveness of all residences within the Nedlands Reserve Masterplan.
- Creating diversity, architectural articulation, and engagement at street level and public realm
- To achieve contemporary high quality built form outcomes.

#### Development Control

- DC2 Building elevations shall be articulated through the use of materials, colours and textures, and by the integration of projected and recessed elements such as built form projections, screens and balconies.
- DC3 Corner lots should feature architectural interest that enhance visual appeal while also considering the aesthetic address to side street boundary.
- DC4 Balcony balustrades shall be minimum 50% visually permeable. Glass balustrades are prohibited.
- DC5 In addition to compliance with lot specific guidelines, all dwellings shall be a minimum two storeys at the primary frontage.

### (5.3) Crossovers, Access & Parking

#### Design Objectives

- Enhance street visibility and safety by ensuring building entrances are easily identifiable from the street.
- Integrate vehicle crossover locations with surrounding streetscapes or laneways, preserving safety and aesthetic appeal.

#### Development Control

- DC6 Only one crossover is permitted per lot. In all circumstances vehicle access is to comply with requirements of block diagrams (Refer Section 6).
- DC 7 Crossovers and vehicle access paths must be constructed using materials that match the verge hardscaping, whether existing or proposed. Asphalt crossovers are prohibited.
- DC 8 Pedestrian entrances shall be clearly defined and separate from vehicle access.
- DC 9 Properties adjacent to public open spaces must offer direct pedestrian access from the property to the public area.

### (5.4) Design Variation

#### Design Objectives

- To emphasise the significance of promoting visual variation and contextual relevance by prioritising diverse design, contextual variety, innovative materials, and built form articulation.

#### Development Control

- DC10 Where multiple dwellings of the same design abut each other, the primary elevations shall vary. In any row, there shall be no more than three dwellings with the same design.

# 5 Precinct Guidelines

## (5.5) Materials & Colours

We advocate a contextual approach to building articulation and use of materials, ensuring they resonate with the local environment and cultural heritage. We encourage a diverse colour and material palette, that reflects Nedlands richness and complexity, fostering a dynamic and authentic urban fabric, visually appealing streetscape and sense of place.

### Design Objectives

- Enhance facade aesthetics by incorporating articulated architectural features for added visual interest.
- Implement a contextual approach to facade design, integrating diverse materials, textures, and colours that harmonise with the surroundings.
- Enhance architectural language to foster a dynamic and visually engaging streetscape environment.
- Craft a cohesive visual identity that preserves the distinct character and essence of Nedlands Reserve.
- Embrace sustainable principles and practices to align with environmental objectives outlined in the sustainability section.

### Development Control

- DC11 Highly reflective materials that could cause glare and discomfort are not permitted.
- DC12 A palette of high quality materials shall be incorporated. Consider durable, weather resistant materials that complement

the existing character of the area. Refer to indicative material palette.

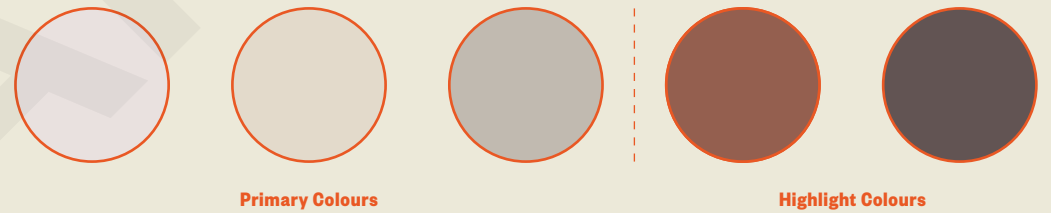
- DC13 All building elements including external walls facing a neighbouring lot are to be designed to and constructed as a quality building elevation.
- DC14 Colour selection shall be limited to a complementary palette. Fluorescent colours are not permitted.

### Design Guidance

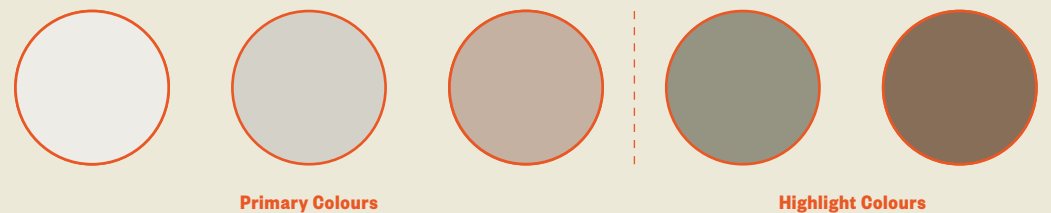
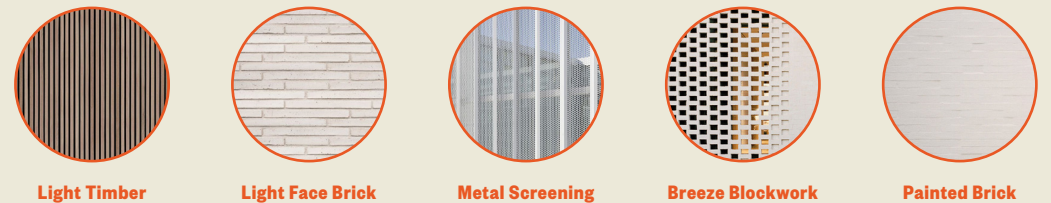
- The use of sustainable & renewable material is encouraged. This may include the following;
  - ◊ Use of low emission products on internal surfaces, including: paints; sealants; adhesive; and floor coverings are encouraged.
  - ◊ Use of low-VOC and low formaldehyde emission for composite and engineered wood products.
  - ◊ Use of low-carbon concrete in footing and slabs, and pre-cast panel.
  - ◊ Use of Programme for Endorsement of Forest (PEFC) endorsed timber.
  - ◊ Use of PVC with recycled content, or ISO 14001 certified.

Figure 2 - Indicative Materials & Colour Palette

### Heritage Theme



### Parkland Theme



## 5 Precinct Guidelines

### (5.6) Roof

The roof contributes to the streetscape aesthetic while serving as a barrier against the elements, including sun exposure. Prioritising roof forms for optimal solar access in winter and shading in summer is a primary objective.

#### Design Objectives

- Facilitate solar access between dwellings.
- Maximise winter solar access.
- Minimise summer heat gain through the roof.
- Reduce visual impact of roofs from surrounding areas.

#### Development Control

- DC15 Roofing materials including shading structures shall not be dark coloured and shall have a Solar Absorptance (SA) value of less than 0.4

#### Design Guidance

- Roof ventilation is encouraged to all roof spaces.

### (5.7) Outbuildings and Utility Areas

Inadequate design of outbuildings and their service components can diminish the quality of a well-designed dwelling.

#### Design Objectives

- Ensure integration of outbuildings and services to primary dwelling.
- Minimise visual and acoustic disturbance from services to public areas, occupants, and neighbours.

#### Development Control

- DC16 Where visible from the public realm, outbuildings shall be constructed of the same or complementary materials as the primary dwelling.
- DC17 All services, including conduit and air-conditioning condensers shall be screened or concealed from view on primary, secondary and tertiary elevations or integrated into the house design.
- DC18 Clothes drying area shall be provided and screened from public view.
- DC19 Bin storage areas for minimum of three bins shall be provided and screened from public view.

### (5.8) Vehicle Parking

#### Design Objectives

- To ensure vehicle crossover and parking areas do not adversely impact the visual amenity of the streetscape and are integrated into the built form.

#### Development Control

- DC20 All garage/carport doors shall have a 6m maximum width.
- DC21 Colour and material of the garage/carport door shall match or complement the main dwelling.
- DC22 Garage/carport doors may be perforated/permeable but are not permitted to have large format patterns. Roller doors are not permitted.

#### Design Guidance

- Permeable and covered carports are encouraged.

### (5.9) Ancillary Dwellings

#### Design Objectives

- To establish environments that foster appropriate increased density and provide activation and passive surveillance of laneways.

#### Development Control

- DC23 Ancillary dwellings above garages are encouraged. Design shall be complementary to the main dwelling through consideration of design response to scale, roof design, detailing, window size, material, colour and quality.

#### Design Guidance

- Include sub-metering for electricity and water to ancillary dwellings.

## 5 Precinct Guidelines

### (5.10) Fencing

#### Design Objectives

- To create safe, well designed and visually cohesive fences that foster visual openness, activate the streetscape, facilitate airflow, and harmonise with the architectural character of Nedlands.

#### Development Control

- DC24 Colorbond, brush, glass balustrade and corrugated fibre cement fencing is not permitted. Fences shall be constructed of a material to compliment the dwelling.
- DC25 Any modification to existing or new retaining walls are to be constructed in the same materials and colours as existing retaining walls.
- DC26 Fencing to secondary and tertiary streets may be a maximum of 1.8m high and visual permeability above 1.2m is encouraged.

### (5.11) Shading

The optimal approach to shading windows involves employing external shading devices such as eaves, canopies, screens, louvres, trees, and pergolas.

#### Design Objectives

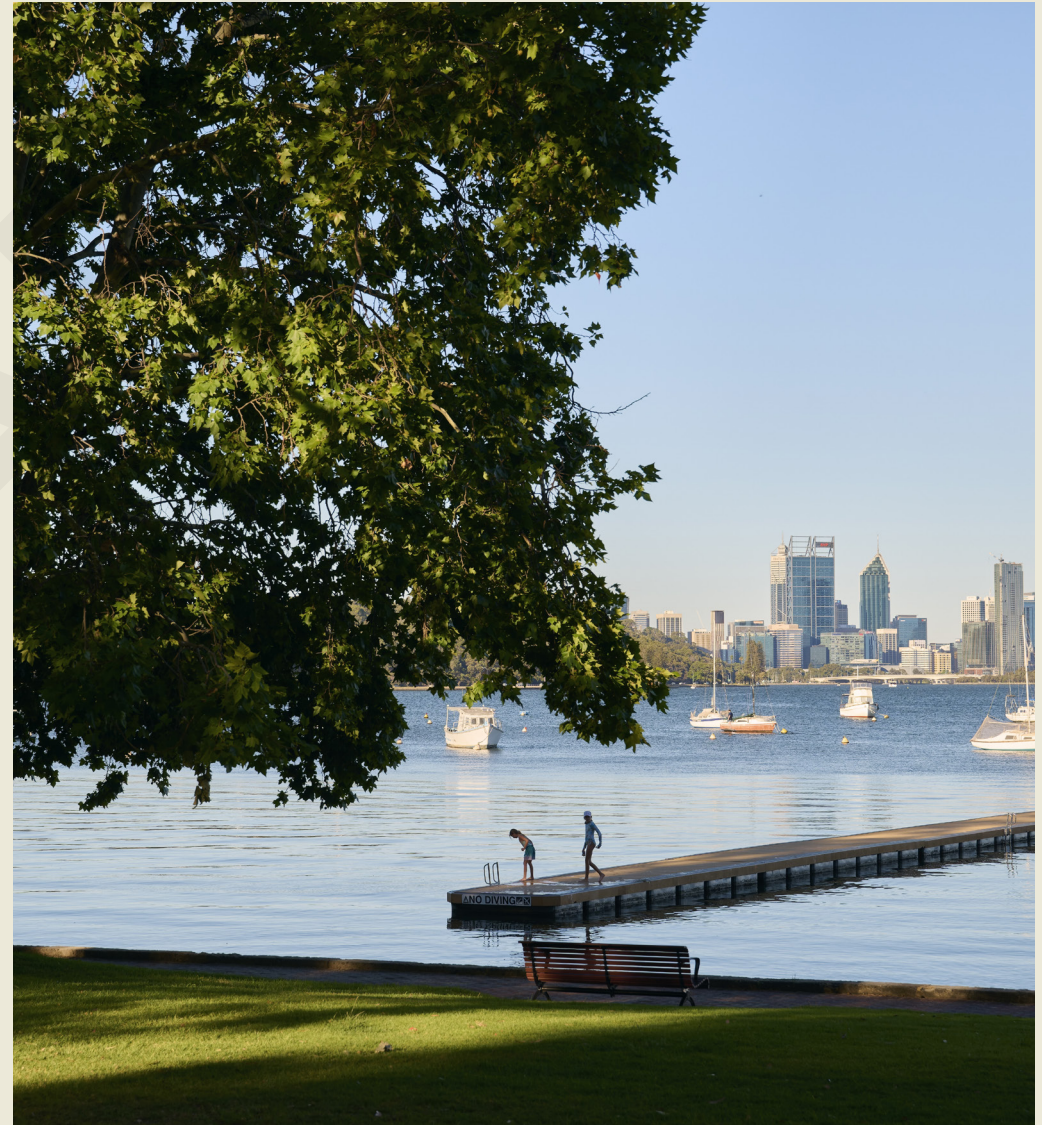
- Decrease the cooling energy needs of dwellings.

#### Development Control

- DC27 Openings shall be shaded to prevent solar penetration from September to March. Roller shutters are not permitted.
- DC28 Use of shade cloth is not permitted.

#### Development Guidance

- Consider the orientation of the home and the path of the sun throughout the day to strategically place shading devices where they can provide the most effective coverage during peak sunlight hours.
- Install adjustable blinds, shades, or curtains on windows to allow for control over the amount of sunlight entering the home, particularly during the hottest parts of the day.
- Integrate shading considerations into the overall design of the dwelling, to create a cohesive and functional shading solution that complements the architectural character.



Matilda Bay

## 5 Precinct Guidelines

### (5.12) Sustainability

The way we design and plan for energy and water consumption in our homes can reduce operational expenses and promote sustainable practices for the future.

During the design phase, a few key choices can notably enhance your dwelling's thermal efficiency. Factors such as floor area, wall construction, and the ability to compartmentalise will impact thermal performance. Proper implementation of these factors can lower ongoing energy expenses and enhance comfort for residents.

#### Design Objectives

- To provide high performance homes that minimise energy use, supply renewable energy, support ecosystem heathy, and maximise the comfort and satisfaction for occupants.

#### Development Control

- DC29 Houses shall achieve a minimum 7.5-star NatHERS rating.
- DC30 Energy Rating shall be undertaken by an accredited energy assessor with NatHERS Software (Deemed-to-Satisfy assessment is not accepted).
- DC31 Permitted hot water systems include:
  - ◇ Heat pump systems (it is recommended that you select one that uses a low Global Warming Potential refrigerant such as propane (R290) or CO2 (R744)); or
  - ◇ Electrically boosted solar thermal hot

water systems that are oriented within 60 degrees west and 30 degrees east of north and tilted as per the manufacturer's recommended optimal tilt.

- DC32 A photovoltaic system providing minimum 3.5kW per dwelling shall be installed.
- DC33 Air-conditioning systems shall be minimum 4-star energy rating, sized appropriately for the volume of the space, and/or incorporate area zoning controls.
- DC34 Incorporate motion activated ultra-sonic sensors, timers and light fittings to tertiary frontages and low use areas such as garages and storage rooms.
- DC35 All WCs, kitchen, laundry, bath and basin sanitary tap fittings shall be minimum 4-star WELS rated.
- DC36 All shower fittings to be minimum 3-star WELS rated 7.5L/min consumption.

#### Design Guidance

Incorporating some or all of the following recommendation will achieve are more efficient home and support more sustainable living.

#### Thermal Efficiency & Comfort

- Incorporate thermal mass in north-facing rooms with winter solar access to regulate indoor temperatures effectively.
- Insulate thermal mass elements, including slab edges, to minimise heat loss.
- Optimise window orientation and shading to maximise solar gain in winter and minimise heat gain in summer.
- Utilise light-coloured or reflective materials

for exterior surfaces such as roofs, walls, and pavements to minimise heat absorption and reduce the transfer of heat into the home.

- Consider using reverse-brick veneer or stud framing for east and west facing walls to mitigate excessive heat gain.
- Use insulation with high R-values to minimise heat transfer through walls, floors, and roofs.
- Install reflective insulation fabric in cavity brick walls, installed according to manufacturer's specifications, to enhance thermal insulation and energy efficiency.
- Install reflective insulation (minimum R1.5) under roof sheeting to all outdoor living areas.
- Seal gaps around doors, windows, and penetrations to prevent air leakage and infiltration.
- Install low-emissivity windows (double-glazing, low-e glass) with insulated frames to reduce heat transfer.

#### Ventilation

- Consider the operable area of your window opening for optimised ventilation.
- Consider location of external openings to each habitable room to promote cross flow ventilation
- Position smaller openings on the windward (west-southwest) side of dwelling and larger openings on the downwind side to maximise airflow, especially during summer months.
- Install High Efficiency Particulate Air (HEPA) filters – to protect indoor air quality (especially for children, elderly, asthmatics and other respiratory impacts).

#### Water Re-Use

- Consider incorporating rainwater tank and/or provide sufficient space for future installation, suggested minimum capacity of 3,000L, located close to down pipe/s with a minimum roof catchment area of 70sqm.
- Specify installation of dual plumbing for washing machine and toilet inlets to allow for ease of future connection to rainwater tanks. An external power outlet, garden tap and dual plumbing pipe work should be allowed for.

#### Lighting

- Use of energy efficient light fixtures such as LED lamps is strongly encouraged.
- Consider orientation, built form articulation, planning and window location to promote natural daylight penetration to habitable rooms.
- Controlled lighting management system such as motion sensors are encouraged.

#### Materials & Colours

- Prioritise building materials and finishing treatments with low-embodied carbon to reduce environmental impact and promote sustainability throughout the building's lifecycle.
- Select materials based on their thermal mass properties and consider their lifecycle costs to optimise building performance and long-term sustainability.
- Choose low-emission products for internal surfaces, including paints, sealants, adhesives, and floor coverings, to improve indoor air quality and reduce harmful VOC emissions. Opt for low-VOC and low formaldehyde emission composite

## 5 Precinct Guidelines

and engineered wood products.

- Prioritise the use of low-carbon concrete in footings, slabs, and pre-cast panels.
- Ensure structural timber is certified to a recognised standard such as PEFC (Programme for the Endorsement of Forest Certification) to promote responsible forest management practices and support sustainable timber sourcing.
- Use PVC with recycled content or choose PVC products certified to ISO 14001 environmental management standards to minimise environmental impact and promote resource efficiency.
- Incorporate recycled materials and products into building and landscape design features.

### Construction Recycling

At a minimum, the following should be applied during building construction:

- Engage a reputable Waste Management Recycling Company who can commit to achieve a >80% recycling rate, and can provide records of recycling.
- Use of skip bins rather than cages with lids.
- Maintain a clean and tidy site.
- Select materials and products which minimise or use recycled packaging; and
- Design dwellings to maximise use of standard sizes of materials wherever possible.



Hollywood Reserve

## 5 Precinct Guidelines

### (5.13) Private Open Space

The guiding principles of the Nedlands Reserve Landscape Masterplan are to blend the site's heritage and character while prioritising community wellness and sustainable living. It strives to cultivate a local and sustainable environment through climate-responsive strategies, emphasising water-wise methods and landscaping that resonates with the surroundings. Planting new trees throughout the area will enrich biodiversity and microclimate, with considered attention to species selection and placement to ensure suitability and purpose.

#### Design Objectives

- To achieve a high-quality landscape outcome that enhances the character of the Nedlands Reserve Masterplan and contributes to a unique sense of place.
- Ensure planting is climate appropriate, waterwise and robust, whilst minimising maintenance demands.
- Considered use of hardscape elements whilst minimising adverse aspects of impermeability and heat gain.
- Encourage food production and enhance biodiversity of softscape.
- Ensure new developments minimise adverse impact on existing biodiversity and habitat of the native flora and fauna.

#### Development Control

- DC37 Declared weed species shall not be permitted in plant species selections
- DC38 A minimum of 30 per cent endemic flora

shall be used (excluding riparian weeds or lawn areas).

- DC39 Turf/lawn is to be limited to a maximum of 50 per cent of the landscaped area of the site. All turf/lawn is to be an approved waterwise variety in accordance with Water Corporation's Waterwise Gardening. Artificial turf is not permitted.
- DC40 Paved areas shall be planned to direct rainwater runoff onto garden areas within lots.

#### Design Guidance

##### Softscaping

- Plant deciduous trees on the northern boundary to shield your home from summer sun whilst benefit from winter sunlight.
- Consider planting on the western boundary to provide shade from the hot afternoon sun.
- Consider native groundcovers as an alternative to traditional lawn to minimise water and maintenance.
- Opt for waterwise endemic planting.
- Include edible and fruiting plants and trees where possible.
- Be mindful of neighbouring property's solar access when selecting the type and location of planting.
- Plant between May and August for optimised growth and establishment.
- Consider trees that have a high canopy and clear midsections to promote air movement.
- Encourage the incorporation of trees within the laneway to contribute to an enhanced and green community environment.

##### Hardscaping

- Minimise hardscape surfaces and maximise soft landscape areas to reduce heat absorption and radiation during the summer months.
- Where hard surfaces are specified, consider permeable finishes such as gravels or permeable paving to reduce stormwater run-off.
- Shade external hard surface to reduce reflected heat load.
- Use recycled and local materials in construction where available.

##### Water Efficiency & Maintenance

- Maximise stormwater infiltration opportunities and reduce runoff by implementing features such as swales, terraces, or contour beds to capture and retain water on sloped sites.
- Consider xeriscaping principles by selecting drought-tolerant plants, incorporating native species, and using water-efficient landscaping techniques to create attractive and sustainable garden spaces with minimal water requirements.
- Group plants with similar water requirements together to optimise water efficiency and minimise water wastage.
- Incorporate advanced irrigation control technologies such as soil moisture sensors to ensure efficient watering practices and avoiding overwatering.
- Apply mulch to garden beds to reduce evaporation, suppress weed growth, and improve soil moisture retention.
- Install drip irrigation systems or soaker hoses to deliver water directly to the root zone of plants, minimising water loss through evaporation and runoff.

- Utilise rainwater harvesting systems to collect and store rainwater for irrigation purposes, reducing reliance on municipal water sources and conserving freshwater resources.
- Use permeable paving materials for driveways, walkways, and patios to allow rainwater infiltration and reduce runoff, replenishing groundwater and reducing pressure on stormwater drainage systems.

##### Biodiversity & Habitats

- Incorporate a variety of plants that offer shelter, food, and nesting sites for small birds, amphibians, reptiles, and beneficial insects.
- Utilise plant species favoured by Black Cockatoos, for feeding, roosting, or nesting, to encourage their presence and support their habitat needs.
- Prioritise the use of endemic native plant species where feasible, as they are best adapted to the local ecosystem and provide essential food and shelter for native wildlife.
- Avoid the use of invasive plant species that can outcompete native vegetation and disrupt local ecosystems.
- Include flowering plants that attract pollinators such as bees, butterflies, and moths, enhancing pollination services and supporting biodiversity.
- Reduce or eliminate the use of pesticides and herbicides to protect beneficial insects, soil organisms, and other wildlife.

# 5 Precinct Guidelines

## (5.14) Additional Resources

**Water Wise Gardening practices;**

<https://www.watercorporation.com.au/Help-and-advice/Waterwise/Garden/Creating-a-waterwise-garden-in-5-steps>

**Planting and Landscaping advice;**

<https://www.nedlands.wa.gov.au/documents/660/sustainable-landscaping-information>

**Biodiversity Planning;**

[https://walga.asn.au/getattachment/Policy-Advice-and-Advocacy/Environment/Biodiversity/swbp\\_lg\\_bio\\_planning\\_guide\\_adden.pdf?lang=en-AU](https://walga.asn.au/getattachment/Policy-Advice-and-Advocacy/Environment/Biodiversity/swbp_lg_bio_planning_guide_adden.pdf?lang=en-AU)

## (5.15) Example Design Resolution

Figure 3 shows one way of resolving the site within the limitations of the block specific building requirements, whilst also addressing the general provisions.

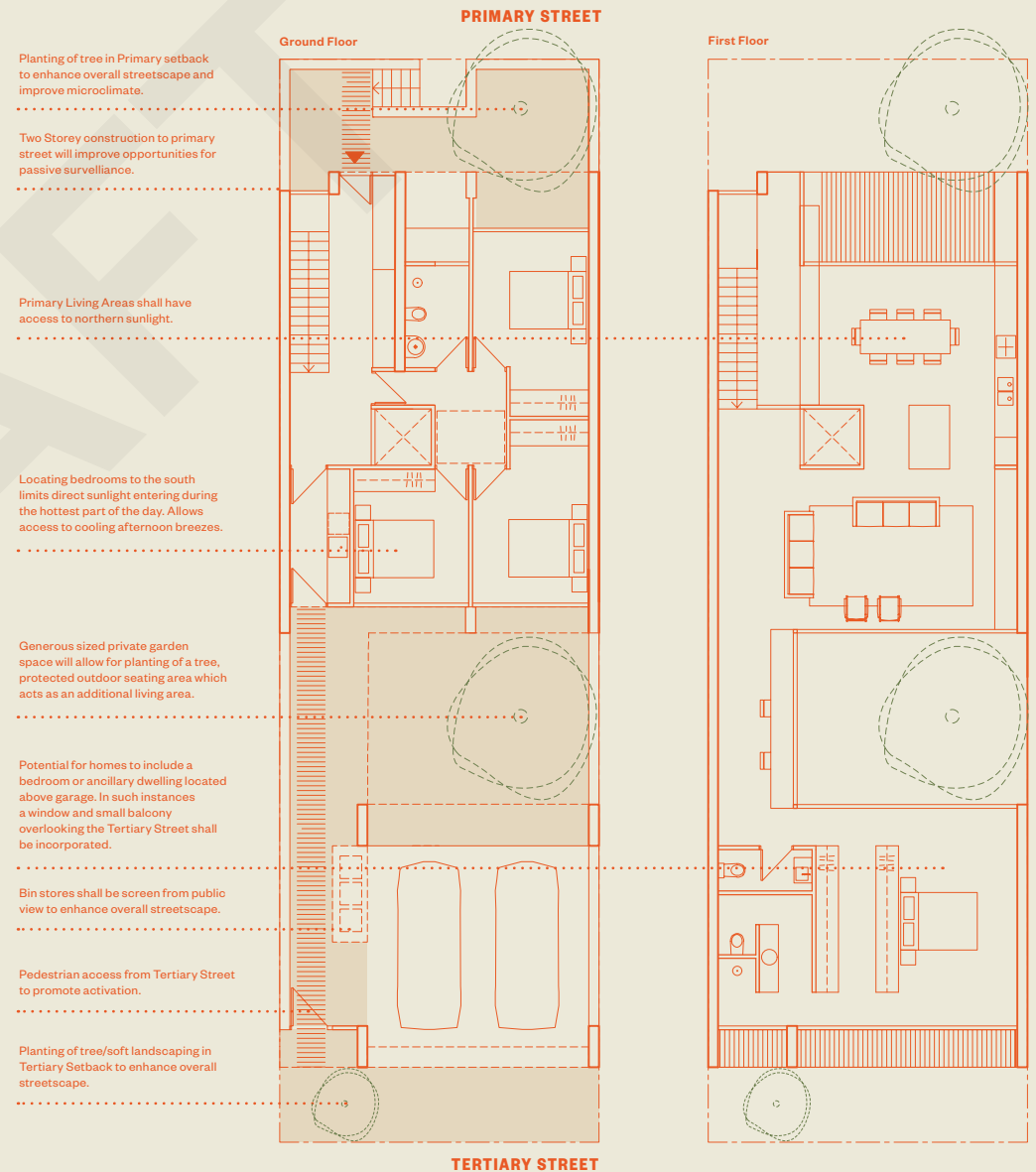


Figure 3 - Example Design Resolution (Design by Officer Woods Architects).



# 6 Block Specific Building Requirements

## (6.1) Overview

To be read in conjunction with relevant General Provisions (refer to Section 5).

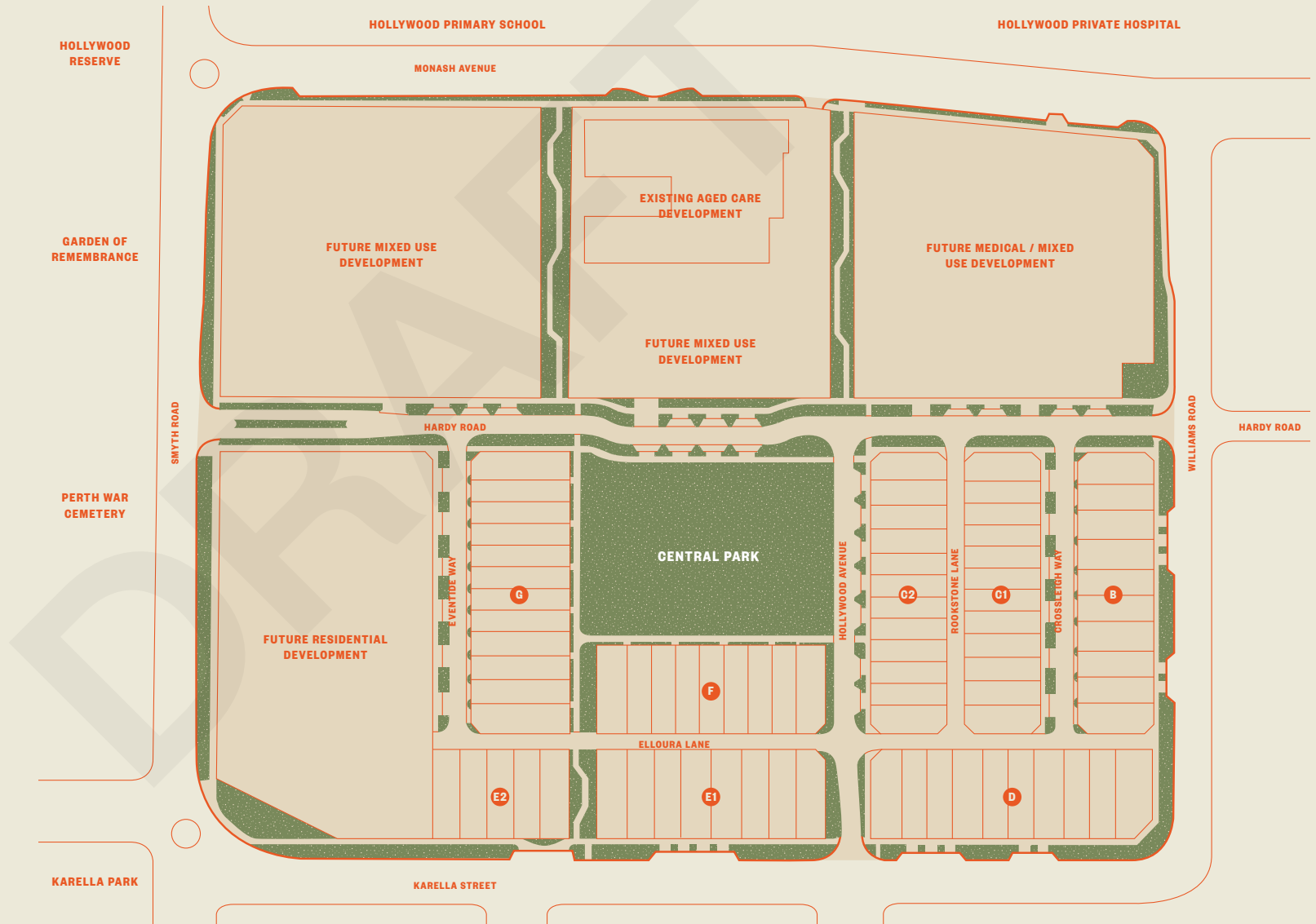
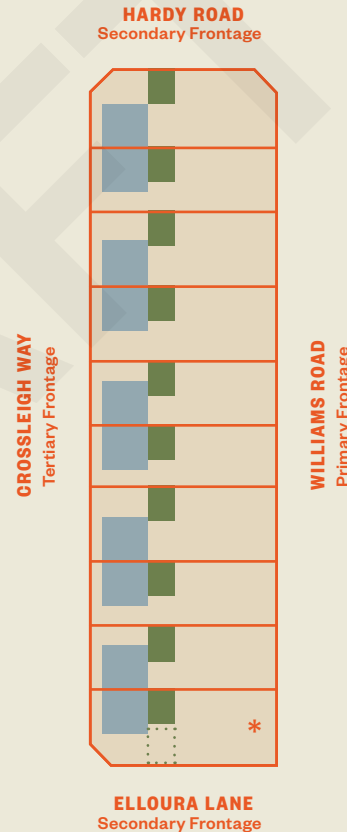


Figure 4 - Indicative Masterplan Layout

# 6 Block Specific Building Requirements - B

Key Controls				
Land Use	Residential			
R Code	R80			
Min. Storey	Min. Two Storey at Primary & Tertiary Frontage			
Front Door & Letterbox	From Primary Frontage			
Vehicle Access	Refer Block/Lot Diagrams			
Setbacks (Minimum)	Primary	Secondary	Tertiary	Side
Ground	3m	2m	2m	1.2m, or Nil to max 80% of boundary
First	2m	1m	2m	1.2m, or Nil to max 80% of boundary
Second	3m	1m	3m	1.2m, or Nil to max 80% of boundary
	Corner lots must address secondary frontage with suitable building articulation and materials and provide minimum 1 habitable room window facing the street.			
Primary Garden Area	20sqm minimum, dimension 3m (min)			
Deep Soil Area	As per R-Codes minimum tree requirements			
Solar Access for Adjoining Sites	C3.9.1 - C3.9.3 inclusive of Part C of the R-Codes do not apply			
Visual Privacy	C3.10.1 and C3.10.5 of Part C of the R-Codes do not apply			
Bushfire Protection	Applicant to check bushfire protection requirements			
Bonus Plot Ratio	N/A			
Ancillary Dwellings	Permitted above garage			
Special Conditions	Alternative Primary Garden Area location abutting Elloura Lane			

Block Diagram

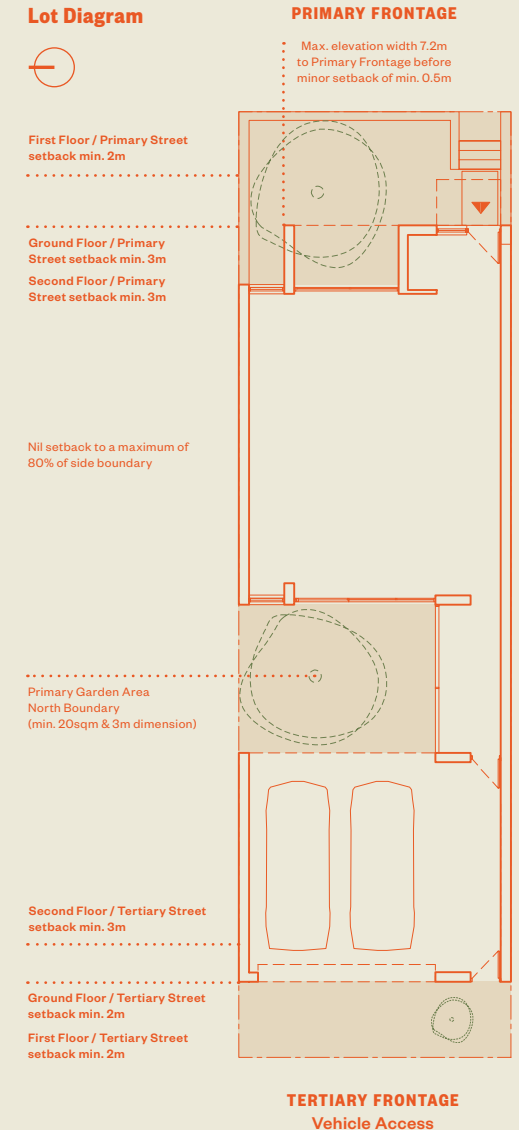


Legend

- Garage/Carport
- Primary Garden Area
- Lot Boundary
- \* Special Conditions Lot



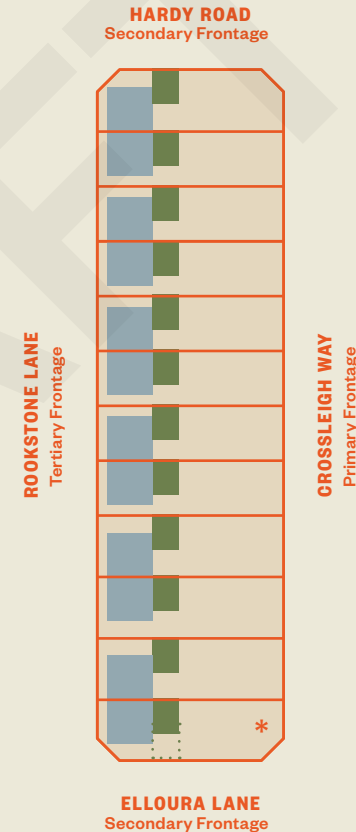
Lot Diagram



# 6 Block Specific Building Requirements - C1

Key Controls				
Land Use	Residential			
R Code	R80			
Min. Storey	Min. Two Storey at Primary Frontage			
Front Door & Letterbox	From Primary Frontage			
Vehicle Access	Refer Block/Lot Diagrams			
Setbacks (Minimum)	Primary	Secondary	Tertiary	Side
Ground	3.5m	2m	1.5m	1.2m, or Nil to max 80% of boundary
First	2m	1m	1m	1.2m, or Nil to max 80% of boundary
Second	3.5m	1m	3.5m	1.2m, or Nil to max 80% of boundary
	Corner lots must address secondary frontage with suitable building articulation and materials and provide minimum 1 habitable room window facing the street.			
Primary Garden Area	20sqm minimum, dimension 3m (min)			
Deep Soil Area	As per R-Codes minimum tree requirements			
Solar Access for Adjoining Sites	C3.9.1 - C3.9.3 inclusive of Part C of the R-Codes do not apply			
Visual Privacy	C3.10.1 and C3.10.5 of Part C of the R-Codes do not apply			
Bushfire Protection	Applicant to check bushfire protection requirements			
Bonus Plot Ratio	N/A			
Ancillary Dwellings	Permitted above garage			
Special Conditions	Alternative Primary Garden Area location abutting Elloura Lane			

Block Diagram

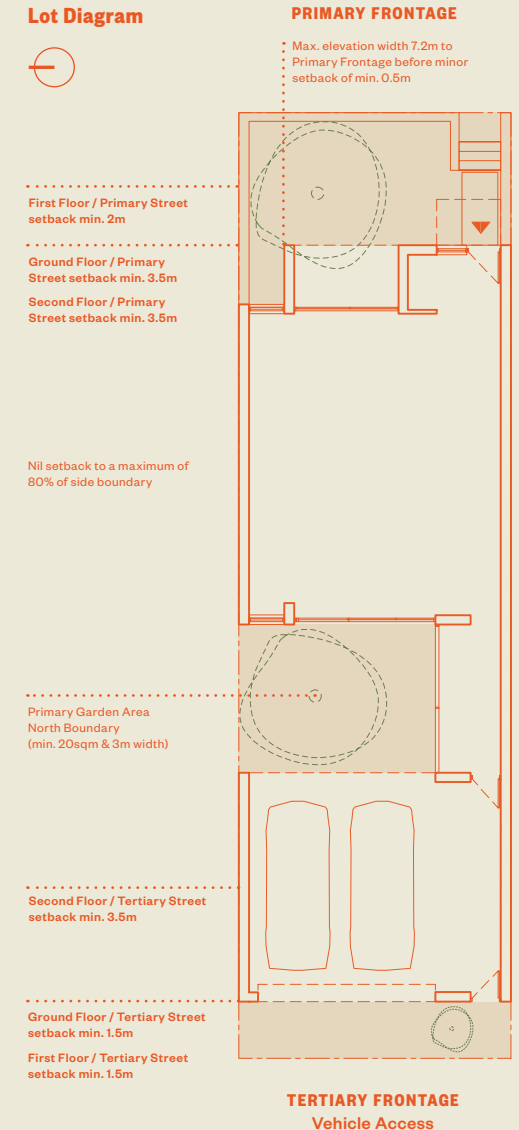


Legend

- Garage/Carport
- Primary Garden Area
- Lot Boundary
- \* Special Conditions Lot



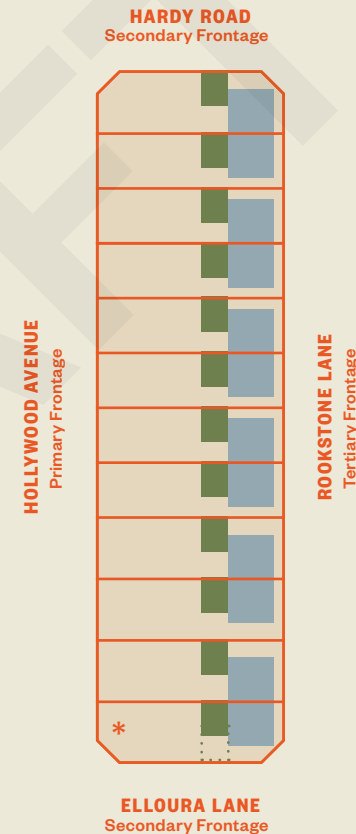
Lot Diagram



# 6 Block Specific Building Requirements - C2

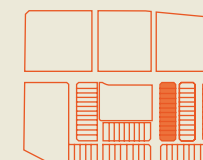
Key Controls				
Land Use	Residential			
R Code	R80			
Min. Storey	Min. Two Storey at Primary Frontage			
Front Door & Letterbox	From Primary Frontage			
Vehicle Access	Refer Block/Lot Diagrams			
Setbacks (Minimum)	Primary	Secondary	Tertiary	Side
Ground	3.5m	2m	1.5m	1.2m, or Nil to max 80% of boundary
First	2m	1m	1m	1.2m, or Nil to max 80% of boundary
Second	3.5m	1m	1.5m	1.2m, or Nil to max 80% of boundary
	Corner lots must address secondary frontage with suitable building articulation and materials and provide minimum 1 habitable room window facing the street.			
Primary Garden Area	20sqm minimum, dimension 3m (min)			
Deep Soil Area	As per R-Codes minimum tree requirements			
Solar Access for Adjoining Sites	C3.9.1 - C3.9.3 inclusive of Part C of the R-Codes do not apply.			
Visual Privacy	C3.10.1 and C3.10.5 of Part C of the R-Codes do not apply.			
Bushfire Protection	Applicant to check bushfire protection requirements			
Bonus Plot Ratio	N/A			
Ancillary Dwellings	Permitted above garage			
Special Conditions	Alternative Primary Garden Area location abutting Elloura Lane			

Block Diagram

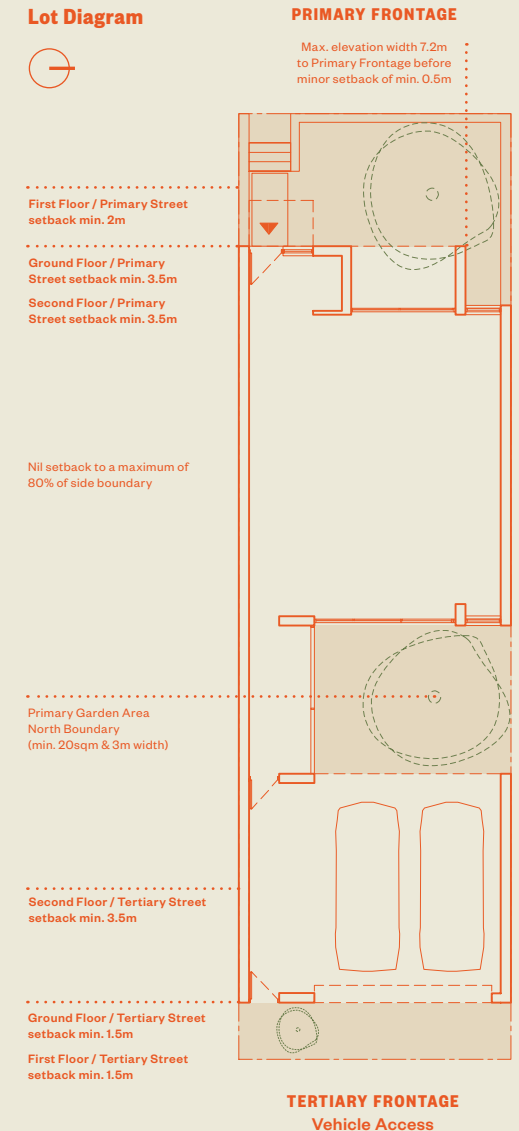


Legend

- Garage/Carport
- Primary Garden Area
- Lot Boundary
- \* Special Conditions Lot



Lot Diagram

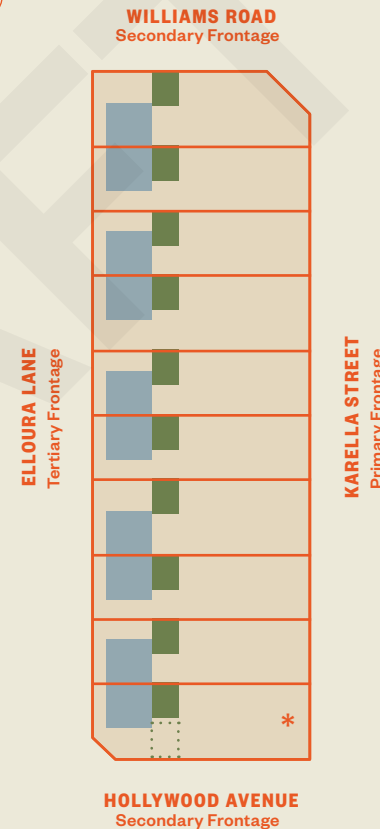


# 6 Block Specific Building Requirements - D

## Key Controls

Land Use	Residential			
R Code	R80			
Min. Storey	Min. Two Storey at Primary Frontage			
Front Door & Letterbox	From Primary Frontage			
Vehicle Access	Refer Block/Lot Diagrams			
Setbacks (Minimum)	Primary	Secondary	Tertiary	Side
Ground	3m	2m	2m	1.2m, or Nil to max 80% of boundary
First	2m	1m	2m	1.2m, or Nil to max 80% of boundary
Second	3m	1m	3m	1.2m, or Nil to max 80% of boundary
	Corner lots must address secondary frontage with suitable building articulation and materials and provide minimum 1 habitable room window facing the street.			
Primary Garden Area	20sqm minimum, dimension 3m (min)			
Deep Soil Area	As per R-Codes minimum tree requirements			
Solar Access for Adjoining Sites	C3.9.1 - C3.9.3 inclusive of Part C of the R-Codes do not apply.			
Visual Privacy	C3.10.1 and C3.10.5 of Part C of the R-Codes do not apply.			
Bushfire Protection	Applicant to check bushfire protection requirements			
Bonus Plot Ratio	N/A			
Ancillary Dwellings	Permitted above garage			
Special Conditions	Three Storey construction is encouraged Alternative Primary Garden Area location abutting Hollywood Avenue			

Block Diagram



Legend

- Garage/Carport
- Primary Garden Area
- Lot Boundary
- \* Special Conditions Lot



Lot Diagram



First Floor / Primary Street setback min. 2m

Ground Floor / Primary Street setback min. 3m

Second Floor / Primary Street setback min. 3m

Nil setback to a maximum of 80% of side boundary

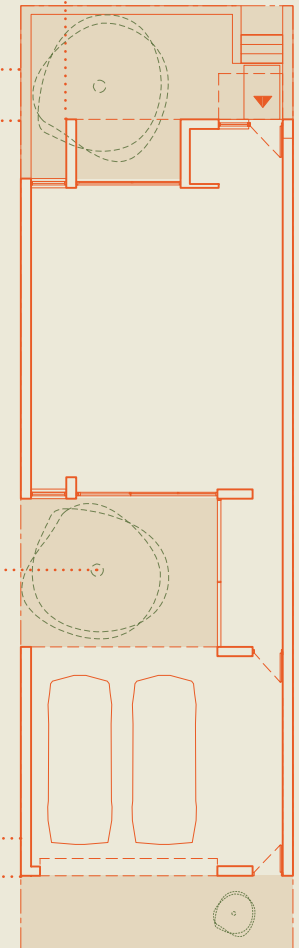
Second Floor / Tertiary Street setback min. 3m

Ground Floor / Tertiary Street setback min. 2m

First Floor / Tertiary Street setback min. 2m

PRIMARY FRONTAGE

Max. elevation width 7.2m to Primary Frontage before minor setback of min. 0.5m



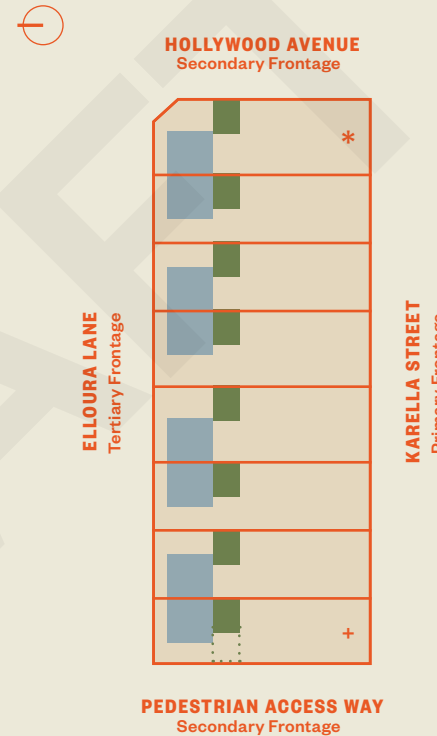
TERTIARY FRONTAGE  
Vehicle Access

# 6 Block Specific Building Requirements - E1

## Key Controls

Land Use	Residential			
R Code	R80			
Min. Storey	Min. Two Storey at Primary Frontage			
Front Door & Letterbox	From Primary Frontage			
Vehicle Access	Refer Block/Lot Diagrams			
Setbacks (Minimum)	Primary	Secondary	Tertiary	Side
Ground	3m	2m	2m	1.2m, or Nil to max 80% of boundary
First	2m	1m	2m	1.2m, or Nil to max 80% of boundary
Second	3m	1m	3m	1.2m, or Nil to max 80% of boundary
	Corner lots must address secondary frontage with suitable building articulation and materials and provide minimum 1 habitable room window facing the street.			
Primary Garden Area	20sqm minimum, dimension 3m (min)			
Deep Soil Area	As per R-Codes minimum tree requirements			
Solar Access for Adjoining Sites	C3.9.1 - C3.9.3 inclusive of Part C of the R-Codes do not apply.			
Visual Privacy	C3.10.1 and C3.10.5 of Part C of the R-Codes do not apply.			
Bushfire Protection	Applicant to check bushfire protection requirements			
Bonus Plot Ratio	N/A			
Ancillary Dwellings	Permitted above garage			
Special Conditions	*Three Storey construction is encouraged *Alternative Primary Garden Area location abutting Pedestrian Access Way			

Block Diagram

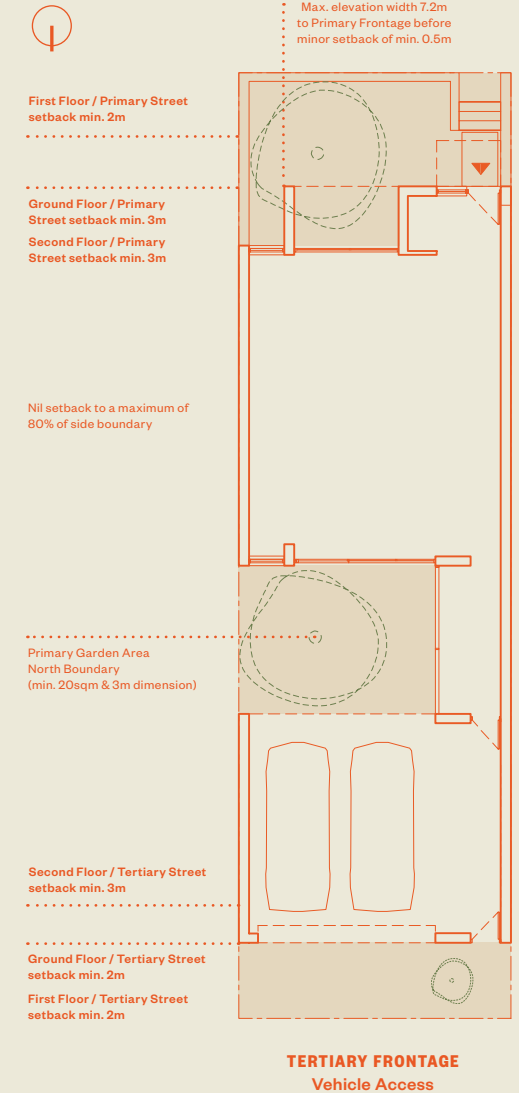


Legend

- Garage/Carport
- Primary Garden Area
- Lot Boundary
- \*+ Special Conditions Lot



Lot Diagram



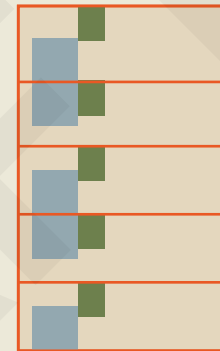
# 6 Block Specific Building Requirements - E2

Key Controls				
Land Use	Residential			
R Code	R80			
Min. Storey	Min. Two Storey at Primary Frontage			
Front Door & Letterbox	From Primary Frontage			
Vehicle Access	Refer Block/Lot Diagrams			
Setbacks (Minimum)	Primary	Secondary	Tertiary	Side
Ground	3m	2m	2m	1.2m, or Nil to max 80% of boundary
First	2m	1m	2m	1.2m, or Nil to max 80% of boundary
Second	3m	1m	3m	1.2m, or Nil to max 80% of boundary
	Corner lots must address secondary frontage with suitable building articulation and materials and provide minimum 1 habitable room window facing the street.			
Primary Garden Area	20sqm minimum, dimension 3m (min)			
Deep Soil Area	As per R-Codes minimum tree requirements			
Solar Access for Adjoining Sites	C3.9.1 - C3.9.3 inclusive of Part C of the R-Codes do not apply.			
Visual Privacy	C3.10.1 and C3.10.5 of Part C of the R-Codes do not apply.			
Bushfire Protection	Applicant to check bushfire protection requirements			
Bonus Plot Ratio	N/A			
Ancillary Dwellings	Permitted above garage			
Special Conditions	N/A			

Block Diagram



PEDESTRIAN ACCESS WAY  
Secondary Frontage



NEIGHBOURING LOT  
Secondary Frontage

Legend

- Garage/Carport
- Primary Garden Area
- Lot Boundary
- \* Special Conditions Lot



Lot Diagram



First Floor / Primary Street setback min. 2m  
Ground Floor / Primary Street setback min. 3m  
Second Floor / Primary Street setback min. 3m

Nil setback to a maximum of 80% of side boundary

Primary Garden Area North Boundary (min. 20sqm & 3m dimension)

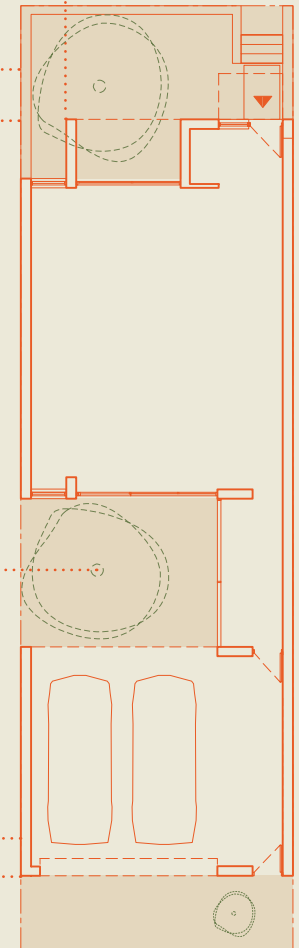
Second Floor / Tertiary Street setback min. 3m

Ground Floor / Tertiary Street setback min. 2m

First Floor / Tertiary Street setback min. 2m

PRIMARY FRONTAGE

Max. elevation width 7.2m to Primary Frontage before minor setback of min. 0.5m

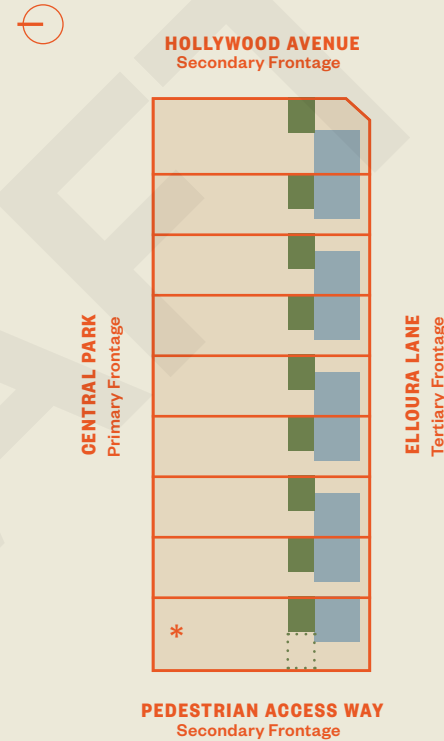


TERTIARY FRONTAGE  
Vehicle Access

# 6 Block Specific Building Requirements - F

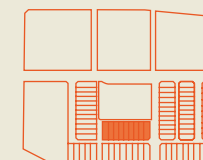
Key Controls				
Land Use	Residential			
R Code	R80			
Min. Storey	Min. Two Storey at Primary Frontage			
Front Door & Letterbox	From Primary Frontage			
Vehicle Access	Refer Block/Lot Diagrams			
Setbacks (Minimum)	Primary	Secondary	Tertiary	Side
Ground	3.5m	2m	1.5m	1.2m, or Nil to max 80% of boundary
First	2m	1m	1m	1.2m, or Nil to max 80% of boundary
Second	3.5m	1m	3.5m	1.2m, or Nil to max 80% of boundary
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Visual Privacy	C3.10.1 and C3.10.5 of Part C of the R-Codes do not apply.			
Bushfire Protection	Applicant to check bushfire protection requirements			
Bonus Plot Ratio	N/A			
Ancillary Dwellings	Permitted above garage			
Special Conditions	Alternative Primary Garden Area location abutting Pedestrian Access Way			

Block Diagram

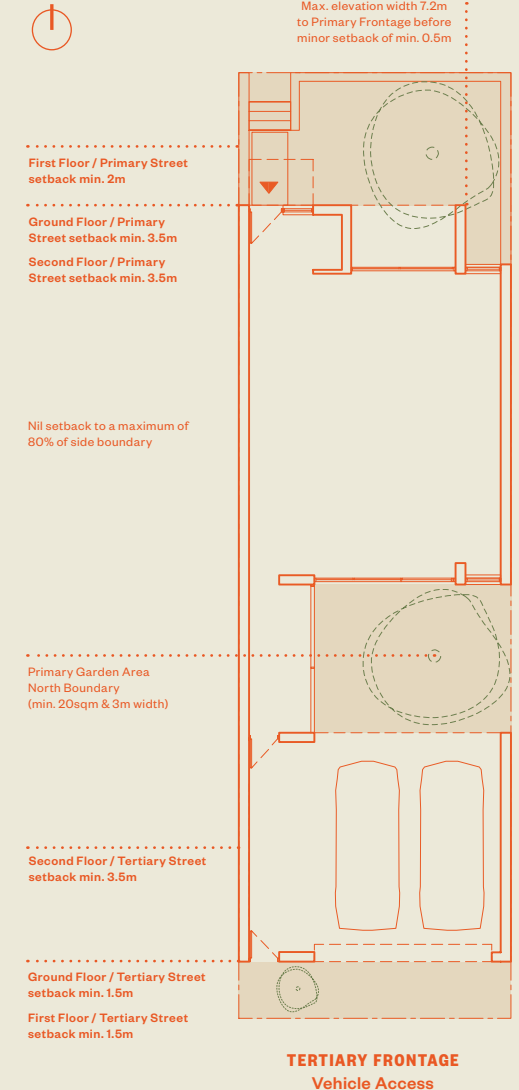


Legend

- Garage/Carport
- Primary Garden Area
- Lot Boundary
- \*** Special Conditions Lot



Lot Diagram

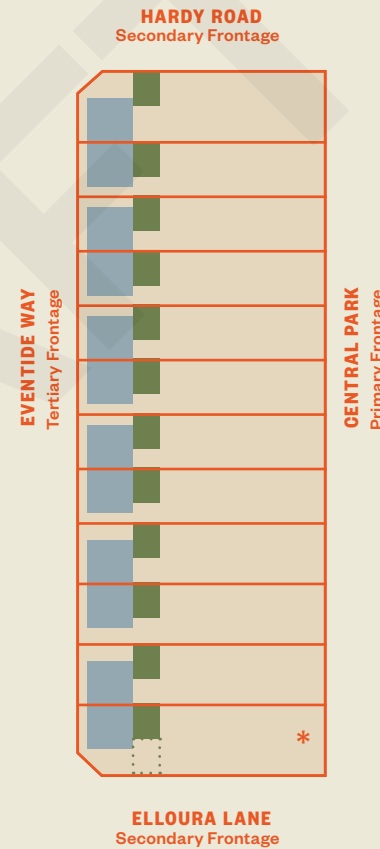


# 6 Block Specific Building Requirements - G

## Key Controls

Land Use	Residential			
R Code	R80			
Min. Storey	Min. Two Storey at Primary Frontage			
Front Door & Letterbox	From Primary Frontage			
Vehicle Access	Refer Block/Lot Diagrams			
Setbacks (Minimum)	Primary	Secondary	Tertiary	Side
Ground	3.5m	2m	1.5m	1.2m, or Nil to max 80% of boundary
First	2m	1m	1m	1.2m, or Nil to max 80% of boundary
Second	3.5m	1m	3.5m	1.2m, or Nil to max 80% of boundary
	Corner lots must address secondary frontage with suitable building articulation and materials and provide minimum 1 habitable room window facing the street.			
Primary Garden Area	20sqm minimum, dimension 3m (min)			
Deep Soil Area	As per R-Codes minimum tree requirements			
Solar Access for Adjoining Sites	C3.9.1 - C3.9.3 inclusive of Part C of the R-Codes do not apply.			
Visual Privacy	C3.10.1 and C3.10.5 of Part C of the R-Codes do not apply.			
Bushfire Protection	Applicant to check bushfire protection requirements			
Bonus Plot Ratio	N/A			
Ancillary Dwellings	Permitted above garage			
Special Conditions	Alternative Primary Garden Area location abutting Elloura Lane			

Block Diagram

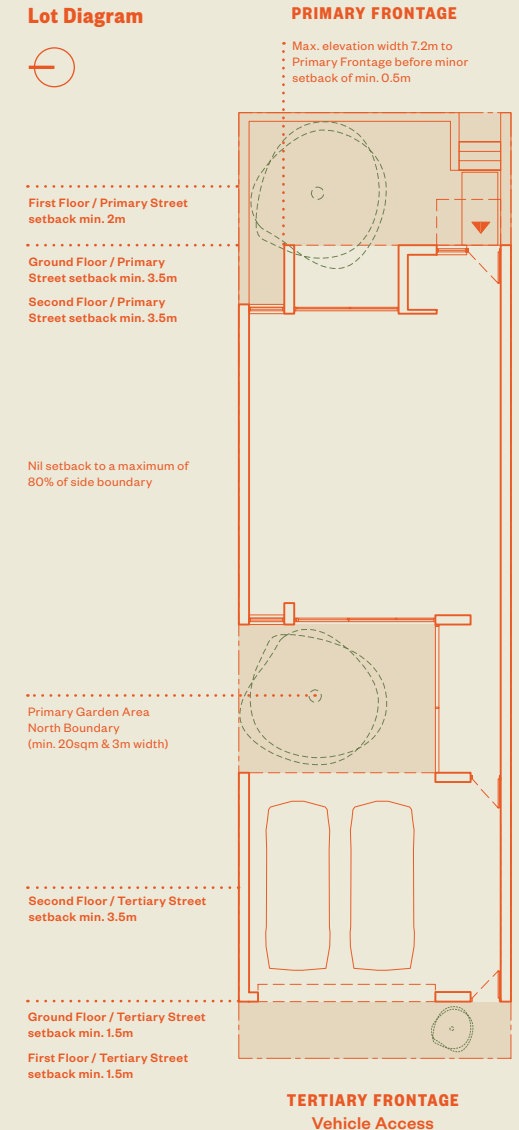


Legend

- Garage/Carport
- Primary Garden Area
- Lot Boundary
- \* Special Conditions Lot



Lot Diagram



# Appendix A - Definitions

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# A Definitions

## Ancillary Dwelling

Self-contained dwelling on the same site as a dwelling which may be attached to, integrated with or detached from the dwelling.

## Balcony

A balustraded platform on the outside of a dwelling with access from an upper internal room.

## Boundary Wall

A wall, on or less than 600mm from any lot boundary (green title or survey-strata lot), other than a street boundary.

## Building

Any structure whether fixed or moveable, temporary or permanent, placed or erected on land, and the term includes dwellings and structures appurtenant to dwellings such as carports, garages, verandahs, patios, outbuildings and retaining walls, but excludes boundary fences, pergolas and swimming pools.

## Building Width

The width of the building as viewed from the primary street.

## Carport

An unenclosed structure designed to accommodate one or more motor vehicles and being without a door.

## Climate Zone

As defined by the NCC. Nedlands Reserves falls into Zone 5 - Warm temperate.

## Courtyard

Open space at ground level or on a structure that is open to the sky and bound by the building on three or more sides.

## Crossover

The vehicle access point (or driveway) running from the property boundary to the edge of the road.

## Deep Soil Area

Soft landscape area on lot with no impeding building structure or feature above or below, which supports growth of small to large canopy trees and meets a stated minimum dimension. Used primarily for landscaping and open to the sky, deep soil areas exclude basement car parks, services, swimming pools, tennis courts and impervious surfaces including car parks, driveways and roof areas.

## Driveway

The portion of the paved vehicle access way between a car parking area and the property boundary, excluding any associated landscaping or pedestrian path on either side.

## Dwelling

Building or portion of a building being used, adapted, or designed or intended to be used for the purpose of human habitation on a permanent basis by a single person, a single family, or no more than six persons who do not comprise a single family.

## Enclosed

An area bound on three or more sides by a permanent wall and covered in an impervious material.

## Facade

The external face of a building, generally the principal face, facing a public street or space.

## Frontage

The width of a lot at the primary street setback line.

## Functional Utilities

Functional utilities associated with the dwelling to achieve efficient, comfortable and environmentally sustainable operating outcomes including, but not limited to air-conditioning, plant, clothes drying, hot water systems, antennas and satellite dishes, solar collectors, inverters and batteries, electric vehicle charging and rainwater tanks.

## Garage

Any roofed structure, other than a carport, designed to accommodate one or more motor vehicles.

## Green Title Lot

A lot owned in fee simple issued with a certificate of title under the Transfer of Land Act 1893, other than a strata lot or a survey-strata lot.

## Habitable Room/Space

As defined by the NCC for a room/space used for normal domestic activities that includes:

- a bedroom, living room, lounge room, music room, sitting room, television room, kitchen, scullery, dining room, sewing room, study, playroom, family room, sunroom, gymnasium, fully enclosed swimming pool or patio;

but excludes:

- a bathroom, laundry, water closet, pantry,

walk-in wardrobe, corridor, hallway, lobby, photographic darkroom, clothes drying room, verandah and unenclosed swimming pool or patio and other spaces of a specialised nature occupied neither frequently nor for extended periods.

## Height (Building)

This is the distance between the point where the base of the wall meets the natural ground level and measured to the highest point of a wall or roof of a building vertically above that point excluding minor projections.

## Height (Wall)

This is the vertical distance between the point where the base of the wall meets the natural ground level at the boundary immediately adjacent to the wall and measured to the top of the wall or parapet.

## Landscape/Landscaping/Landscaped

Land developed with garden beds, shrubs and trees, or by the planting of lawns, and includes such features as rockeries, ornamental ponds, swimming pools, barbecue areas or playgrounds.

## Lot

For single houses, a lot as defined under the Planning and Development Act 2005, as amended.

## Lot Boundary

The boundary between a lot and any other parcel of land, excluding a street boundary.

# A Definitions

## Natural Ground Level

The levels on a site which precede the proposed development, excluding any site works unless approved by the decision-maker or established as part of subdivision of the land preceding development.

## Natural Ventilation

The movement of a sufficient volume of fresh air through a dwelling to refresh indoor air.

## NCC

National Construction Code, comprising the Building Code of Australia (BCA) and Plumbing Code of Australia (PCA).

## Open Space

Generally that area of a lot not occupied by any building and includes:

- open areas of accessible and useable flat roofs and outdoor living areas above natural ground level;
- areas beneath eaves;
- verandahs, patios or other such roofed structures not more than 0.5m above natural ground level, unenclosed on at least two sides, and covering no more than 10 per cent of the site area or 50m<sup>2</sup> whichever is the lesser;
- unroofed open structures such as pergolas;
- uncovered driveways (including access aisles in car parking areas) and uncovered car parking spaces;

but excludes:

- non-accessible roofs, verandahs, balconies and outdoor living areas over 1m above natural

ground level; and/or

- covered car parking spaces and covered walkways, areas for rubbish disposal, stores, outbuildings or plant rooms.

## Outbuilding

An enclosed non-habitable structure that is detached from any dwelling and may include a detached garage.

## Outdoor Living Area

The area external to a single house, grouped or multiple dwelling to be used in conjunction with that dwelling such that it is capable of active or passive use and is readily accessible from the dwelling.

## Passive Surveillance

Actual and perceived monitoring of public spaces by people as they go about their daily activities. Commonly referred to as 'eyes on the street'.

## Permeable Surface / Pavement / Material

Surfaces that permits the penetration of rainwater

## Plot Ratio

The ratio of the gross plot ratio area of buildings on a development site to the area of land in the site boundaries.

## Primary Garden Area

An external ground floor area for single house and grouped dwellings set aside on a site for the exclusive use of the occupants of the dwelling to which it abuts. It may include (but is not limited to) landscaping, deep soil areas and trees, paved areas and patios

with a floor level not greater than 0.5m above natural ground level.

## Primary Living Space

The identified room(s) within a dwelling that is the focus of life and activity and usually the largest room. This area is connected with private open space and may include any of the following room types: living room, lounge room, family room, or an integrated open plan living area that has one of these room types together with a kitchen or dining area.

## Primary Street

Unless otherwise designated by the local government, the sole or principal public road that provides access to the major entry (front door) to the dwelling or building.

## Private Open Space

Outdoor space located at ground level or on a structure that is within private ownership and provided for the exclusive use of the occupants of the dwelling to which it abuts and excludes car parking spaces and access ways. It includes primary garden areas, balconies, courtyards and terraces.

## Setback

The horizontal distance between a wall at any point and an adjacent lot boundary, measured at right angles (90 degrees) to the boundary.

## Site

In the case of a single house, the green title or survey-strata lot on which it stands.

## Site Area

The area of land required for the construction of a dwelling to satisfy the requirements of the R-Codes.

## Site Cover

The area occupied by any building, including upper storeys or balconies projecting beyond the ground floor building alignment, or other structures roofed with impervious material, but excludes:

- uncovered driveways and parking spaces;
- eaves and pergolas; and
- a basement that is constructed wholly underground.

## Soft Landscape

Any landscaped area with a minimum soil depth of 300mm that contains in-ground planting and excludes removable planter boxes/pots and permeable paving areas. Turf is included.

## Storey

The portion of a building which is situated between the top of any floor and the top of the floor next above it and if there is no floor above it, that portion between the top of the floor and the ceiling above it but does not include:

- a basement;
- a space that contains only a lift shaft, stairway or meter room;
- roof top terrace with no permanent impervious roof structure;
- a mezzanine; or
- a loft.

Double height floors greater than 5m floor to ceiling are counted as two floors.

# A Definitions

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## Streetscape

The visible components in a street between the facing buildings, including the form of the buildings, garages, setbacks, fencing, driveways, utilities, street surfaces, street trees and street furniture such as lighting, signs, barriers and bus shelters.

## Street Setback

The horizontal distance between the street boundary and a building, measured at right angles (90 degrees) to the street boundary.

## Studio

A dwelling consisting of one habitable room that combines kitchen, living and sleeping space.

## Utilities

External fixtures, equipment, plant or other structures which are necessary for a dwelling to achieve efficient, comfortable and environmentally sustainable operating outcomes and includes service and functional utilities or other fixtures as necessary for the residential use of the buildings on site. It excludes essential plumbing vents above the roof line and external roof-water down pipes.

## Visually Permeable

In reference to a wall, gate, door, screen or fence that the vertical surface, when viewed directly from the street or other public space, has:

- continuous vertical or horizontal gaps of 50mm or greater width occupying not less than one third of the total surface area;
- continuous vertical or horizontal gaps less than 50mm in width, occupying at least one half

of the total surface area in aggregate; or - a surface offering equal or lesser obstruction to view.

## Wall

The vertical external face of a constructed building comprising solid building material and including enclosures to verandahs and balconies.

# Appendix B - Application Checklist

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## B Application Checklist

Ref	Development Control	Achieved	Not Achieved	Comments (when Development Control not achieved)
<b>5.1</b>	<b>Site Planning, Orientation, Setbacks and Open Space</b>			
DC1	Development to comply with requirements of block diagrams (Refer Section 6).			
<b>5.2</b>	<b>Built Form Character</b>			
DC2	Building elevations shall be articulated through the use of materials, colours and textures and by integration of projected and recessed elements such as built form projections, screens and balconies.			
DC3	Corner lots should feature architectural interest that enhance visual appeal while also considering the aesthetic address to side street boundary.			
DC4	Balcony balustrades shall be minimum 50% visually permeable. Glass balustrades are prohibited.			
DC5	In addition to compliance with lot specific guidelines, all dwellings shall be a minimum two storeys at the primary frontage.			
<b>5.3</b>	<b>Crossovers, Access &amp; Parking</b>			
DC6	Only one crossover is permitted per lot. In all circumstances vehicle access is to comply with requirements of block diagrams (Refer Section 6).			
DC7	Crossovers and vehicle access paths must be constructed using materials that match the verge hardscaping, whether existing or proposed. Asphalt crossovers are prohibited.			
DC8	Pedestrian entrances shall be clearly defined and separate from vehicle access.			

## B Application Checklist

Ref	Development Control	Achieved	Not Achieved	Comments (when Development Control not achieved)
DC9	Properties adjacent to public open spaces must offer direct pedestrian access from the property to the public area.			
<b>5.4</b>	<b>Design Variation</b>			
DC10	Where multiple dwellings of the same design abut each other, the primary elevations shall vary. In any row, there shall be no more than three dwellings with the same design.			
<b>5.5</b>	<b>Materials &amp; Colours</b>			
DC11	Highly reflective materials that could cause glare and discomfort are not permitted.			
DC12	A palette of high quality materials shall be incorporated. Consider durable, weather resistant materials that complement the existing character of the area. Refer to indicative material palette.			
DC13	All building elements including external walls facing a neighbouring lot are to be designed to and constructed as a quality building elevation.			
DC14	Colour selection shall be limited to a complementary palette. Fluorescent colours are not permitted.			
<b>5.6</b>	<b>Roof</b>			
DC15	Roofing materials including shading structures shall not be dark coloured and shall have a Solar Absorptance (SA) value of less than 0.4.			
<b>5.7</b>	<b>Outbuildings and Utility Areas</b>			
DC16	Where visible from the public realm, outbuildings shall be constructed of the same or complementary materials as the primary dwelling.			

## B Application Checklist

Ref	Development Control	Achieved	Not Achieved	Comments (when Development Control not achieved)
DC17	All services, including conduit shall be concealed from view on primary and secondary elevations or integrated into the house design.			
DC18	Clothes drying areas shall be provided and screened from public view.			
DC19	Bin storage areas for minimum of three bins shall be provided and screened from public view.			
<b>5.8</b>	<b>Vehicle Parking</b>			
DC20	All garage/carport doors shall have a 6m maximum width.			
DC21	Colour and material of the garage/carport door shall match or complement the main dwelling.			
DC22	Garage/carport doors may be perforated/permeable but are not permitted to have large format patterns. Roller doors are not permitted.			
<b>5.9</b>	<b>Ancillary Dwellings</b>			
DC23	Ancillary dwellings above garages are encouraged. Design shall be complementary to the main dwelling through consideration of design response to scale, roof design, detailing, window size, material, colour and quality.			
<b>5.10</b>	<b>Fencing</b>			
DC24	Colorbond, brush, glass balustrade and corrugated fibre cement fencing is not permitted. Fences shall be constructed of a material to compliment the dwelling.			
DC25	Any modification to existing or new retaining walls are to be constructed in the same materials and colours as existing retaining walls.			

## B Application Checklist

Ref	Development Control	Achieved	Not Achieved	Comments (when Development Control not achieved)
DC26	Fencing to secondary and tertiary streets may be a maximum of 1.8m high and visual permeability above 1.2m is encouraged.			
<b>5.11</b>	<b>Shading</b>			
DC27	Openings shall be shaded to prevent solar penetration from September to March. Roller shutters are not permitted.			
DC28	Use of shade cloth is not permitted.			
<b>5.12</b>	<b>Sustainability</b>			
DC29	Houses shall achieve a minimum 7.5-star NatHERS rating.			
DC30	Energy Rating shall be undertaken by an accredited energy assessor with NatHERS Software (Deemed-to-Satisfy assessment is not accepted).			
DC31	Permitted hot water systems include: <ul style="list-style-type: none"> <li>Heat pump systems (it is recommended that you select one that uses a low Global Warming Potential refrigerant such as propane (R290) or CO2 (R744)); or</li> <li>Electrically boosted solar thermal hot water systems that are oriented within 60 degrees west and 30 degrees east of north and tilted as per the manufacturer's recommended optimal tilt.</li> </ul>			
DC32	A photovoltaic system providing minimum 3.5kW per dwelling shall be installed.			
DC33	Air-conditioning systems shall be minimum 4-star energy rating, sized appropriately for the volume of the space, and/ or incorporate area zoning controls.			

## B Application Checklist

Ref	Development Control	Achieved	Not Achieved	Comments (when Development Control not achieved)
DC34	Incorporate motion activated ultra-sonic sensors, timers and light fittings to tertiary frontages and low use areas such as garages and storage rooms.			
DC35	All WCs, kitchen, laundry, bath and basin sanitary tap fittings shall be minimum 4-star WELS rated.			
DC36	All shower fittings to be minimum 3-star WELS rated 7.5L/min consumption.			
<b>5.13</b>	<b>Private Garden Area</b>			
DC37	Declared weed species shall not be permitted in plant species selections.			
DC38	A minimum of 30 per cent endemic flora shall be used (excluding riparian weeds or lawn areas).			
DC39	Turf/lawn is to be limited to a maximum of 50 per cent of the landscaped area of the site. All turf/lawn is to be an approved waterwise variety in accordance with Water Corporation's Waterwise Gardening. Artificial turf is not permitted.			
DC40	Paved areas shall be planned to direct rainwater runoff onto garden areas within lots.			



## SCHEDULE OF MODIFICATIONS

### City of Nedlands Schedule of Recommended Modifications – Nedlands Village Precinct Structure Plan Appendix 1 Design guidelines

Mod #	Reference - Proposed provision(s)	City Modification - Modified provisions	Reason
<b>Design Guidelines</b>			
1	Insert new Appendix 1: Design Guidelines to Nedlands Village Precinct Structure Plan	Insert new Appendix 1: Design Guidelines and re-number	Design Guidelines inserted to better align with the purpose and intent of the PSP. It is recommended that the Design Guidelines are submitted to the City for review and assessment and in order to be able to refer the Guidelines to the City's DRP in addition to undertaking public consultation, prior to the finalisation of the Design Guidelines. This would follow the due process if it were to be considered as a planning policy.
2	5.2 Built Form and Character / 5.3 Crossovers, Access & Parking	Include further provisions for strengthening of passive surveillance to primary streets, secondary streets and laneways.	<p>Provisions should be included in the guidelines to ensure all upper levels have major openings from habitable rooms addressing the street. The Design Testing concepts position en-suites on front elevations addressing the primary street which is not encouraged / supported. The applicant is encouraged to consider further guideline provisions establishing larger balconies facing primary streets, upper levels with major openings addressing the street (ie rather than en-suites), major openings overlooking laneways, pedestrian entrances facing the street and greater visual permeability within the fencing (rather than blank walls).</p> <p>Windows on the elevations to the 'open ends' of blocks (side elevations) and addressing laneways should be further encouraged to generate increased passive surveillance of all streetscapes.</p>
3	5.7 Outbuilding and Utility Areas	Include further provisions for screening and location of utilities.	Provisions should be included in the Design Guidelines to ensure A/C condensers are screened from both public and private realms and are not located in or discharging into, private courtyard spaces which are already quite small.
4	5.10 Fencing	Include provisions for primary street fencing.	It is understood that all primary street fencing and associated retaining / site works will be undertaken by the developer. The existing clause in the design guidelines pertains to secondary and tertiary fencing only. Notwithstanding primary street fencing should also be included as part of the Design Guidelines to ensure that fencing is to the satisfaction of the City. As per DRP comments, front fencing will be a very important element in generating the desired character and feel of the streetscapes as well as the precinct. If all fencing is identical it will potentially appear monotonous and out of keeping with the diversity of the built form. The DRP encourages a diversity of design, colour, height etc. to the fencing so the development does not resemble a fringe suburb estate. Additionally primary street fencing should also be included within the Design guidelines to ensure there are development provisions should landowners wish to alter their fence in the future.

5	5.12 Sustainability / Lighting	Make LED lighting a mandatory rather than encouraged option	As per DRP advice.
6	6. Block specific Building Requirements	Remove modification of R-Codes for primary garden areas (All blocks)	This modification is not supported in its current form. The proposed modification reducing the primary garden area from 35-40m <sup>2</sup> to 20m <sup>2</sup> is significant and requires further justification. Should the WAPC be of mind to approve this modification, additional provision should be included to ensure that adequate usable outdoor space is provided for future residents. As per the DRP recommendations, this may include linking this to a requirement to the inclusion of a generous upper floor balcony with a defined minimum size.
7	6. Block specific Building Requirements	Remove modification of R-Codes for solar access for adjoining sites (All blocks)	This modification is not supported in its current form. In relation to the narrow east-west oriented lots, it is acknowledged that meeting the typical R-Codes overshadowing percentages is often unachievable. In this regard some form of overshadowing modification may be considered. However, by simply removing deemed to comply percentages, it is unclear how the protection of solar access to private open spaces and solar collector will be enforced. Should an overshadowing percentage be removed as deemed-to-comply control, there must be an alternative control in place. This could be by ensuring a minimum of 3.5kw photovoltaic system are unaffected by overshadowing and/or that a minimum of 20m <sup>2</sup> of the adjoining primary garden area is unaffected by overshadowing at mid-winter.
8	6. Block specific Building Requirements	Remove modification of R-Codes for visual privacy (All blocks)	This modification is not supported in its current form. The removal of visual privacy controls when all lots are vacant and being developed together may result in successful outcomes. However, the City has concerns once the area is predominantly built up, and landowners seek to redevelop, or construct additions and alterations. Without any visual privacy controls, ensuring the protection of privacy to adjoining properties becomes difficult. The recently gazetted R-Codes Volume 1 Part C have specifically revised the way in which visual privacy is measured to allow for more flexibility in higher density areas. It is recommended that these controls be retained within the PSP area.
9	6. Block specific Building Requirements	Further revision and clarity on block diagrams (All blocks)	Block diagrams are supported in principle, though they lack some clarity in terms of dimensions, specific locations, etc. It is unclear if the block diagrams are intended to be read as a deemed-to-comply, or if they are illustrative only. Further, the DRP have noted that the diagrams could also include an indicative building layout to fully illustrate how the differing configurations impact on adjacent properties and clearly illustrate the potential outcomes for prospective purchasers. It is recommended that the block diagrams be revised. Should they be read as deemed-to-comply, it would allow lots to accommodate the proposed solar access changes recommended above even in the case of adjoining vacant lots.
10.	A. Definitions	Include definition of estate architect	As per DRP comments. Include a definition of Estate Architect plus a link to a site describing their role and the review process within the guidelines for clarity.

<i>Architectural Design Review Assessment City of Nedlands Design Review Panel</i>	
<b>Design quality evaluation</b>	<b>Date:</b> 5 August 2024
<b>Application:</b> Nedlands Village Precinct Structure Plan – Design Guidelines	
<b>Review No.:</b> 3	<b>Time:</b> 2pm – 3:30pm
<b>Panel:</b> <ul style="list-style-type: none"> <li>• Simon Venturi – A/Chair</li> <li>• Dominic Snellgrove</li> <li>• Tony Blackwell</li> </ul> <b>City of Nedlands Representatives:</b> <ul style="list-style-type: none"> <li>• Nathan Blumenthal – A/Manager Urban Planning</li> <li>• Chantel Weerasekera – Senior Urban Planner (Statutory)</li> </ul>	
Apply the applicable rating to each Design Principle	Supported
	Further information required
	Not supported
	Yet to be addressed
<b>Summary</b>	<p><b>Precinct Structure Plan</b> The Nedlands Village Precinct Structure Plan (PSP) has been prepared by CLE on behalf of Hesperia. Precinct Structure Plans are guiding documents on how an area could be developed in the future. It outlines land use, density and development (including built form), access arrangements, infrastructure, environmental assets and community facilities at a precinct scale to facilitate future subdivision and development.</p> <p>The City has recommended approval of the PSP subject to modifications. One of the modifications requested is the preparation of Design Guidelines to be inserted as an appendix to the PSP.</p> <p><b>Design Guidelines</b> The draft Design Guidelines for the Nedlands Village PSP area provides detailed built form controls for the future single house development within the PSP area. The aim is to ensure that the future single house development will respond to the site’s location, context and topography, while enhancing the area’s amenity and character.</p> <p>The Design Guidelines are to be read in conjunction with the Residential Design Codes (R-Codes) and Nedlands Village PSP. The Design Guidelines include variations to the R-Codes and additional controls relating to built form, materials and finishes.</p> <p>Note that these Design Guidelines pertain only to the single house component of the Nedlands Village PSP. Apartment, commercial and mixed-use development are subject to separate development controls.</p> <p>The single house development is proposed to be coded R80, thereby the Residential Design Codes Volume 1 Part C is applicable. The draft Design Guidelines propose to modify sections Part C, the key modifications are as detailed below.</p> <p><b>Assessment</b> As assessment relates to future built form, the DRP review has been carried out in the context of the 10 Design Principles in SPP 7.0.</p>

<p><b>Strengths of the proposal</b></p>	<ul style="list-style-type: none"> <li>• The reiterative design testing process which has been undertaken to formulate the Design Guidelines is commended and supported.</li> <li>• The establishment of an Estate Architect, Design Review and approvals process is supported.</li> <li>• The nominated setbacks exceed R-Code requirements in some circumstances.</li> <li>• The requirement for minimum 2 storey built form facing streetscapes is supported.</li> <li>• The local built form character precedents and proposed materiality palette included in the Design Guidelines is positive.</li> <li>• Mandating pedestrian entry gates separate from vehicle access is supported.</li> <li>• The ESD requirements in the Design Guidelines are generally supported.</li> </ul>
<p><b>Principle 1 - Context and character</b></p>	<p><i>Good design responds to and enhances the distinctive characteristics of a local area, contributing to a sense of place.</i></p> <p><u>1a. Comments</u></p> <ul style="list-style-type: none"> <li>• The potential level of streetscape interactivity and passive surveillance could be further controlled / strengthened by the insertion of additional guideline requirements.</li> <li>• The streetscape fencing is an important aspect of the precinct and should be further considered as well as illustrated to ensure it will integrate well and contribute to the character and feel of the precinct in a positive way.</li> <li>• The proposed built form character precedent / examples are supported and will potentially be drawn upon by prospective purchasers and designers.</li> <li>• Some of the external path connections on the overall precinct plans were missing.</li> </ul> <p><u>1b. Suggested amendments/improvements</u></p> <ul style="list-style-type: none"> <li>• Provisions should be included in the guidelines to ensure all upper levels have major openings from habitable rooms addressing the street. The Design Testing concepts position en-suites on front elevations addressing the primary street which is not encouraged / supported.</li> <li>• Provisions should be included to ensure main pedestrian entrances are orientated towards and visible from streetscapes. The Design Testing shows entrances tucked around corners and quite deep in the lots which is not encouraged / supported.</li> <li>• Windows on the elevations to the 'open ends' of blocks (side elevations) and addressing laneways should be further encouraged to generate increased passive surveillance of all streetscapes.</li> <li>• Front fencing will be a very important element in generating the desired character and feel of the streetscapes as well as the precinct. The Panel understands this will be designed and delivered by the developer. Finding the right balance in terms of a cohesive streetscape and diversity of fine grain design detail is important in avoiding an 'estate' feel. Visual permeability is also crucial. If all fencing is identical it will potentially</li> </ul>

	<p>appear monotonous and out of keeping with the diversity of the built form. The Panel encourages a diversity of design, colour, height etc. to the fencing so the development does not resemble a fringe suburb estate.</p> <ul style="list-style-type: none"> <li>• The Applicant is also encouraged to consider fencing permeability further for the different conditions / interfaces in the precinct. The Design Testing shows solid fence walls above retaining walls in some circumstances which generates blank / inactive streetscape interfaces and is not encouraged / supported. The Design Guidelines nominate all fencing to be permeable above 1.2m. This may be appropriate for side boundaries to 'open end' lots however greater permeability is encouraged on front boundary streetscape interfaces and lots where site levels are above footpath level. The applicant is encouraged to consider visually permeable fencing down to ground level / top of retaining walls on elevated lots.</li> <li>• The Applicant is encouraged to further consider and illustrate fence designs / conditions on different streetscape interfaces within the precinct to ensure a high level of streetscape interactivity, passive surveillance as well as visual interest is achieved.</li> <li>• Consider expanding upon the built form character precedents in the Design Guidelines.</li> <li>• Whilst the external path connections on the overall precinct plans don't technically form part of the Design Guidelines, it is useful to provide an accurate picture of connectivity on the diagrams.</li> </ul>
<p>Principle 2 - <b>Landscape quality</b></p>	<p><i>Good design recognises that together landscape and buildings operate as an integrated and sustainable system, within a broader ecological context.</i></p> <p><u>2a. Comments</u></p> <ul style="list-style-type: none"> <li>• The Panel is generally supportive of the landscaping provisions within the Design Guidelines.</li> <li>• In some locations overhead power lines may impact on verge treatments.</li> </ul> <p><u>2b. Suggested amendments/improvements</u></p> <ul style="list-style-type: none"> <li>• The applicant is encouraged to further consider verge treatments where verges are impacted by overhead power lines. Under such circumstances, increased setbacks and/or other measures to deal with this and achieve healthy tree canopy should be mandated.</li> </ul>
<p>Principle 3 - <b>Built form and scale</b></p>	<p><i>Good design ensures that the massing and height of development is appropriate to its setting and successfully negotiates between existing built form and the intended future character of the local area.</i></p> <p><u>3a. Comments</u></p> <ul style="list-style-type: none"> <li>• No comments. Supported.</li> </ul> <p><u>3b. Suggested amendments/improvements</u></p> <ul style="list-style-type: none"> <li>• Nil.</li> </ul>
<p>Principle 4 - <b>Functionality and build quality</b></p>	<p><i>Good design meets the needs of users efficiently and effectively, balancing functional requirements to perform well and deliver optimum benefit over the full life cycle.</i></p>

	<p><u>4a. Comments</u></p> <ul style="list-style-type: none"> <li>• The applicant is encouraged to consider the location and screening of A/C condensers further.</li> <li>• Further consideration may be required to ensure design outcomes are achievable if one purchaser buys multiple lots.</li> </ul> <p><u>4b. Suggested amendments/improvements</u></p> <ul style="list-style-type: none"> <li>• Provisions should be included in the Design Guidelines to ensure A/C condensers are screened from both public and private realms and are not located in or discharging into, private courtyard spaces which are already quite small.</li> <li>• Further guideline provisions are encouraged to communicate and control desired outcomes in the event of one person buying multiple adjoining lots.</li> <li>• Include a definition of Estate Architect plus a link to a site describing their role and the review process within the guidelines for clarity.</li> </ul>
Principle 5 - <b>Sustainability</b>	<i>Good design optimises the sustainability of the built environment, delivering positive environmental, social, and economic outcomes.</i>
	<p><u>5a. Comments</u></p> <ul style="list-style-type: none"> <li>• The approach to sustainability is generally supported.</li> </ul> <p><u>5b. Suggested amendments/improvements</u></p> <ul style="list-style-type: none"> <li>• Consider making LED lighting a mandatory rather than encouraged option in the Design Guidelines.</li> </ul>
Principle 6 - <b>Amenity</b>	<i>Good design optimises internal and external amenity for occupants, visitors, and neighbours, providing environments that are comfortable, productive and healthy.</i>
	<p><u>6a. Comments</u></p> <ul style="list-style-type: none"> <li>• The proposed variation to the R-Codes reducing the primary garden area from 35-40sqm to 20sqm is significant and requires further provisions to ensure adequate usable outdoor space is provided for future residents.</li> <li>• The garage (and hence cross-over) as well as courtyard garden area locations / configurations are varied on the lots which may be well understood by planners however these configurations may not be fully understood by lay persons viewing them.</li> </ul> <p><u>6b. Suggested amendments/improvements</u></p> <ul style="list-style-type: none"> <li>• If intending to vary the R-Code primary garden areas to such a significant degree, further justification and measures to counter this reduction should be provided. This may include linking this to a requirement to the inclusion of a generous upper floor balcony with a defined minimum size.</li> <li>• The applicant is encouraged to show the built form component on the small diagrams which currently only nominate garage and private garden area / courtyard locations. These pages also show potential built form organisations however the potential alternate floorplan could also be shown to fully illustrate how the differing configurations impact on</li> </ul>

		adjacent properties and clearly illustrate the potential outcomes for prospective purchasers.
Principle 7 - <b>Legibility</b>		<i>Good design results in buildings and places that are legible, with clear connections and easily identifiable elements to help people find their way around.</i>
		<p><u>7a. Comments</u></p> <ul style="list-style-type: none"> <li>Refer to comments in relation to pedestrian entrances in the Context &amp; Character Principle.</li> </ul> <p><u>7b. Suggested amendments/improvements</u></p> <ul style="list-style-type: none"> <li>Nil.</li> </ul>
Principle 8 - <b>Safety</b>		<i>Good design optimises safety and security, minimising the risk of personal harm and supporting safe behaviour and use.</i>
		<p><u>8a. Comments</u></p> <ul style="list-style-type: none"> <li>The passive surveillance of primary streets, secondary streets and laneways could be further strengthened. Refer to comments in the Context &amp; Character Principle.</li> </ul> <p><u>8b. Suggested amendments/improvements</u></p> <ul style="list-style-type: none"> <li>The applicant is encouraged to consider further guideline provisions establishing larger balconies facing primary streets, upper levels with major openings addressing the street (ie rather than en-suites), major openings overlooking laneways, pedestrian entrances facing the street and greater visual permeability within the fencing (rather than blank walls).</li> </ul>
Principle 9 - <b>Community</b>		<i>Good design responds to local community needs as well as the wider social context, providing environments that support a diverse range of people and facilitate social interaction.</i>
		<p><u>9a. Comments</u></p> <ul style="list-style-type: none"> <li>No comments. Supported.</li> </ul> <p><u>9b. Suggested amendments/improvements</u></p> <ul style="list-style-type: none"> <li>Nil.</li> </ul>
Principle 10 <b>Aesthetics</b>		<i>Good design is the product of a skilled, judicious design process that results in attractive and inviting buildings and places that engage the senses.</i>
NA		<p><u>10a. Comments</u></p> <ul style="list-style-type: none"> <li>The suggested materiality palate is supported. This Principle is largely not applicable as individual house aesthetics would be assessed as part of future Development Approvals.</li> </ul> <p><u>10b. Suggested amendments/improvements</u></p> <ul style="list-style-type: none"> <li>Nil.</li> </ul>
<b>ADDITIONAL COMMENTS</b>		The DRP has considered / commented on the Design Testing as well as the Design Guidelines as the testing has been used to inform the Guidelines and will potentially be offered to prospective purchasers as options for the lots. On this basis the applicant is encouraged to ensure the Design Testing fully aligns with the Design Guidelines and illustrates

	<p>the envisaged outcome in relation to public realm and streetscape interfaces. Some examples within the Design Testing show unscreened bins facing laneways, front entrances not legible from the streetscape, en-suites positioned on front elevations and high solid streetscape interface fence walls which are all not encouraged by the Panel.</p> <p>The reiterative design testing process which has been undertaken to formulate the Design Guidelines is generally commended and supported. Overall the Design Guidelines demonstrate the precinct lot configurations are workable and establish a good platform for generating an active, liveable and social community. There are some additional provisions / controls that the applicant is encouraged to consider incorporating in order to maximise passive surveillance, generate interactive front boundary interfaces, provide adequately sized high quality private outdoor space, and screen utilities appropriately. The applicant is also encouraged to further consider and illustrate streetscape within the precinct.</p>
<b>OVERALL RECOMMENDATION</b>	Requires Further Attention. To be returned to the DRP.

*Nedlands Reserve PSP – Design Guidelines*  
**Design Review Panel minutes from 5 Aug 2024 session**

<i>DRP minutes</i>	<i>Project team comments</i>
<p><b>Strengths of the proposal</b></p> <ul style="list-style-type: none"> <li>• The reiterative design testing process which has been undertaken to formulate the Design Guidelines is commended and supported.</li> <li>• The establishment of an Estate Architect, Design Review and approvals process is supported.</li> <li>• The nominated setbacks exceed R-Code requirements in some circumstances.</li> <li>• The requirement for minimum 2 storey built form facing streetscapes is supported.</li> <li>• The local built form character precedents and proposed materiality palette included in the Design Guidelines is positive.</li> <li>• Mandating pedestrian entry gates separate from vehicle access is supported.</li> <li>• The ESD requirements in the Design Guidelines are generally supported.</li> </ul>	<p>Strengths comments noted and appreciated.</p>
<p><b>Principle 1: Context and Character</b></p> <p>1a. Comments</p> <ul style="list-style-type: none"> <li>• The potential level of streetscape interactivity and passive surveillance could be further controlled / strengthened by the insertion of additional guideline requirements.</li> <li>• The streetscape fencing is an important aspect of the precinct and should be further considered as well as illustrated to ensure it will integrate well and contribute to the character and feel of the precinct in a positive way.</li> <li>• The proposed built form character precedent / examples are supported and will potentially be drawn upon by prospective purchasers and designers.</li> <li>• Some of the external path connections on the overall precinct plans were missing.</li> </ul>	<p>1a. Comments</p> <ul style="list-style-type: none"> <li>• The Guidelines contain requirements and encouragement of two-storey development and ancillary dwellings with the stated intention of facilitating passive surveillance and streetscape interaction. These work with the usual R-Codes ‘Streetscape’ requirements.</li> <li>• H-U will collaborate with Plan E to design thoughtfully considered boundary fencing that will positively enhance the precinct’s streetscape character.</li> <li>• Noted re. built form precedents.</li> <li>• External path connection annotation can be updated if the City requires.</li> </ul>

<p>1b. Suggested amendments/improvements</p> <ul style="list-style-type: none"> <li>• Provisions should be included in the guidelines to ensure all upper levels have major openings from habitable rooms addressing the street. The Design Testing concepts position en-suites on front elevations addressing the primary street which is not encouraged / supported.</li> <li>• Provisions should be included to ensure main pedestrian entrances are orientated towards and visible from streetscapes. The Design Testing shows entrances tucked around corners and quite deep in the lots which is not encouraged / supported.</li> <li>• Windows on the elevations to the 'open ends' of blocks (side elevations) and addressing laneways should be further encouraged to generate increased passive surveillance of all streetscapes.</li> <li>• Front fencing will be a very important element in generating the desired character and feel of the streetscapes as well as the precinct. The Panel understands this will be designed and delivered by the developer. Finding the right balance in terms of a cohesive streetscape and diversity of fine grain design detail is important in avoiding an 'estate' feel. Visual permeability is also crucial. If all fencing is identical it will potentially appear monotonous and out of keeping with the diversity of the built form. The Panel encourages a diversity of design, colour, height etc. to the fencing so the development does not resemble a fringe suburb estate.</li> <li>• The Applicant is also encouraged to consider fencing permeability further for the different conditions / interfaces in the precinct. The Design Testing shows solid fence walls above retaining walls in some circumstances which generates blank / inactive streetscape interfaces and is not encouraged / supported. The Design Guidelines nominate all fencing to be permeable above 1.2m. This may be appropriate for side boundaries to 'open end' lots however greater permeability is encouraged on front boundary streetscape interfaces and lots where site levels are above footpath level. The applicant is encouraged to consider visually permeable fencing down to ground level / top of retaining walls on elevated lots.</li> <li>• The Applicant is encouraged to further consider and illustrate fence designs / conditions on different streetscape interfaces within the</li> </ul>	<p>1b. Suggest amendments / improvements</p> <ul style="list-style-type: none"> <li>• The instances of en-suites on front elevations is generally a product of the numerous other considerations the house designs are required to incorporate, particularly solar orientation.</li> <li>• We understand the Panel's perspective, but we believe that the orientation of front doors is less important in terms of passive surveillance and streetscape interactivity than the positioning and orientation of windows, and the increased depths for the primary street setback areas are intended to create spaces for residents to linger and interact with passers-by, which would be less likely if the setbacks were shorter and front doors consequently closer to the street.</li> <li>• In principle, we support this initiative and can consider adding provisions to Section 5.2.</li> <li>• H-U will collaborate with Plan E to design thoughtfully considered boundary fencing that will positively enhance the precinct's streetscape character.</li> <li>• As above.</li> <li>• As above.</li> <li>• We appreciate the Panel's earlier comments regarding the use of precedents. We can seek opportunities to expand these further if the City wishes.</li> <li>• External path connection annotation can be updated if the City requires.</li> </ul>
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<p>precinct to ensure a high level of streetscape interactivity, passive surveillance as well as visual interest is achieved.</p> <ul style="list-style-type: none"> <li>• Consider expanding upon the built form character precedents in the Design Guidelines.</li> <li>• Whilst the external path connections on the overall precinct plans don't technically form part of the Design Guidelines, it is useful to provide an accurate picture of connectivity on the diagrams.</li> </ul>	
<p><b>Principle 2: Landscape Quality</b></p> <p>2a. Comments</p> <ul style="list-style-type: none"> <li>• The Panel is generally supportive of the landscaping provisions within the Design Guidelines.</li> <li>• In some locations overhead power lines may impact on verge treatments.</li> </ul> <p>2b. Suggested amendments/improvements</p> <ul style="list-style-type: none"> <li>• The applicant is encouraged to further consider verge treatments where verges are impacted by overhead power lines. Under such circumstances, increased setbacks and/or other measures to deal with this and achieve healthy tree canopy should be mandated.</li> </ul>	<p>The Panel's support is noted and appreciated. Final verge treatments, which will be agreed with the City at the subdivision stage, will be responsive to the context of each verge and give consideration to (relevantly) overhead power lines and other constraints.</p>
<p><b>Principle 3: Built Form and Scale</b></p> <p>3a. Comments</p> <ul style="list-style-type: none"> <li>• No comments. Supported.</li> </ul> <p>3b. Suggested amendments/improvements</p> <ul style="list-style-type: none"> <li>• Nil.</li> </ul>	<p>Noted.</p>
<p><b>Principle 4: Functionality and Build Quality</b></p> <p>4a. Comments</p>	<p>4a. Comments</p> <ul style="list-style-type: none"> <li>• A development control, no. DC17 in Section 5.7 states: <i>"All services, including conduit and air-conditioning condensers shall be screened or concealed from view on primary, secondary and tertiary</i></li> </ul>

<ul style="list-style-type: none"> <li>• The applicant is encouraged to consider the location and screening of A/C condensers further.</li> <li>• Further consideration may be required to ensure design outcomes are achievable if one purchaser buys multiple lots.</li> </ul> <p>4b. Suggested amendments/improvements</p> <ul style="list-style-type: none"> <li>• Provisions should be included in the Design Guidelines to ensure A/C condensers are screened from both public and private realms and are not located in or discharging into, private courtyard spaces which are already quite small.</li> <li>• Further guideline provisions are encouraged to communicate and control desired outcomes in the event of one person buying multiple adjoining lots.</li> <li>• Include a definition of Estate Architect plus a link to a site describing their role and the review process within the guidelines for clarity.</li> </ul>	<p><i>elevations or integrated into the house design.” We believe this requirement is sufficiently strong but can give it further consideration if the City requires.</i></p> <ul style="list-style-type: none"> <li>• From a planning perspective, this scenario is not overly concerning because the same R-Codes and DGs requirements will apply in terms of the design of the house, however, provisions can be investigated if the City wishes.</li> </ul> <p>4b. Suggested amendments / improvements</p> <ul style="list-style-type: none"> <li>• Refer to comment above.</li> <li>• Refer to comment above.</li> <li>• The role of the estate architect / Design Panel is outlined in detail in Section 3: Approval Process, but this can be expanded if the City requires.</li> </ul>
<p><b>Principle 5: Sustainability</b></p> <p>5a. Comments</p> <ul style="list-style-type: none"> <li>• The approach to sustainability is generally supported.</li> </ul> <p>5b. Suggested amendments/improvements</p> <ul style="list-style-type: none"> <li>• Consider making LED lighting a mandatory rather than encouraged option in the Design Guidelines.</li> </ul>	<p>5a. Comments</p> <ul style="list-style-type: none"> <li>• The Panel’s support is noted and appreciated.</li> </ul> <p>5b. Suggested amendments/improvements</p> <ul style="list-style-type: none"> <li>• We can consider this proposal but feel that it is difficult to enforce, meaning that ‘encouragement’ of LED lighting is likely to be equally effective.</li> </ul>
<p><b>Principle 6: Amenity</b></p> <p>6a. Comments</p> <ul style="list-style-type: none"> <li>• The proposed variation to the R-Codes reducing the primary garden area from 35-40sqm to 20sqm is significant and requires further provisions to ensure adequate usable outdoor space is provided for future residents.</li> <li>• The garage (and hence cross-over) as well as courtyard garden area locations / configurations are varied on the lots which may be</li> </ul>	<p>6a. Comments</p> <ul style="list-style-type: none"> <li>• In relation to Primary Garden Areas, firstly, the site coverage limit in the R-Codes is not being altered and within that, the house designs being contemplated have a main PGA of approximately 20sqm and other outdoor spaces such as small courtyards, deeper front and tertiary setback areas and balconies that provide better outcomes in terms of light, ventilation, articulation, functionality and streetscape interactivity than would be possible if more of the open space were to be concentrated in one part of the lot. In response to the DRP’s</li> </ul>

<p>well understood by planners however these configurations may not be fully understood by lay persons viewing them.</p> <p>6b. Suggested amendments/improvements</p> <ul style="list-style-type: none"> <li>• If intending to vary the R-Code primary garden areas to such a significant degree, further justification and measures to counter this reduction should be provided. This may include linking this to a requirement to the inclusion of a generous upper floor balcony with a defined minimum size.</li> <li>• The applicant is encouraged to show the built form component on the small diagrams which currently only nominate garage and private garden area / courtyard locations. These pages also show potential built form organisations however the potential alternate floorplan could also be shown to fully illustrate how the differing configurations impact on adjacent properties and clearly illustrate the potential outcomes for prospective purchasers.</li> </ul>	<p>point, we intend to prepare provision/s that link the reduced PGA to the provision of other spaces, as stated.</p> <ul style="list-style-type: none"> <li>• The project team feels that the provisions relating to the location of garage/crossover locations are sufficiently clear, but we can consider an alternative approach if the City requires.</li> </ul> <p>6b. Suggested amendments / improvements</p> <ul style="list-style-type: none"> <li>• Refer to comment above.</li> <li>• Refer to comment above. We are cautious to show built form footprints because these will vary depending on the purchaser's preferences and we don't wish to be perceived to be specifying a particular outcome in preference to others.</li> </ul>
<p><b>Principle 7: Legibility</b></p> <p>7a. Comments</p> <ul style="list-style-type: none"> <li>• Refer to comments in relation to pedestrian entrances in the Context &amp; Character Principle.</li> </ul> <p>7b. Suggested amendments/improvements</p> <ul style="list-style-type: none"> <li>• Nil.</li> </ul>	<p>7a. Comments</p> <ul style="list-style-type: none"> <li>• Refer to comment above.</li> </ul> <p>7b. Suggested amendments/improvements</p> <ul style="list-style-type: none"> <li>• Nil.</li> </ul>
<p><b>Principle 8: Safety</b></p> <p>8a. Comments</p> <ul style="list-style-type: none"> <li>• The passive surveillance of primary streets, secondary streets and laneways could be further strengthened. Refer to comments in the Context &amp; Character Principle.</li> </ul> <p>8b. Suggested amendments/improvements</p>	<p>8a. Comments</p> <ul style="list-style-type: none"> <li>• Refer to comments above.</li> </ul> <p>8b. Suggested amendments/improvements</p> <ul style="list-style-type: none"> <li>• Refer to comments above.</li> </ul>

<ul style="list-style-type: none"> <li>The applicant is encouraged to consider further guideline provisions establishing larger balconies facing primary streets, upper levels with major openings addressing the street (ie rather than en-suites), major openings overlooking laneways, pedestrian entrances facing the street and greater visual permeability within the fencing (rather than blank walls).</li> </ul>	
<p><b>Principle 9: Community</b></p> <p>9a. Comments</p> <ul style="list-style-type: none"> <li>No comments. Supported.</li> </ul> <p>9b. Suggested amendments/improvements</p> <ul style="list-style-type: none"> <li>Nil.</li> </ul>	<p>Noted.</p>
<p><b>Principle 10: Aesthetics</b></p> <p>10a. Comments</p> <ul style="list-style-type: none"> <li>The suggested materiality palette is supported. This Principle is largely not applicable as individual house aesthetics would be assessed as part of future Development Approvals.</li> </ul> <p>10b. Suggested amendments/improvements</p> <ul style="list-style-type: none"> <li>Nil.</li> </ul>	<p>Noted.</p>
<p><b>Additional Comments</b></p> <p>The DRP has considered / commented on the Design Testing as well as the Design Guidelines as the testing has been used to inform the Guidelines and will potentially be offered to prospective purchasers as options for the lots. On this basis the applicant is encouraged to ensure the Design Testing fully aligns with the Design Guidelines and illustrates the envisaged outcome in relation to public realm and streetscape interfaces. Some examples within the Design Testing show unscreened bins facing laneways, front entrances not legible from the streetscape, en-suites positioned on</p>	<p>Noted; refer to relevant comments above.</p>

front elevations and high solid streetscape interface fence walls which are all not encouraged by the Panel.

The reiterative design testing process which has been undertaken to formulate the Design Guidelines is generally commended and supported. Overall the Design Guidelines demonstrate the precinct lot configurations are workable and establish a good platform for generating an active, liveable and social community. There are some additional provisions / controls that the applicant is encouraged to consider incorporating in order to maximise passive surveillance, generate interactive front boundary interfaces, provide adequately sized high quality private outdoor space, and screen utilities appropriately. The applicant is also encouraged to further consider and illustrate streetscape within the precinct.

## Schedule of Submissions

### Nedlands Village Precinct Structure Plan Design Guidelines



City of Nedlands  
nedlands.wa.gov.au

#	Support / Object / Comment Only	Submission	Applicant Response	Officer Response
1.	Support	I have read all the material provided by Hesperia. I live directly opposite the planned development and am fully supportive. I appreciate the lengths that Hesperia and the City of Nedlands are going to put in place strict design criteria for the single dwelling homes. I think this targeted infill will be a great positive for the suburb and Hesperia are fantastic developers who will ensure a premium product. I believe the designs put forward by "Studio Roam" to align best with the surrounding streets and the most visually stimulating.	Noted.	Noted.
2.	Support	Strongly support this precinct plan. It will allow many existing residents to continue to age in place and remain connected to their community. There is ample green space and I think townhouse infill suits the location perfectly. I would like to see up to 15-20 levels of apartments and medical/office suites in this area to help support a greater population and allow Nedlands to grow sustainably.	Noted.	Noted.
3.	Object	I'm concerned that the development is not integrated with the established housing areas adjacent to the site and this results in large 3m retaining wall structures facing Karelia st and Williams rd and prevent disability access through proposed pedestrian access routes. The built form guidelines are recommending 3 story +3m site terrace retaining for properties and a 3m setback on William and Karelia which is inconsistent with the surrounding areas and should not be approved prior approval of rezoning of a buffer zone allowing development to transition at 3 or 4 stories high down to one or two at Clifton st.	<p>Universal access to and through the Precinct Structure Plan area will be provided in accordance with the City's usual requirements and the applicable Australian Standards in the normal manner.</p> <p>The rezoning or recoding of areas outside the PSP area is a matter for the City of Nedlands to consider in the</p>	It is acknowledged that the setback of Karella and Williams Street will be less than the street setbacks of the established surrounding area. This is due to the difference in density coding. However, it is acknowledged that the street setbacks proposed via the Design Guidelines are greater than those within the R-Codes, to create for an appropriate transition

## Schedule of Submissions

### Nedlands Village Precinct Structure Plan Design Guidelines



City of Nedlands  
nedlands.wa.gov.au

#	Support / Object / Comment Only	Submission	Applicant Response	Officer Response
		<p>We will have direct overlooking into our children's back yard from multiple homes in this development and the heritage protection and Ips3 local plan requires large setbacks to the north resulting in limited redevelopment opportunities to address through increased or contextualised housing suitable for children and private enjoyment.</p>	<p>context of the character of the area and its Local Planning Strategy.</p>	<p>between the established areas and the PSP area.</p> <p>It is acknowledged that the City does not support the modification to Element 3.10 Visual Privacy (see above). However, even if the R-Codes deemed-to-comply provisions were reinstated within the design guidelines, the single houses would not overlook any existing property outside of the PSP area given the width of the surrounding road reserves.</p>
4.	Object	<p>Lots 101 and 102 Monash Avenue should be zoned Mixed Use R-AC3 with 6 storey height limits. Lot 103 Karella Street should be zoned Residential R-AC4 restricting development to low-medium rise residential development only, with 3 storey height limits and no greater than 2 storey development fronting Williams Road and Karella Street in keeping with the existing streetscape and character of the suburb.</p>	<p>The R-AC0 density code proposed via Amendment 15 to LPS 3 creates a cross-reference to the Nedlands Reserve Precinct Structure Plan, which contains built form controls and was advertised for public comment earlier in 2024.</p> <p>The PSP provides that the vast majority of the Karella and Williams interfaces comprise townhouses of up to 3 storeys. The PSP only enables</p>	<p>Note there is no change to R-Coding as part of the Design Guidelines. The R-AC0 density code proposed via Scheme Amendment 15 is a cross reference to the final approved Nedlands Village PSP.</p>

## Schedule of Submissions

### Nedlands Village Precinct Structure Plan Design Guidelines



City of Nedlands  
nedlands.wa.gov.au

#	Support / Object / Comment Only	Submission	Applicant Response	Officer Response
			taller buildings (4+ storeys) along Smyth Rd and Monash Av.	
5.	Comment Only	I have looked at all the plans of areas within the Nedlands Precinct proposal. The buildings appear to be catering for a density of living that will increase the number of vehicles and road usage far beyond what the surrounding roads have experienced. As a resident very close to this precinct I am concerned about the traffic impact on the local school, learning area, hospitals, air pollution, and vehicle parking within the precinct and nearby streets external to the precinct. The townhouses all have a number of bedrooms which if (and most probably) rented means that there will be more vehicles per building than parking spaces allowed for.	Comprehensive reporting on the anticipated traffic impact of the development, among other matters, was submitted with the Precinct Structure Plan and is currently under assessment by the Department of Planning following review by the City.	Overall traffic impacts and impacts on local infrastructure have been considered as part of the original Precinct Structure Plan proposal (refer to Council Report PD31.05.24).
6.	Support	Very pleased to see guidelines for a development that fits into the area well, adds amenity and provides different forms of housing across the site. Each proposed form of housing is appropriate to the Block. The case study townhouses demonstrate how liveable spaces with trees as well as parking and storage can be located on the site. Thank you. I note that the guidelines for Block B do not include the Council's preference for a wide easement between Karella and Hardy. I am in favour of the block structure included in the Nedlands Village Design Guidelines and against any additional easement which would unbalance Block B and its pleasing 'mirror' of existing dwellings blocks on the eastern side of Williams Rd.	Noted.	Noted.

## Schedule of Submissions

### Nedlands Village Precinct Structure Plan Design Guidelines



City of Nedlands  
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#	Support / Object / Comment Only	Submission	Applicant Response	Officer Response
		Thank you for the opportunity to comment on this excellent document.		
7.	Comment Only	Support planting of significant vegetation. Referring to page 4 of 15 of Townhouse_Study_-_State_of_Kin.pdf, this shows that the courtyard is insufficient for a large tree, being hard up against boundary wall with limbs touching adjacent building and obviously unable to grow canopy on all sides.	All townhouse designs prepared to inform the Design Guidelines comply with the Deep Soil Area requirements of the R-Codes.	The City does not support modifications to Element 1.1 Private Open Space.
8.	Comment Only	<p>Parking for visitors of new residents does not seem to be catered for.</p> <p>In the feedback session on 22nd October, I mentioned that I thought that a carpark on one of the other lots would be a good idea to ameliorate the parking problem, which will inevitably happen. As a Smyth Rd resident, I am most concerned; Smyth Rd is already very busy, mostly because other areas of our immediate neighbourhood have been favoured as being effectively cut off from the main traffic flow from existing hospitals, Medical Centres, teaching facilities and AH Crawford Lodge - all in Monash Ave, currently putting parking in the streets in immediately neighbouring areas at a premium. The last thing we need is more pressure on Parking.</p> <p>I have a suggestion, even though it is belated; consider please sinking the properties - and the car-parking facility - that I suggested. The architectural know-how to do this in a pleasant and effective way is available in public knowledge spaces.</p>	<p>Visitor parking is controlled under the R-Codes and the relevant requirements will be imposed by the City at the development stage.</p> <p>Comprehensive reporting on the anticipated traffic impact of the development, among other matters, was submitted with the Precinct Structure Plan and is currently under assessment by the Department of Planning following review by the City.</p> <p>The central POS is intended to be an urban park primarily for use by local people. The intended tree and shrub species mix will create habitat for birds and insects and vastly improve the currently barren environment</p>	<p>Overall traffic impacts have been considered as part of the original Precinct Structure Plan proposal (refer to Council Report PD31.05.24). There is no proposed modification to car parking numbers as parking the Design Guidelines. The number of bays required per dwelling is as per the R-Codes.</p> <p>There is no prohibition on underground parking as part of the Design Guidelines, and this may be considered.</p> <p>The design and location of the public open space was considered as part of the original Precinct Structure Plan proposal (refer to Council Report PD31.05.24).</p>

**Schedule of Submissions**  
**Nedlands Village Precinct Structure Plan Design**  
**Guidelines**



City of Nedlands  
 nedlands.wa.gov.au

#	Support / Object / Comment Only	Submission	Applicant Response	Officer Response
		<p>I would further like to advise that the proposed Green Park area in this development is in an enclosed and sun-limited position, making it hard for it to be friendly to wildlife or appealing to future residents and their children. Perhaps it could be relocated along a street with access to sun and being a joy to passing public, whether on foot or in cars.</p>	<p>currently evident on the site. It will be neither enclosed nor sun-limited, being bounded on two sides by public roads and accessible from the south-west via a public pedestrian access way. Its long boundary is to the north and its regular shape facilitates excellent solar access.</p>	

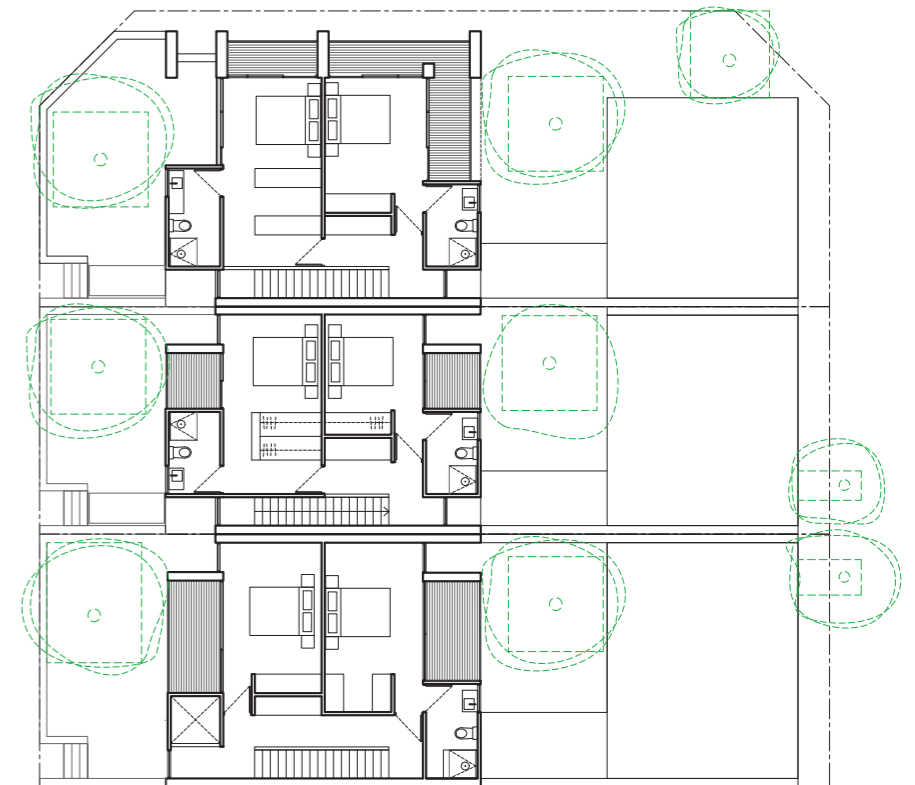
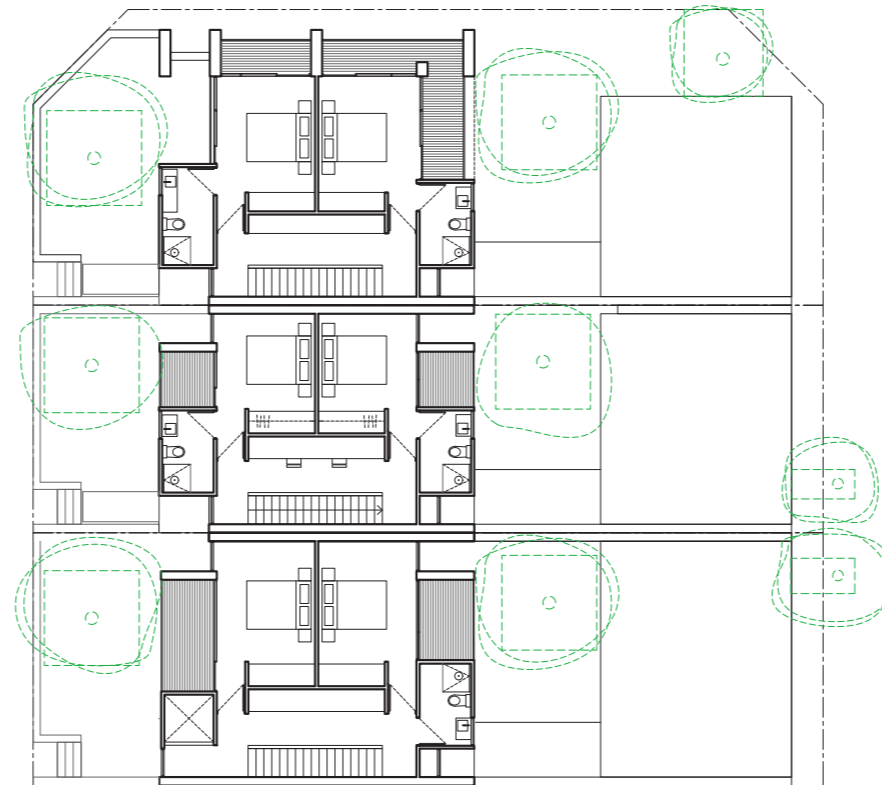
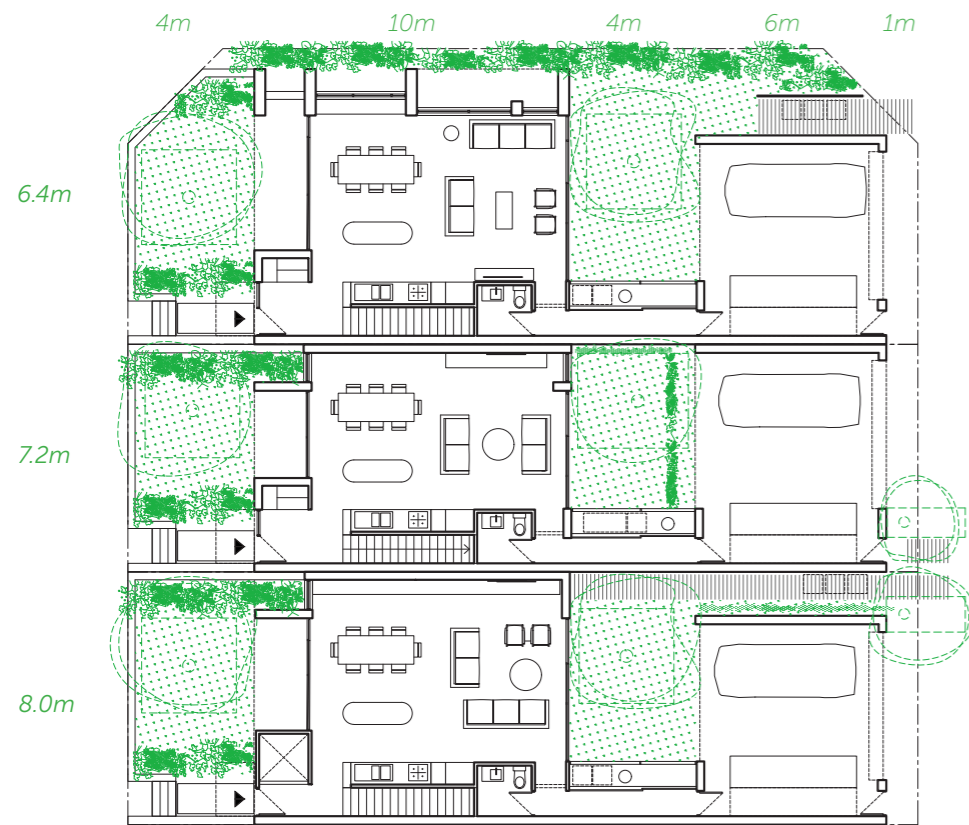


23<sup>th</sup> February 2024

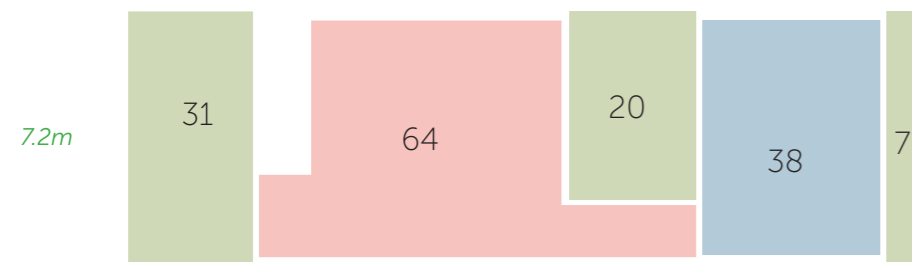
PRESENTATION 04

# *NEDLANDS RESERVE STUDY*

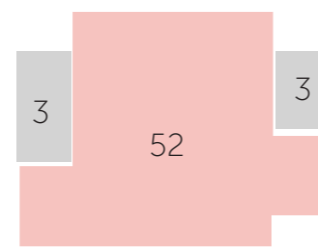
# NEDLANDS RESERVE STUDY



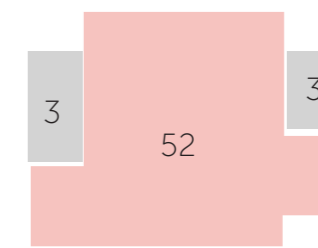
GROUND LEVEL



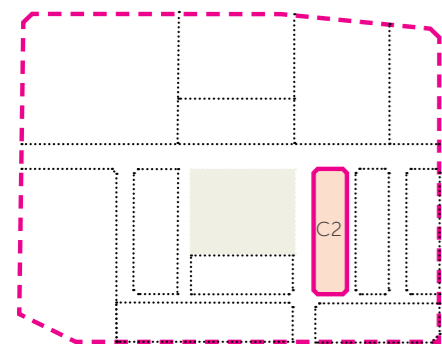
FIRST LEVEL



SECOND LEVEL



Internal	168m <sup>2</sup>
Open Space	58m <sup>2</sup>
Carport	34m <sup>2</sup>
Verandah	12m <sup>2</sup>



C2

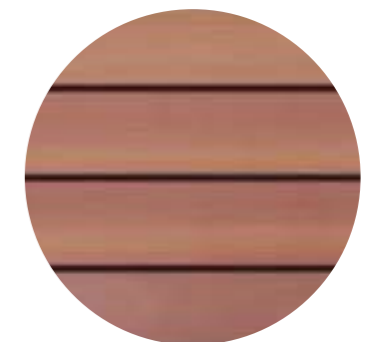
## TYPE C2 "Tall"

- 3 storey, 4 bed, 2.5 bath (min)
- single storey garage to lane
- living on ground or middle level (interchangeable)
- min 3m courtyard
- min 4m primary setback
- lift option shown on 8m wide lot

## LIGHT Material Palette



## DARK Material Palette



# NEDLANDS RESERVE STUDY



PRIMARY FRONTAGE

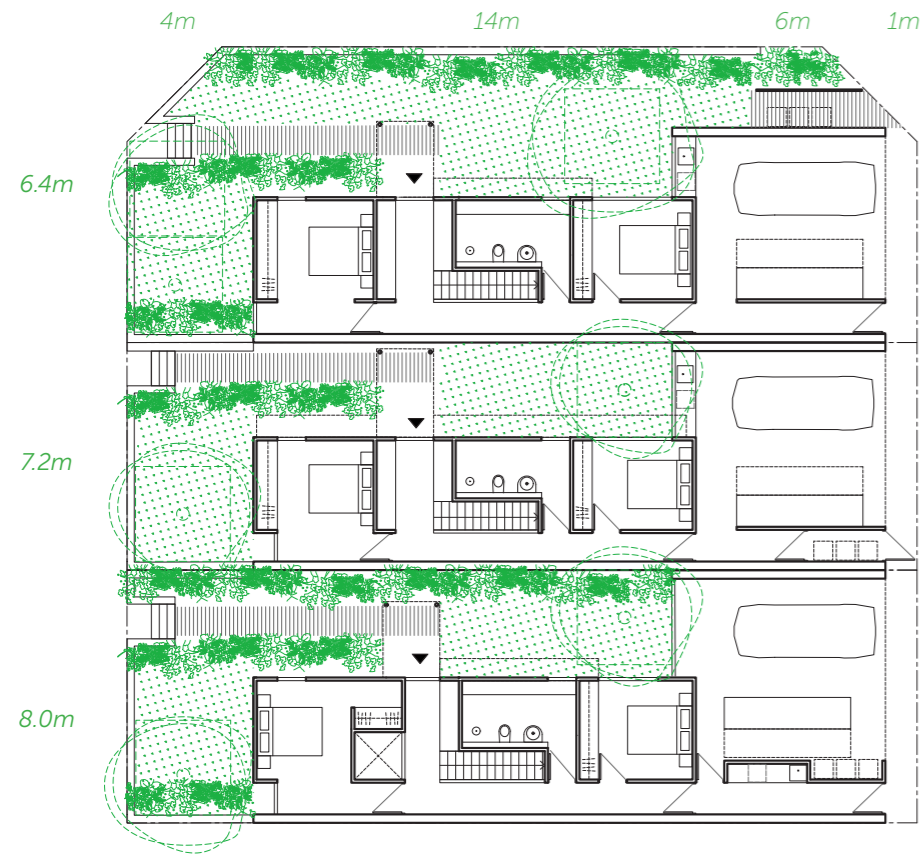


SECONDARY FRONTAGE

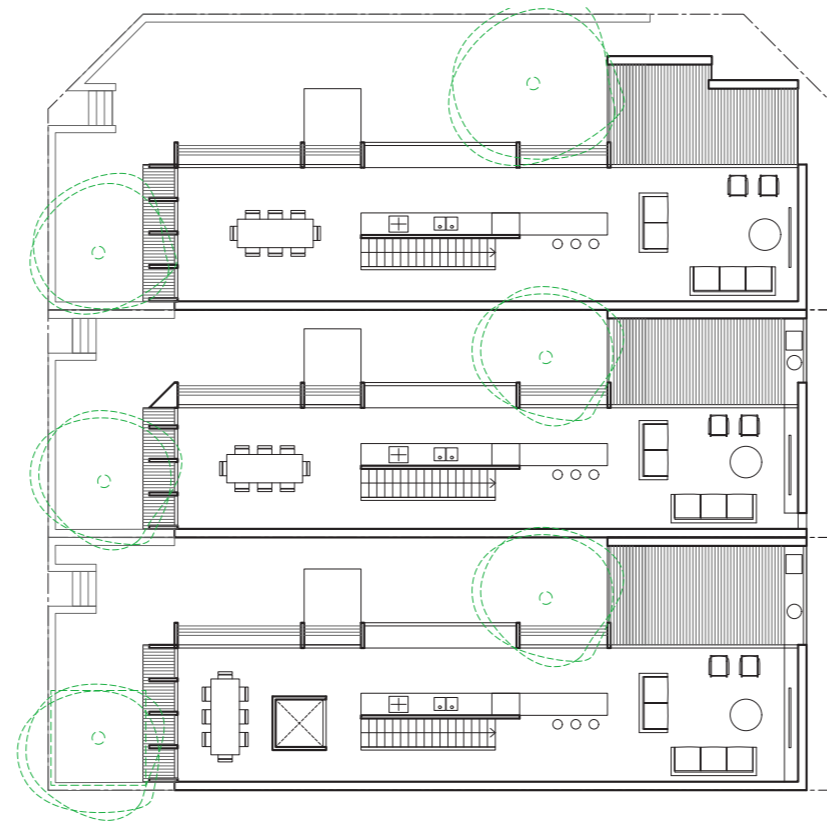
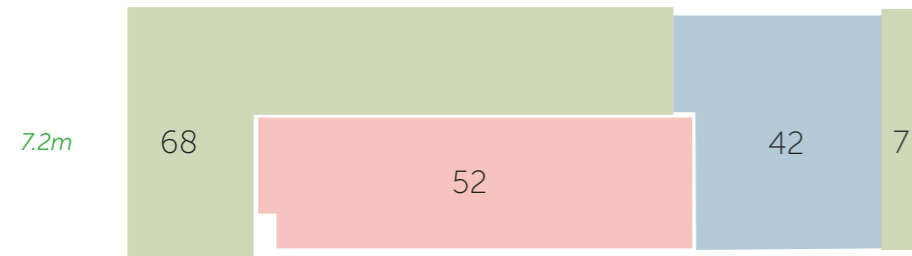


TYPE C2 "Tall"

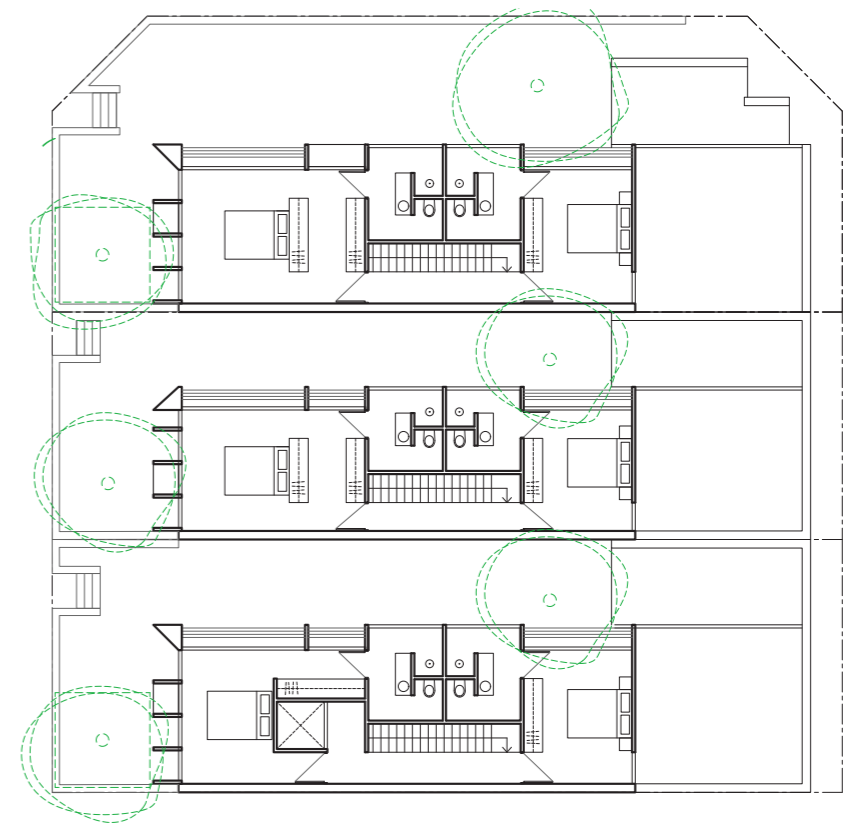
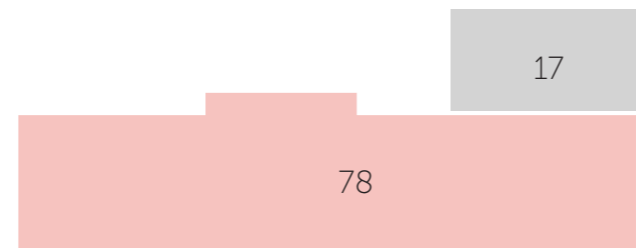
# NEDLANDS RESERVE STUDY



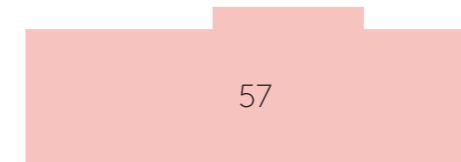
GROUND LEVEL



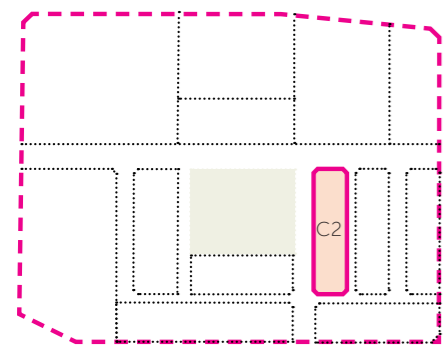
FIRST LEVEL



SECOND LEVEL



Internal	187m <sup>2</sup>
Open Space	75m <sup>2</sup>
Carport	42m <sup>2</sup>
Verandah	17m <sup>2</sup>



C2

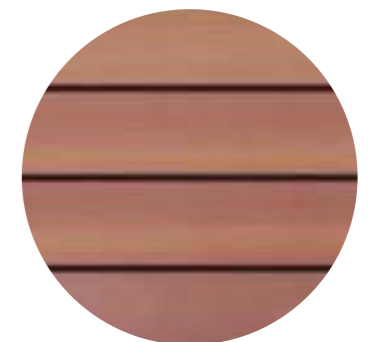
## TYPE C2 "Skinny"

- 3 Storey, 4 bed, 3.5 bath
- single storey carport to lane
- living on middle level
- min 3.0 courtyard north of house
- separate cars; separate courtyards
- lift option shown on 8m wide lot

## LIGHT Material Palette



## DARK Material Palette



# NEDLANDS RESERVE STUDY



PRIMARY FRONTAGE



SECONDARY FRONTAGE

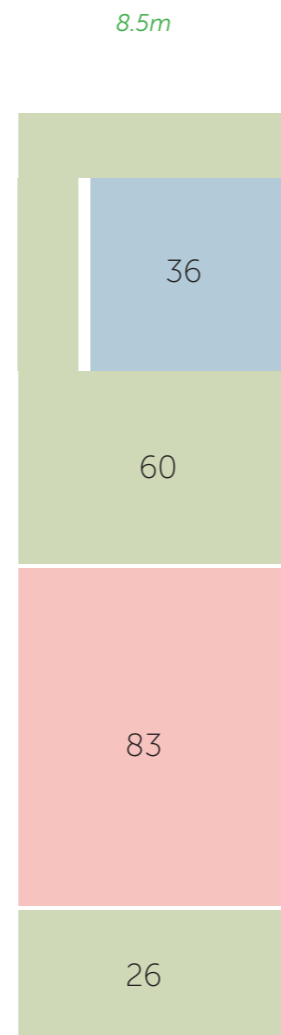


TYPE C2 "Skinny"

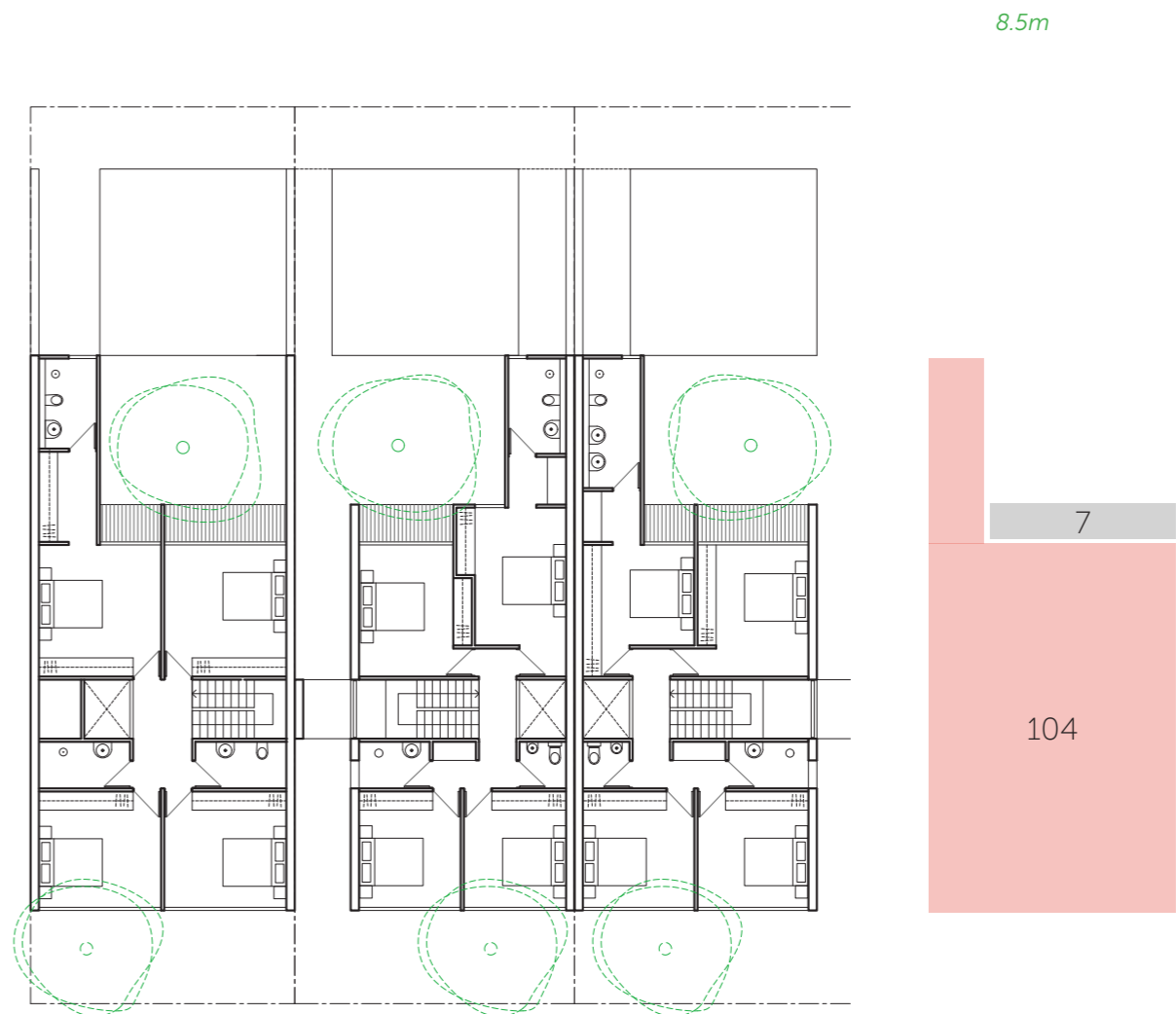
# NEDLANDS RESERVE STUDY



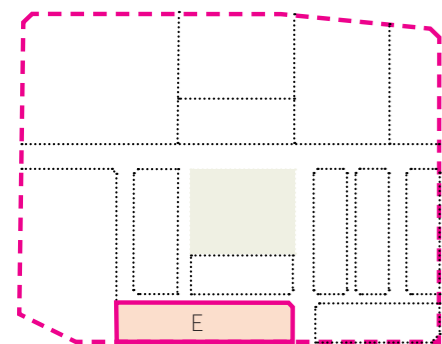
GROUND LEVEL



Internal 187m<sup>2</sup>  
 Open Space 86m<sup>2</sup>  
 Carport 36m<sup>2</sup>  
 Verandah 7m<sup>2</sup>



FIRST LEVEL



E

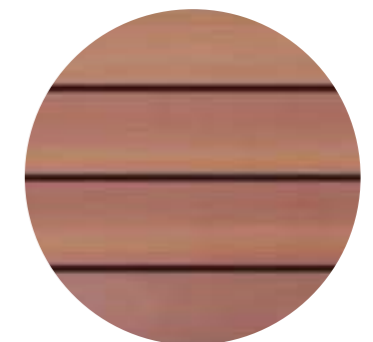
## TYPE E "Live on Ground"

- 2 storey, 4 bed, 2.5 bath
- single storey carport to lane
- living on ground,
- min 6x6 courtyard north of living
- back to back courtyards
- side gardens to 9-10m wide lots

## LIGHT Material Palette



## DARK Material Palette



# NEDLANDS RESERVE STUDY



PRIMARY FRONTAGE



SECONDARY FRONTAGE



TYPE E "Live on Ground"

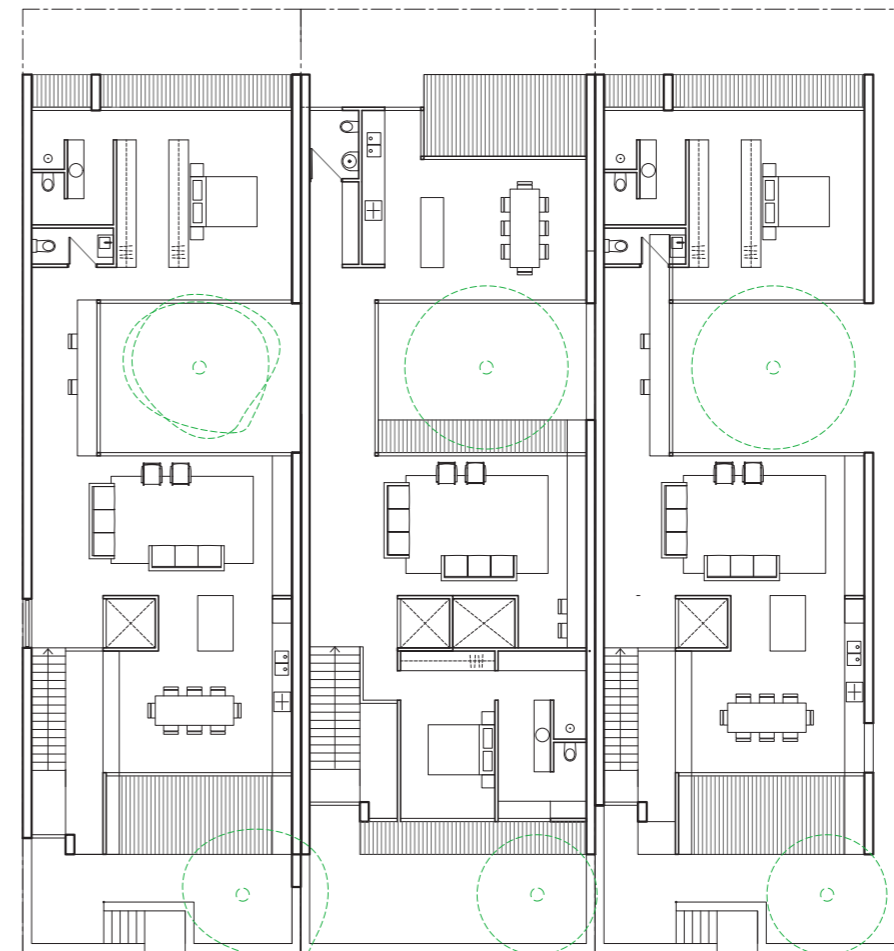
# NEDLANDS RESERVE STUDY



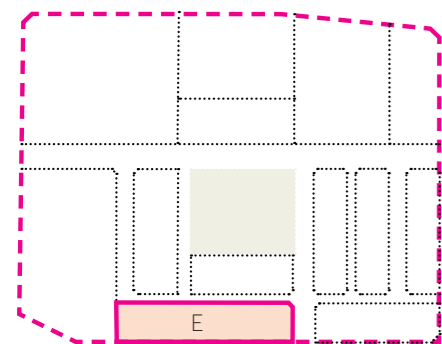
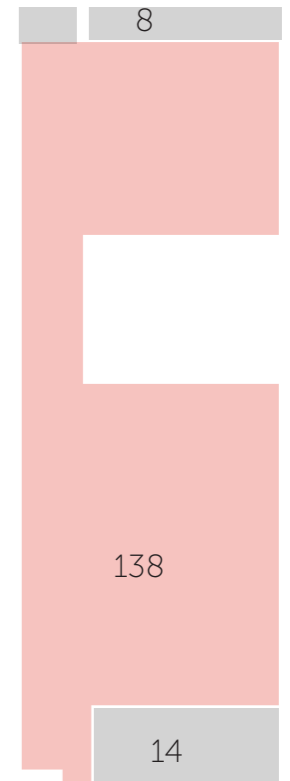
GROUND LEVEL



Internal 218m<sup>2</sup>  
 Open Space 103m<sup>2</sup>  
 Carport 34m<sup>2</sup>  
 Verandah 22m<sup>2</sup>



FIRST LEVEL



E

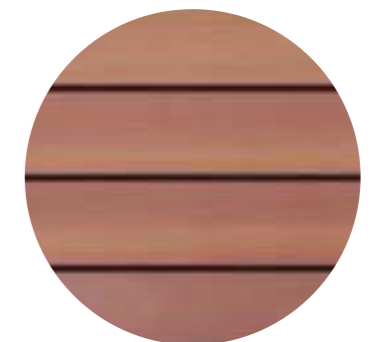
## TYPE E "Live in the air"

- 2 storey, 4 bed, 2.5 bath
- two storey to lane
- living on upper floor (two options)
- min 6 x 6 courtyard north of living

## LIGHT Material Palette



## DARK Material Palette



# NEDLANDS RESERVE STUDY



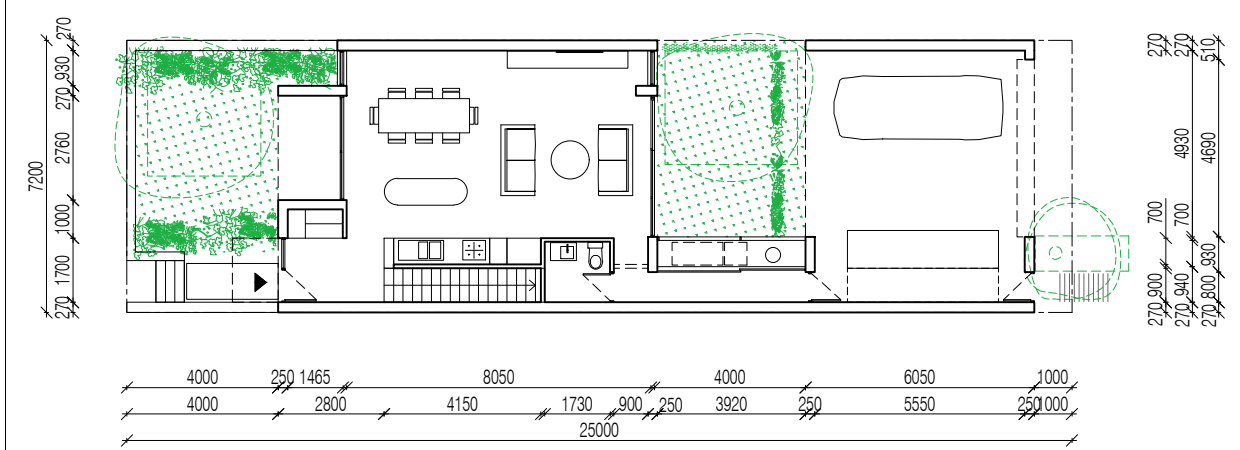
PRIMARY FRONTAGE



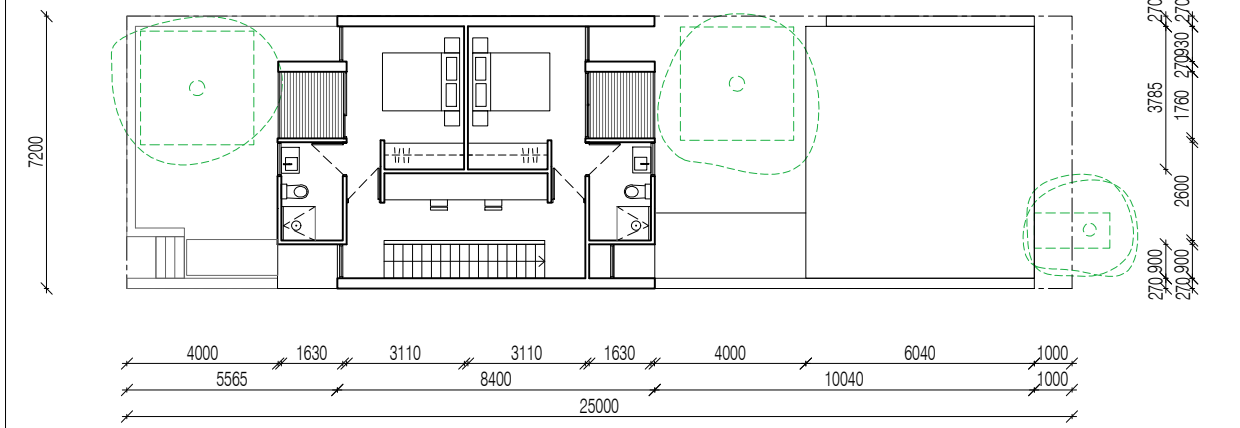
SECONDARY FRONTAGE



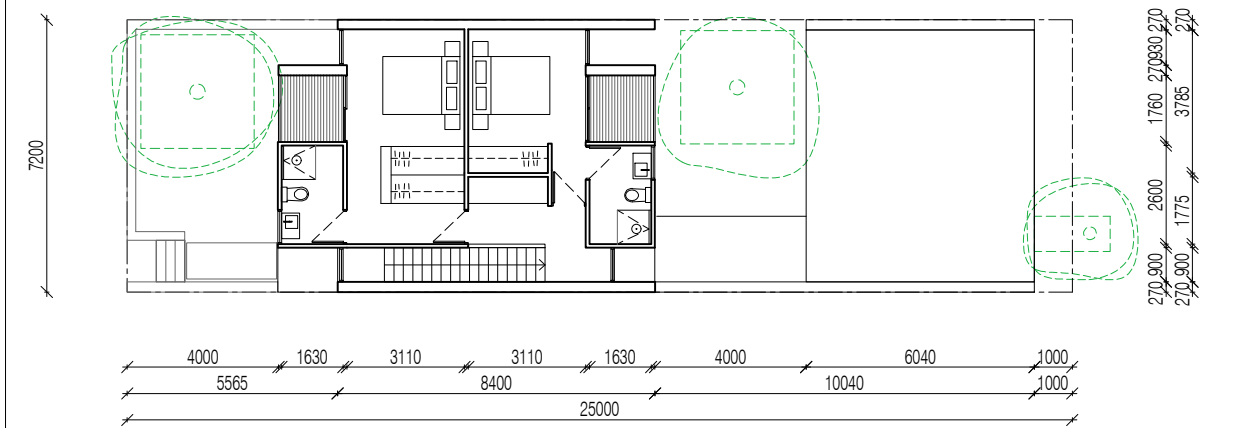
TYPE E "Live in the Air"



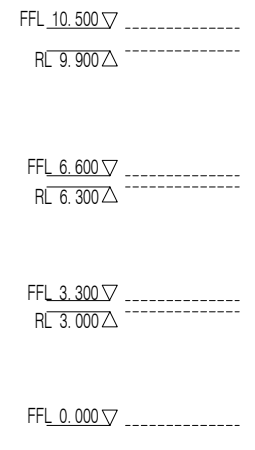
GROUND FLOOR PLAN



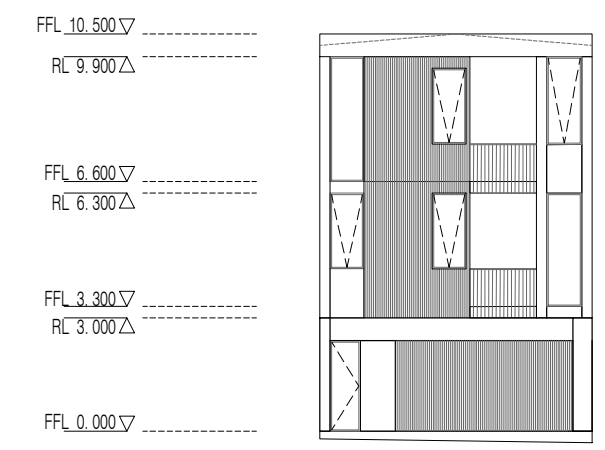
FIRST FLOOR PLAN



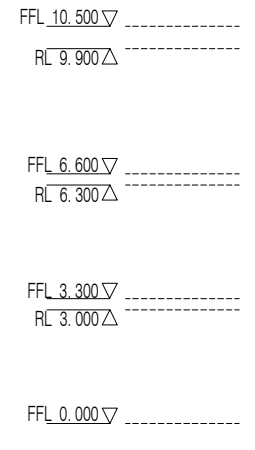
SECOND FLOOR PLAN



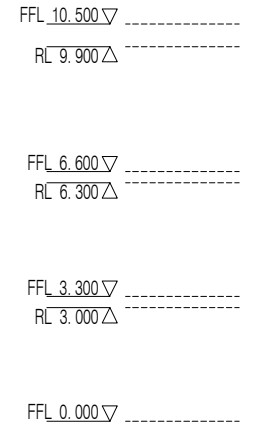
WEST ELEVATION



EAST ELEVATION



SOUTH SECTION



NORTH ELEVATION

Revision	Issued	Date
B	Issued for Information	23.02.2024
A	Issued for Information	23.01.2024

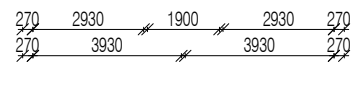
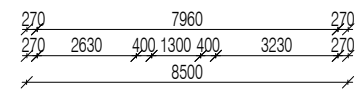
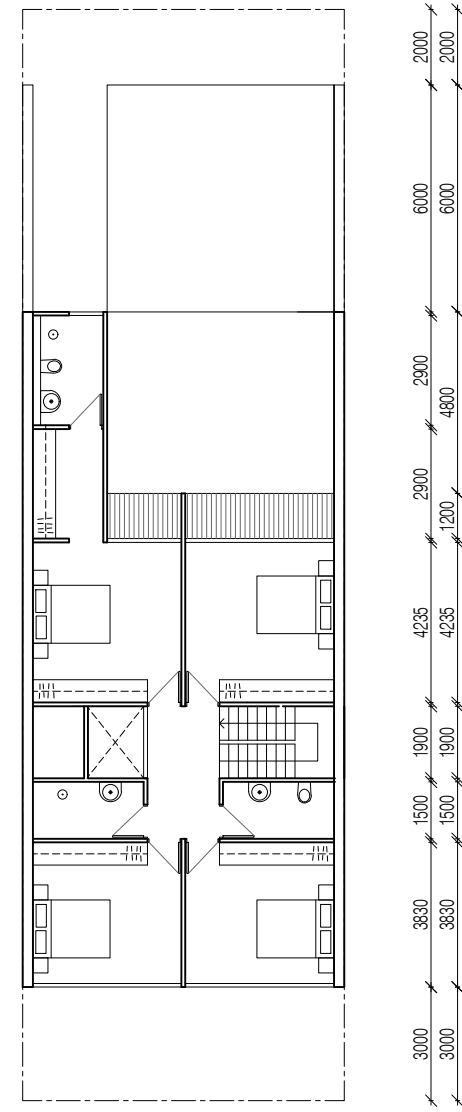
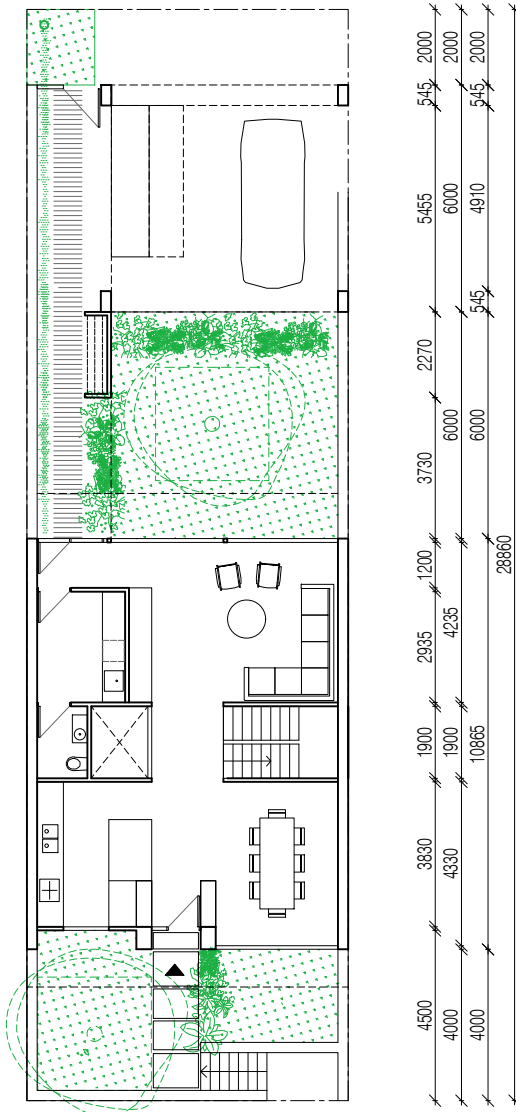
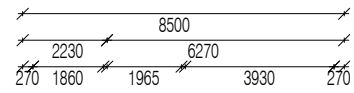
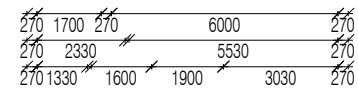
Use figured dimensions at all times. Do not scale or measure off drawings. All dimensions and levels to be checked on site by the Contractor prior to commencing. If discrepancies are found notify the Architect and seek direction prior to proceeding.

The design remains the copyright of Officer Woods and cannot be reproduced without prior approval.

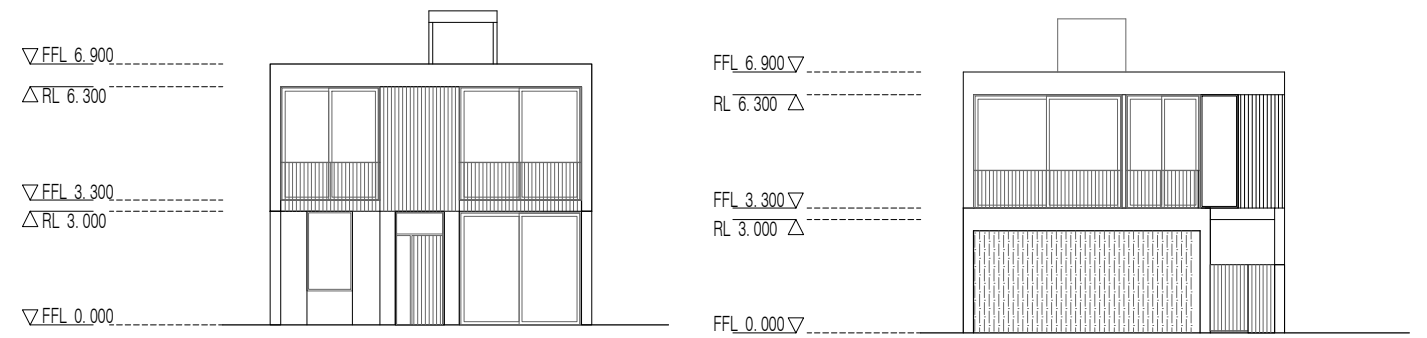


PROJECT				NEDLANDS TOWNHOUSE STUDY	
DRAWING				ROW C2_OPTION 1	
PROJECT NUMBER	OW_249	SCALE	1 : 200 AT A3	DATE	23.02.23
DRAWING STATUS	ISSUED FOR INFORMATION	DRAWING NUMBER	A_100	REVISION	B



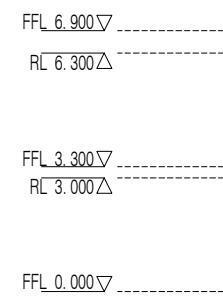


GROUND FLOOR PLAN

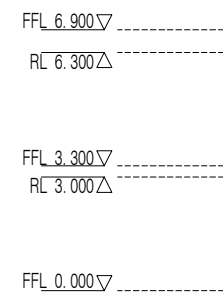


SOUTH ELEVATION

NORTH ELEVATION



EAST SECTION



EAST ELEVATION

Revision	Issued	Date
B	Issued for Information	23.02.2024
A	Issued for Information	23.01.2024

Use figured dimensions at all times. Do not scale or measure off drawings. All dimensions and levels to be checked on site by the Contractor prior to commencing. If discrepancies are found notify the Architect and seek direction prior to proceeding.

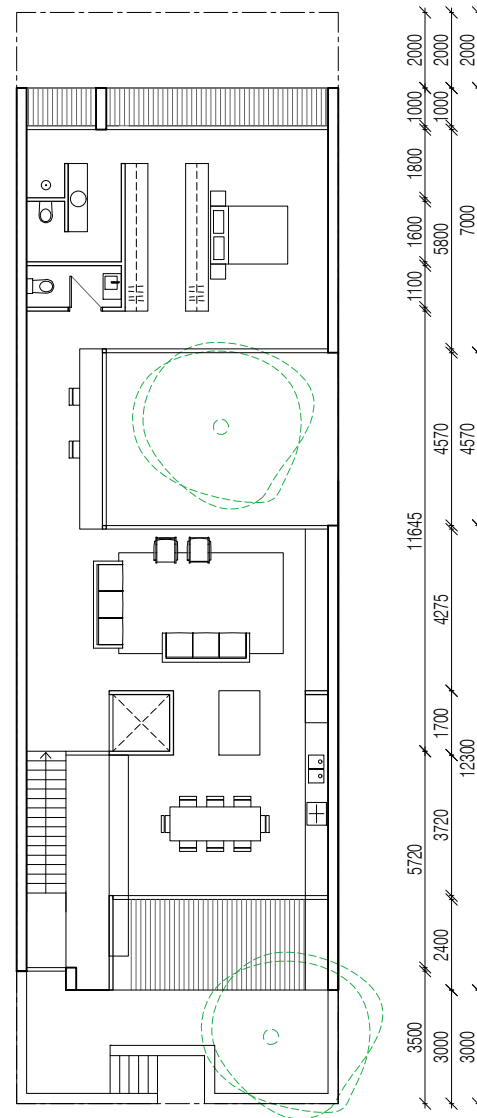
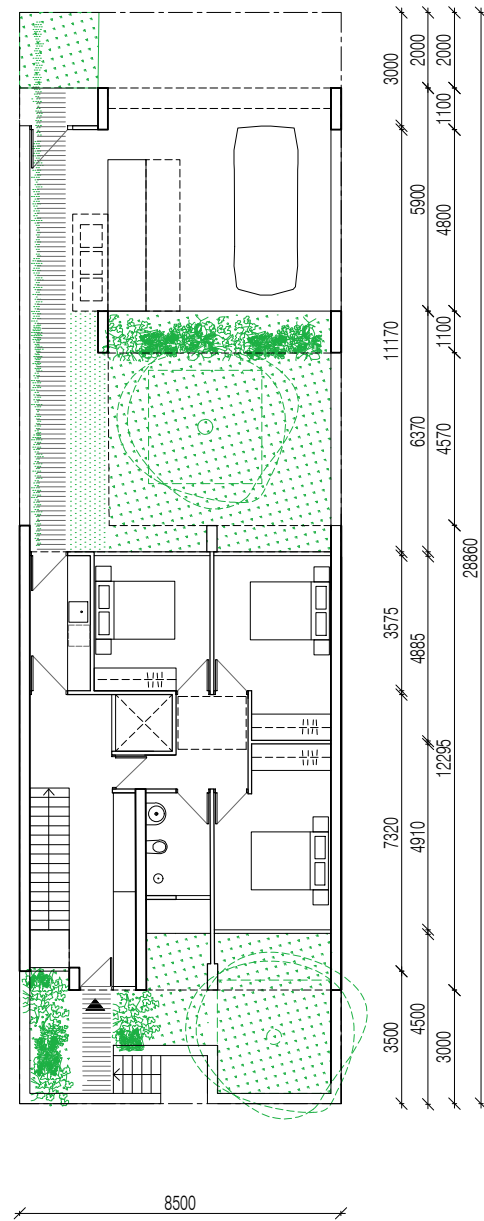
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PROJECT				NEDLANDS TOWNHOUSE STUDY	
DRAWING				ROW E_OPTION 1	
PROJECT NUMBER	OW_249	SCALE	1 : 200 AT A3	DATE	23.02.23
DRAWING STATUS	ISSUED FOR INFORMATION	DRAWING NUMBER	A_103	REVISION	B

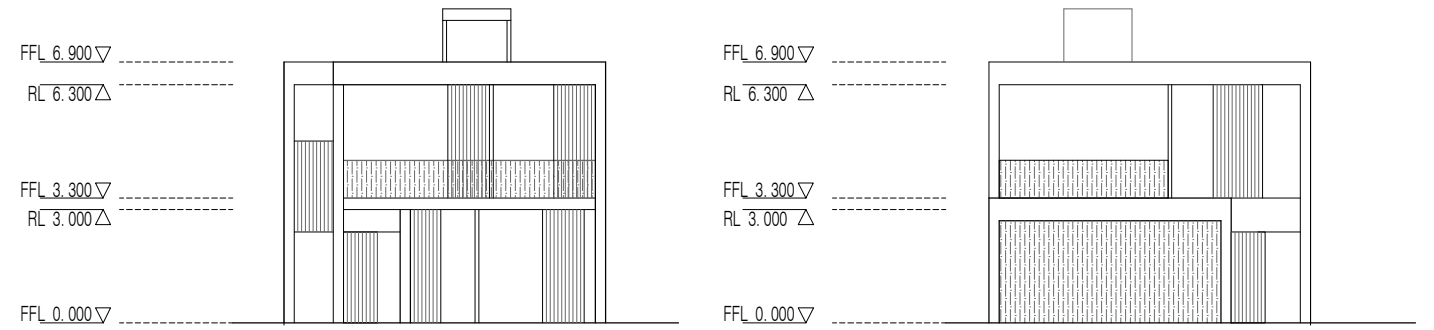
2060	270	5900	270
270	1600	3070	3100

270	1830	270	5870	270
270	2500		5370	270
270	2000		5870	270

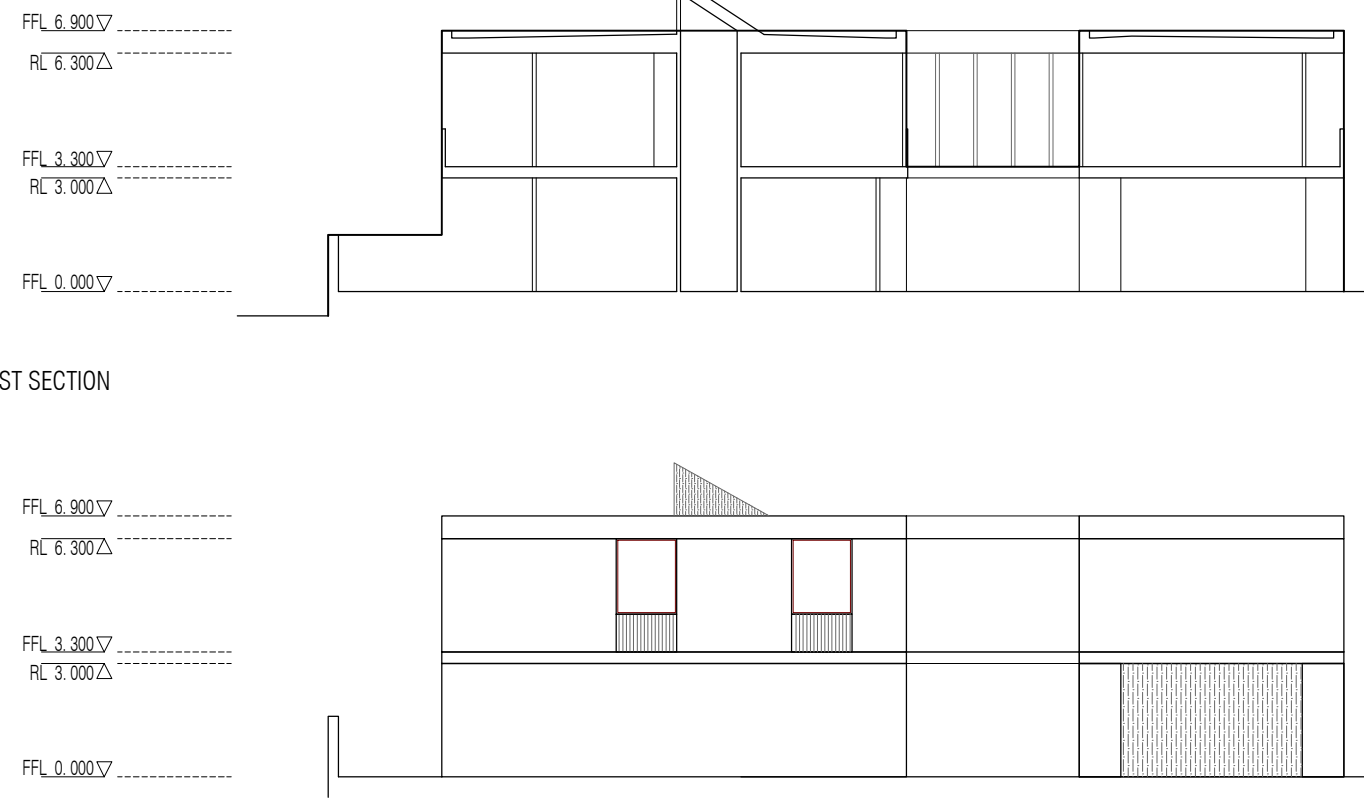


SOUTH ELEVATION

NORTH ELEVATION



EAST SECTION



EAST ELEVATION

GROUND FLOOR PLAN

Revision	Issued	Date
B	Issued for Information	23.02.2024
A	Issued for Information	23.01.2024

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PROJECT			
NEDLANDS TOWNHOUSE STUDY			
DRAWING			
ROW_E_OPTION 2			
PROJECT NUMBER	OW_249	SCALE	1 : 200 AT A3
DRAWING STATUS	ISSUED FOR INFORMATION	DRAWING NUMBER	A_102
DATE	23.02.23	REVISION	B

ARCHITECTURE

# NEDLANDS RESERVE

FINAL SUBMISSION | ARCHITECT 2 | BLOCKS B+F

PHILIP  
STEJSKAL

FRIDAY 23rd FEBRUARY, 2024

# BLOCK B

## 8.5m Lot

SITE METRICS	PROVIDED (m <sup>2</sup> )
Site Area	212
Site Cover	148 or 70%
Open Space	73

INTERNAL AREA	PROVIDED (m <sup>2</sup> )
Ground Floor	76
First Floor	76
TOTAL	151m <sup>2</sup>

GROSS FLOOR AREA	PROVIDED (m <sup>2</sup> )
Ground Floor	90
First Floor	95
TOTAL	185m <sup>2</sup>

OTHER AREAS	PROVIDED (m <sup>2</sup> )
Garage	35
Balcony	-

LANDSCAPING	PROVIDED (m <sup>2</sup> )
Total garden area across site	66
Primary Garden (behind street setback)	30
Deep Soil Area	13

CAR PARKING	PROVIDED
Bays	2

## 10m Lot

SITE METRICS	PROVIDED (m <sup>2</sup> )
Site Area	249
Site Cover	162 or 65%
Open Space	73

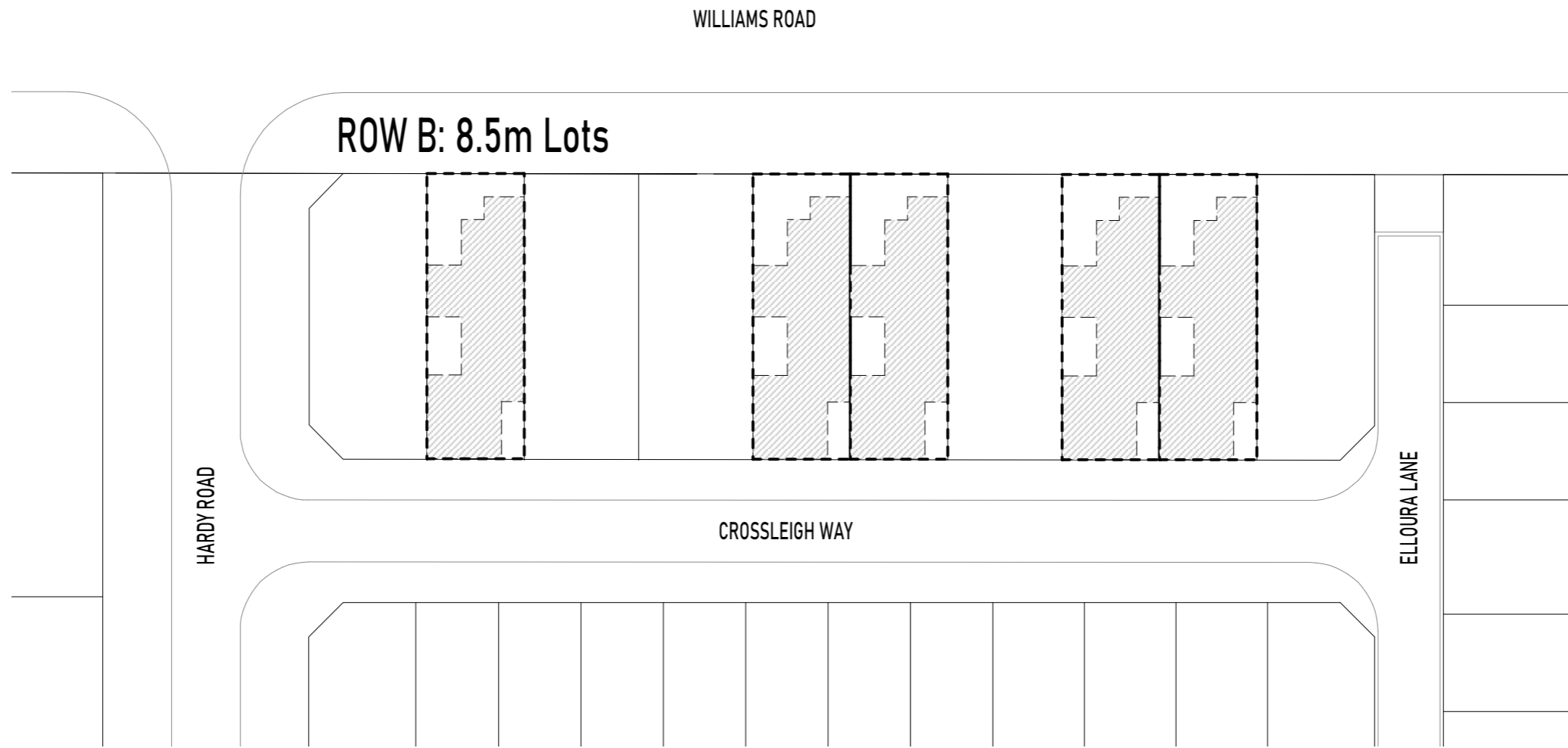
INTERNAL AREA	PROVIDED (m <sup>2</sup> )
Ground Floor	82
First Floor	73+22 = 95
TOTAL	177m <sup>2</sup>

GROSS FLOOR AREA	PROVIDED (m <sup>2</sup> )
Ground Floor	97
First Floor	122
TOTAL	219m <sup>2</sup>

OTHER AREAS	PROVIDED (m <sup>2</sup> )
Garage	20
Balcony	25

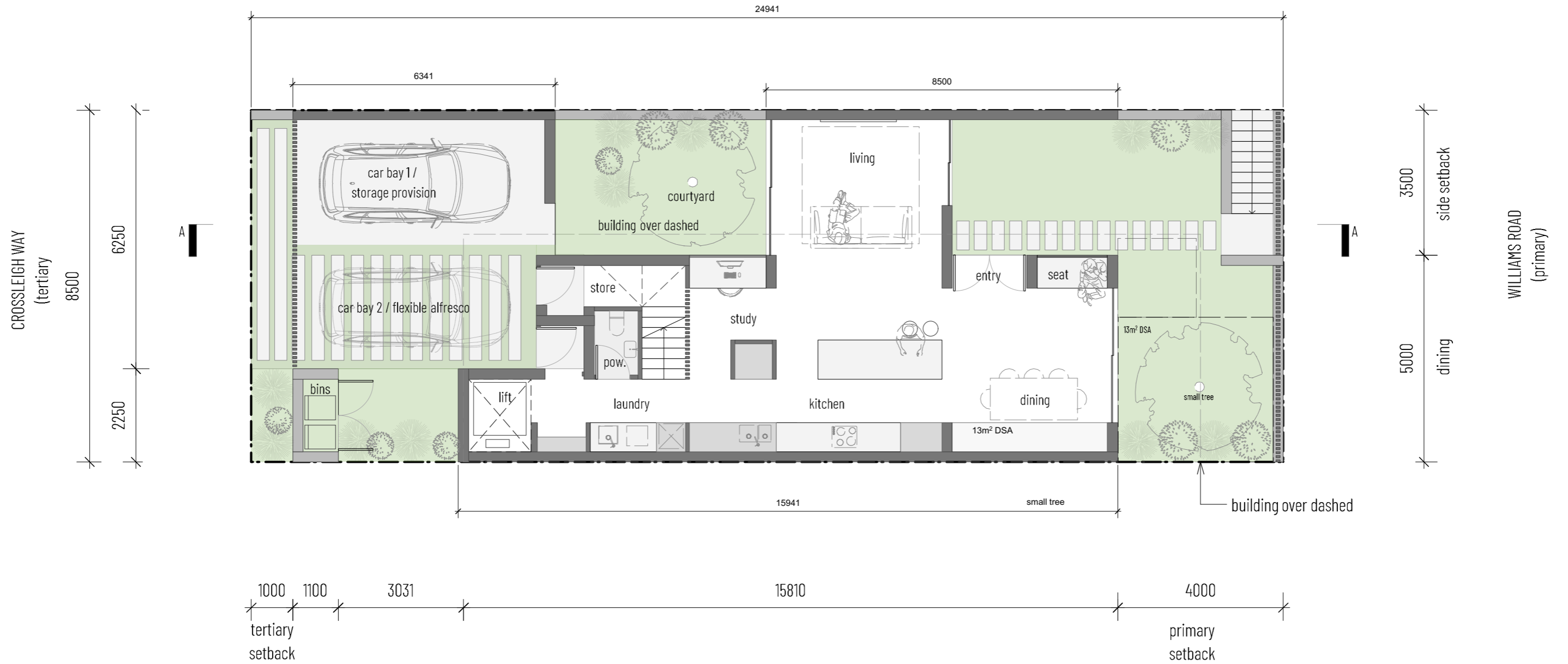
LANDSCAPING	PROVIDED (m <sup>2</sup> )
Total garden area across site	70
Primary Garden (behind street setback)	36
Deep Soil Area	9

CAR PARKING	PROVIDED
Bays	2



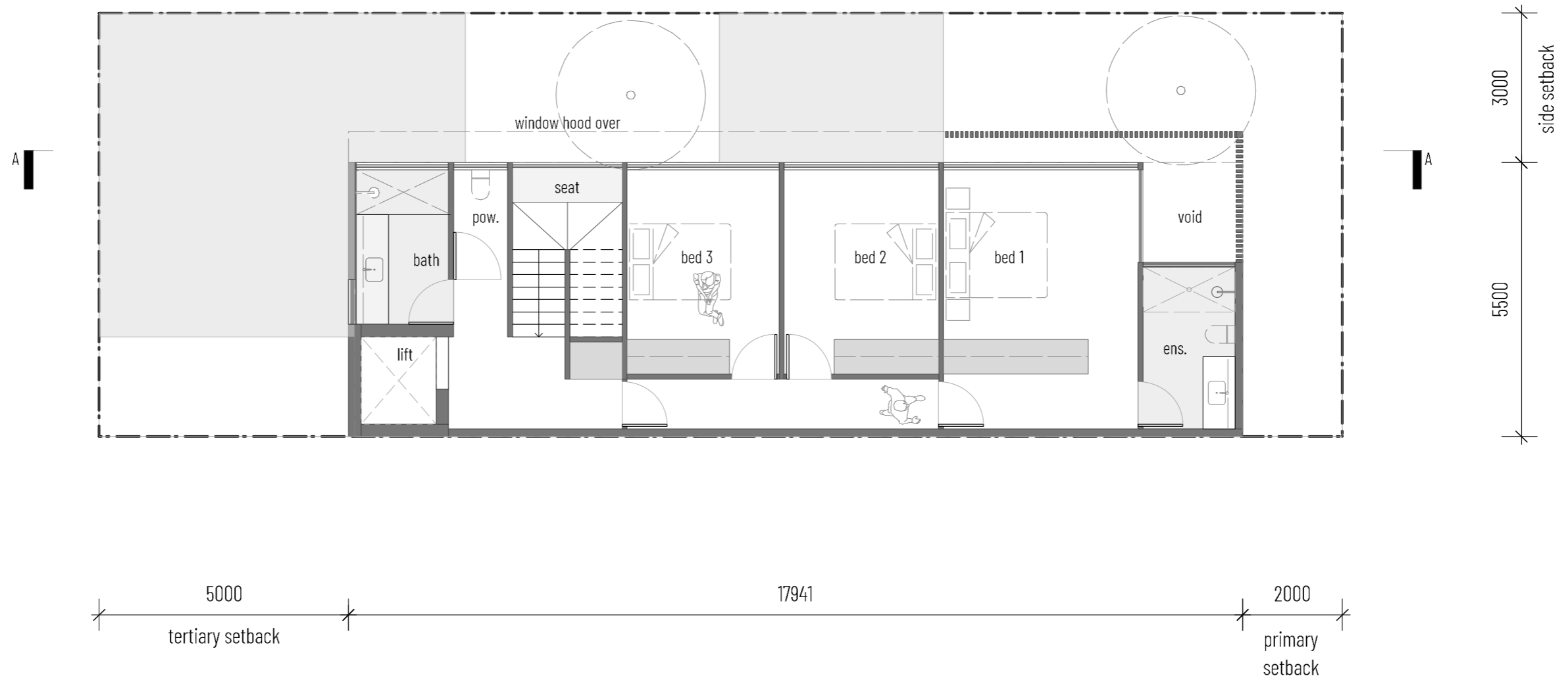
BLOCK B: 8.5m Lot

SITE PLAN 1:500



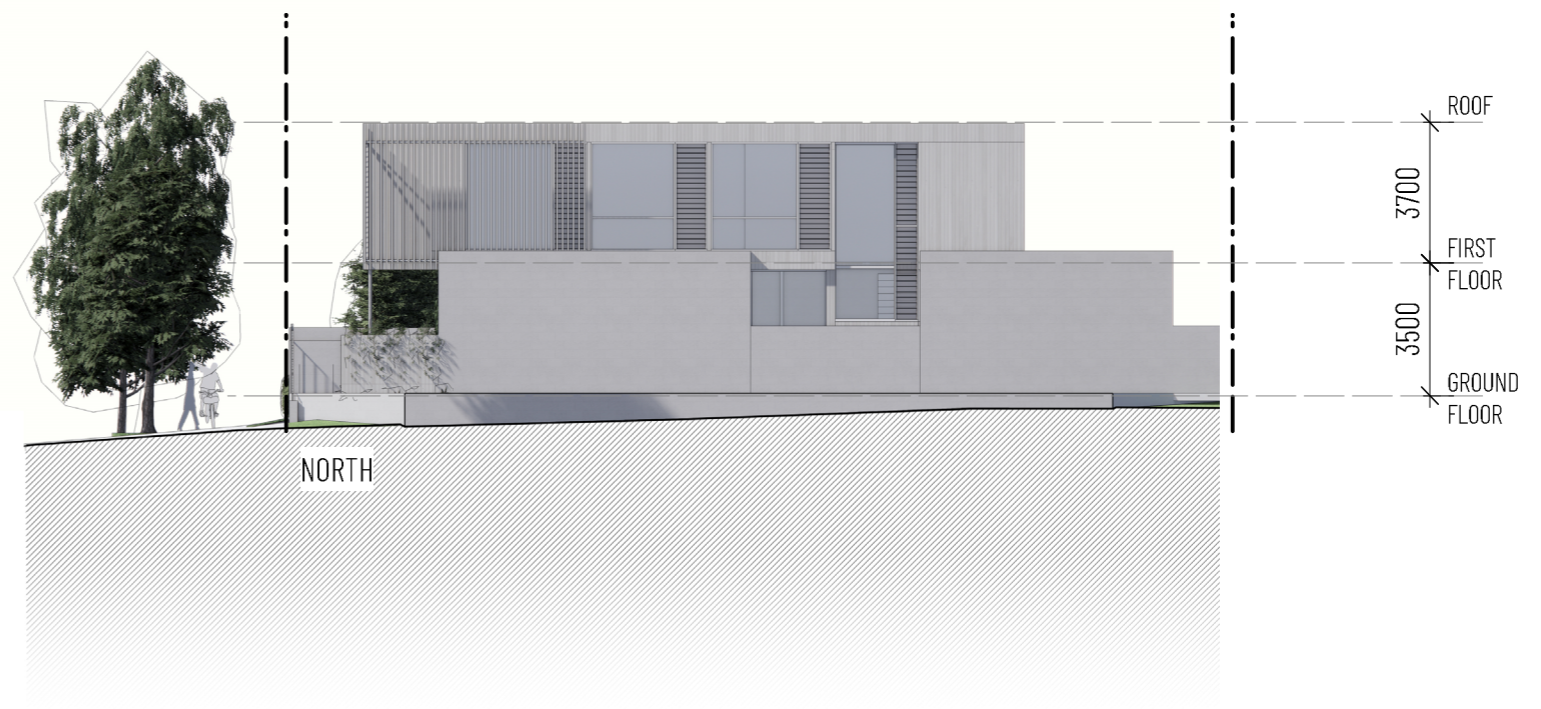
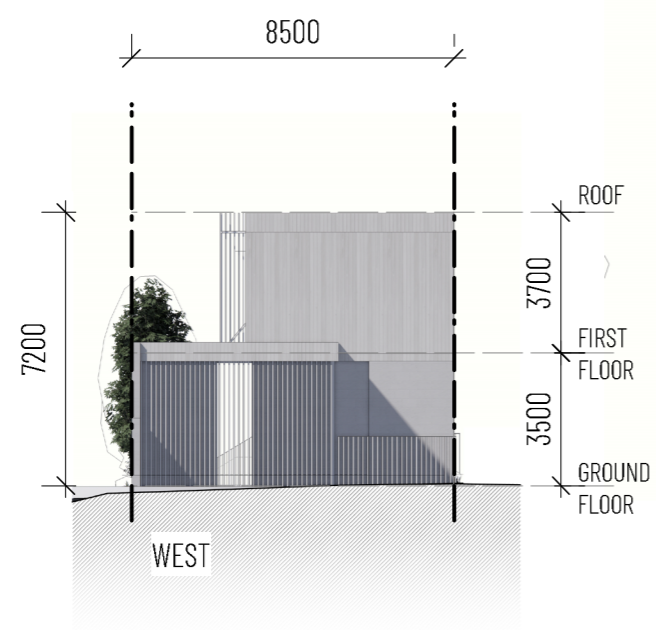
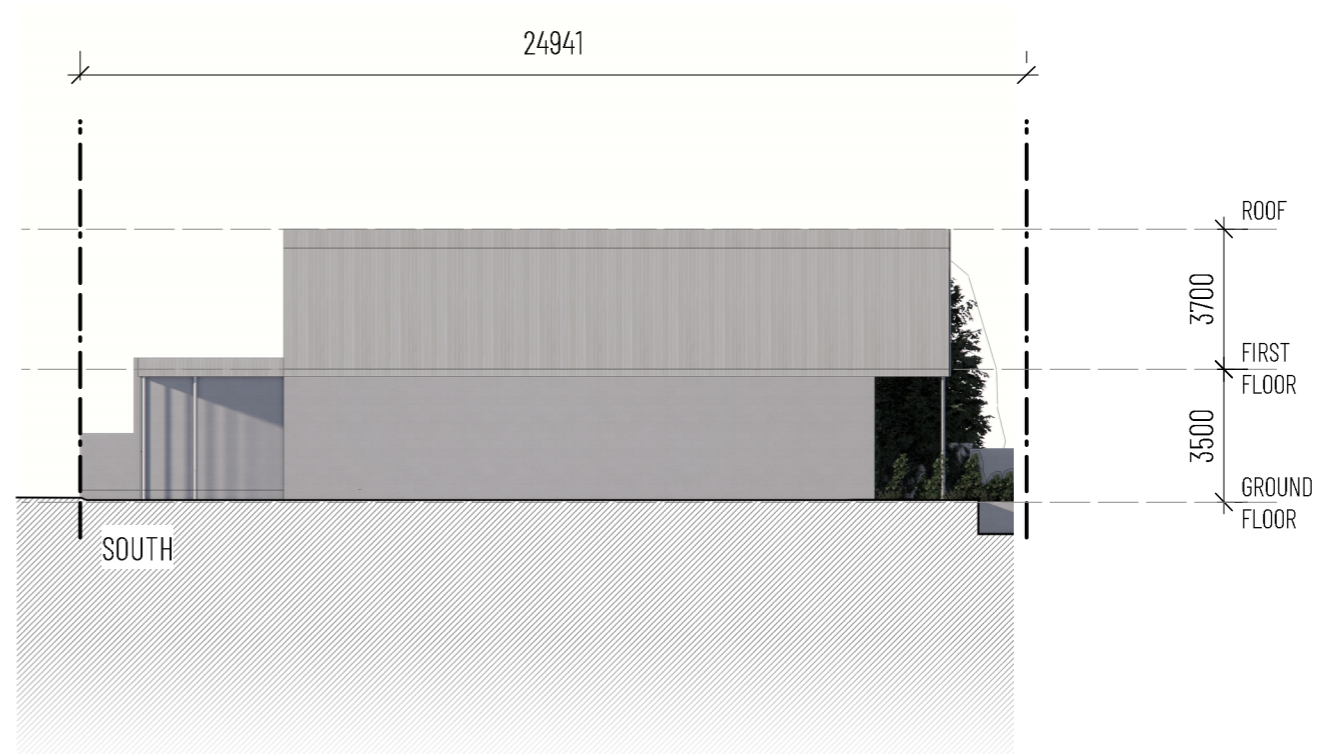
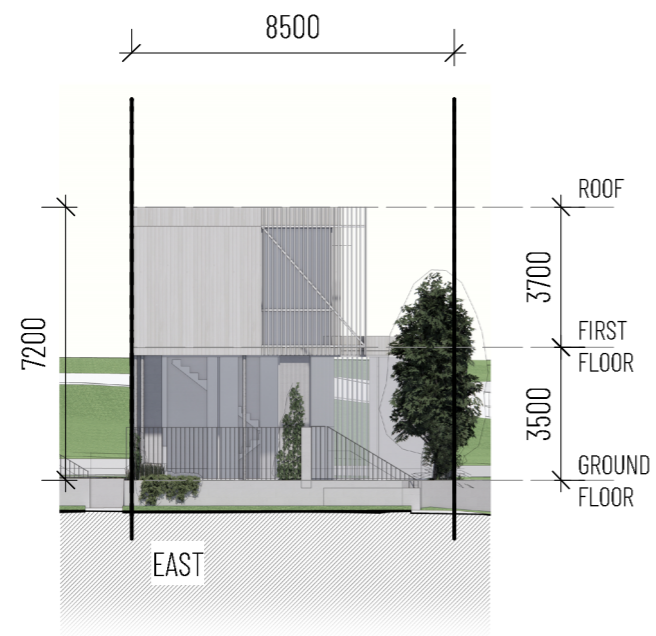
BLOCK B: 8.5m Lot

GROUND FLOOR 1:100



BLOCK B: 8.5m Lot

FIRST FLOOR 1:100



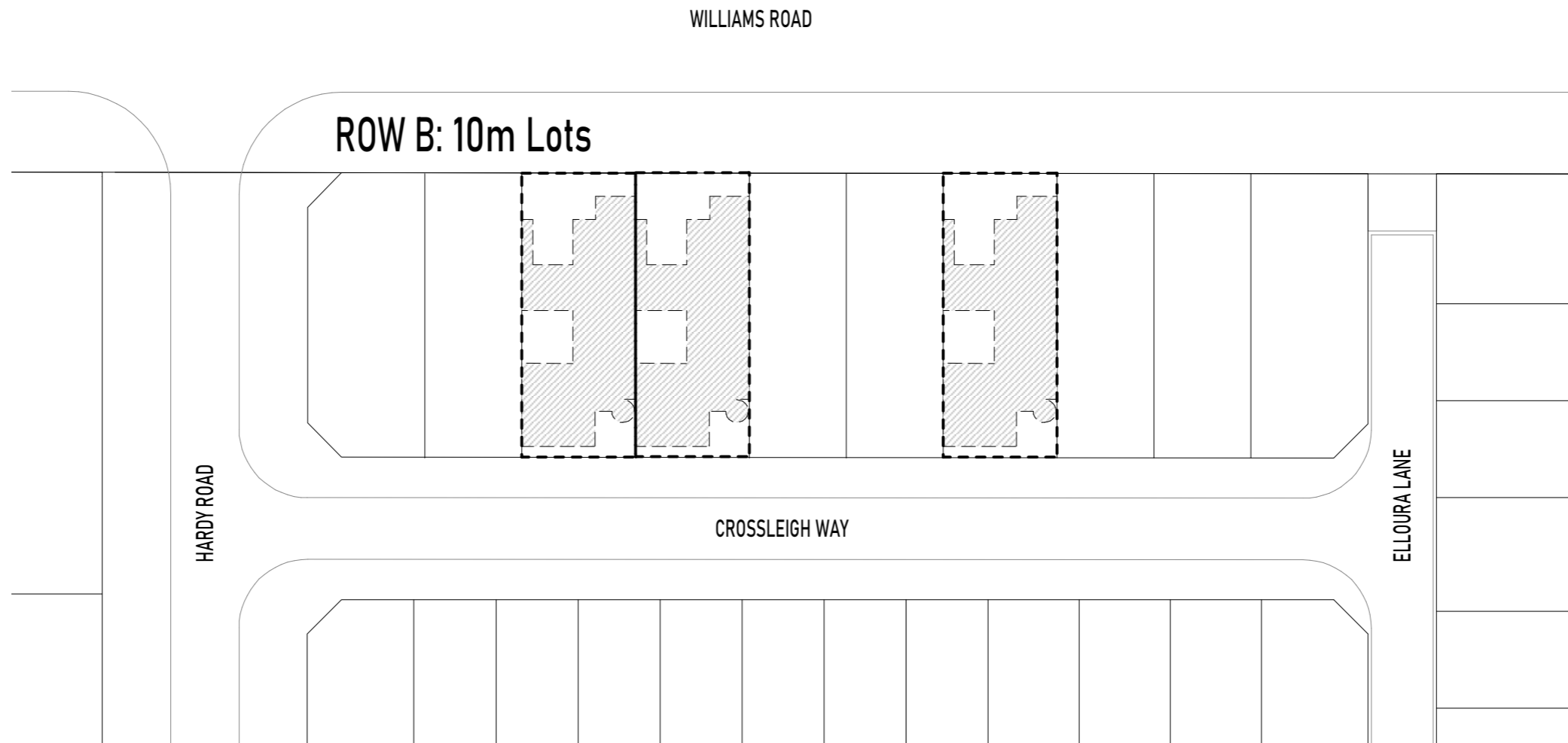
BLOCK B: 8.5m Lot

ELEVATIONS 1:200



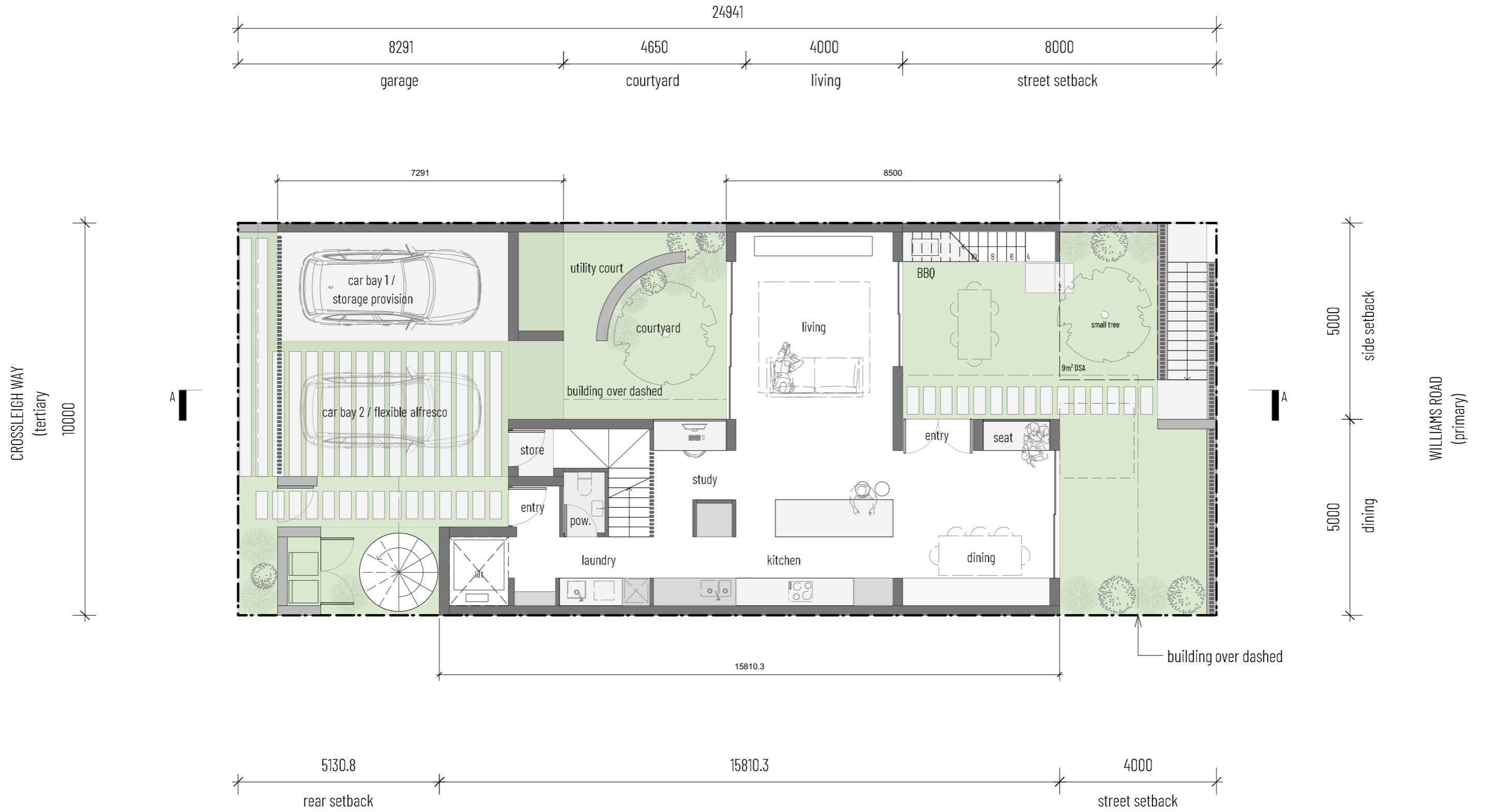
BLOCK B: 8.5m Lot

SECTION 1:200



BLOCK B: 10m Lot

SITE PLAN 1:500



BLOCK B: 10m Lot

GROUND FLOOR 1:100



BLOCK B: 10m Lot

FIRST FLOOR 1:100



BLOCK B: 10m Lot

ELEVATIONS 1:200



BLOCK B: 10m Lot

SECTION 1:200



BLOCK B



BLOCK B

# BLOCK F

## 8m Lot

SITE METRICS	PROVIDED (m <sup>2</sup> )
Site Area	232
Site Cover	152 or 65%
Open Space	74

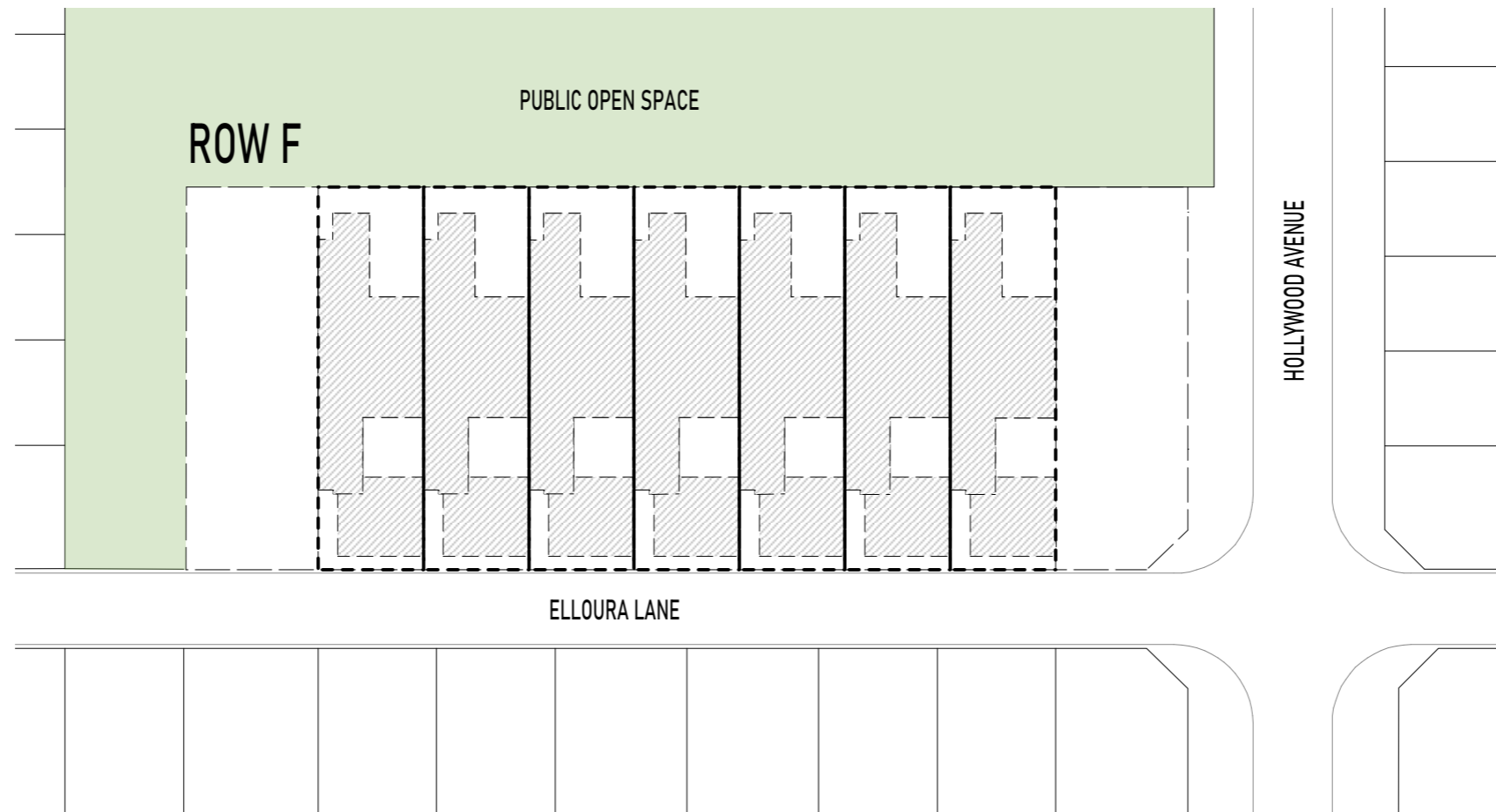
INTERNAL AREA	PROVIDED (m <sup>2</sup> )
Ground Floor	97
First Floor	112
Second Floor	67
TOTAL	276m <sup>2</sup>

GROSS FLOOR AREA	PROVIDED (m <sup>2</sup> )
Ground Floor	108
First Floor	139
Second Floor	115
TOTAL	362m <sup>2</sup>

OTHER AREAS	PROVIDED (m <sup>2</sup> )
Garage	35
Balcony	38

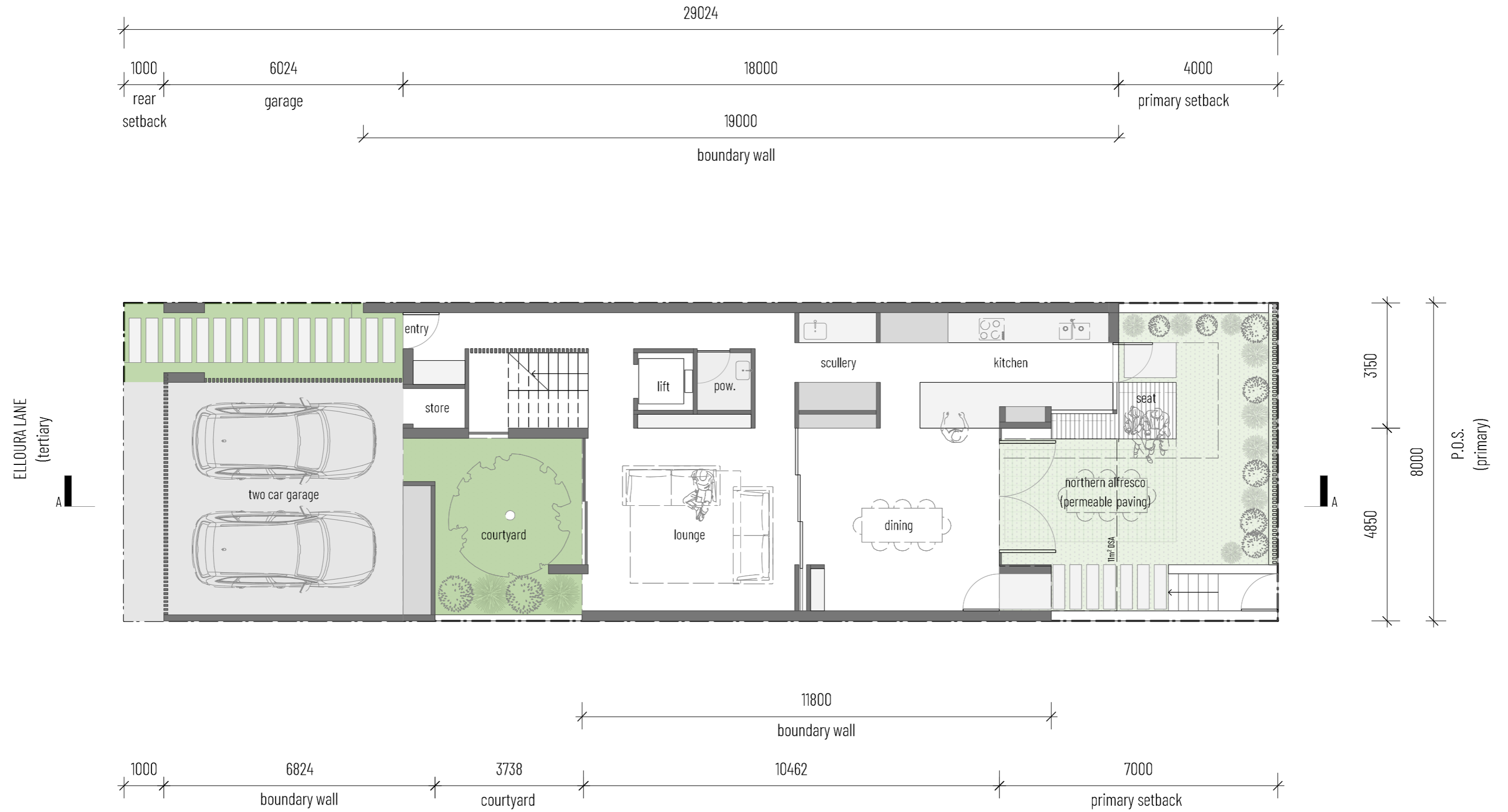
LANDSCAPING	PROVIDED (m <sup>2</sup> )
Total garden area across site	50
Primary Garden (behind street setback)	11
Deep Soil Area	17

CAR PARKING	PROVIDED
Bays	2



BLOCK F: 8m Lot

SITE PLAN 1:500



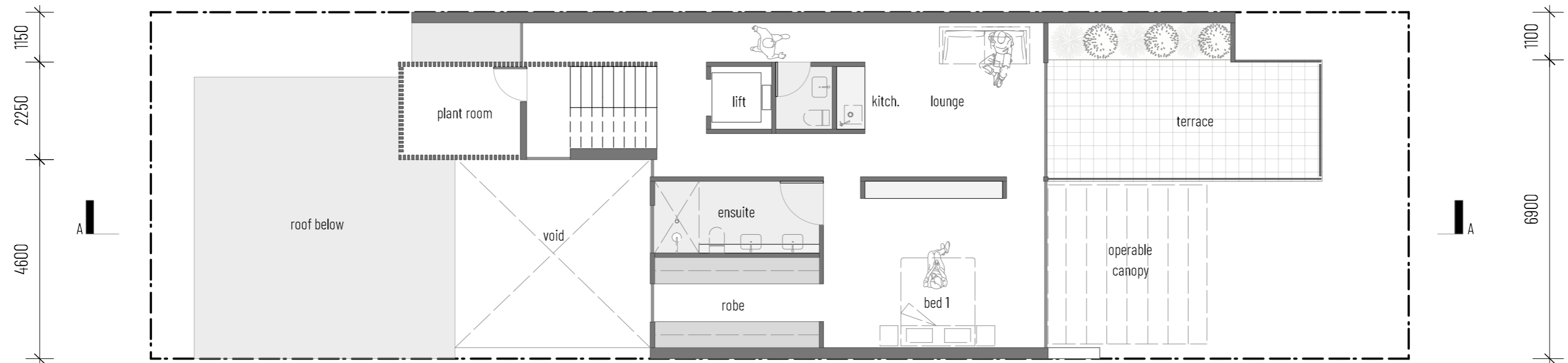
BLOCK F: 8m Lot

GROUND FLOOR 1:100



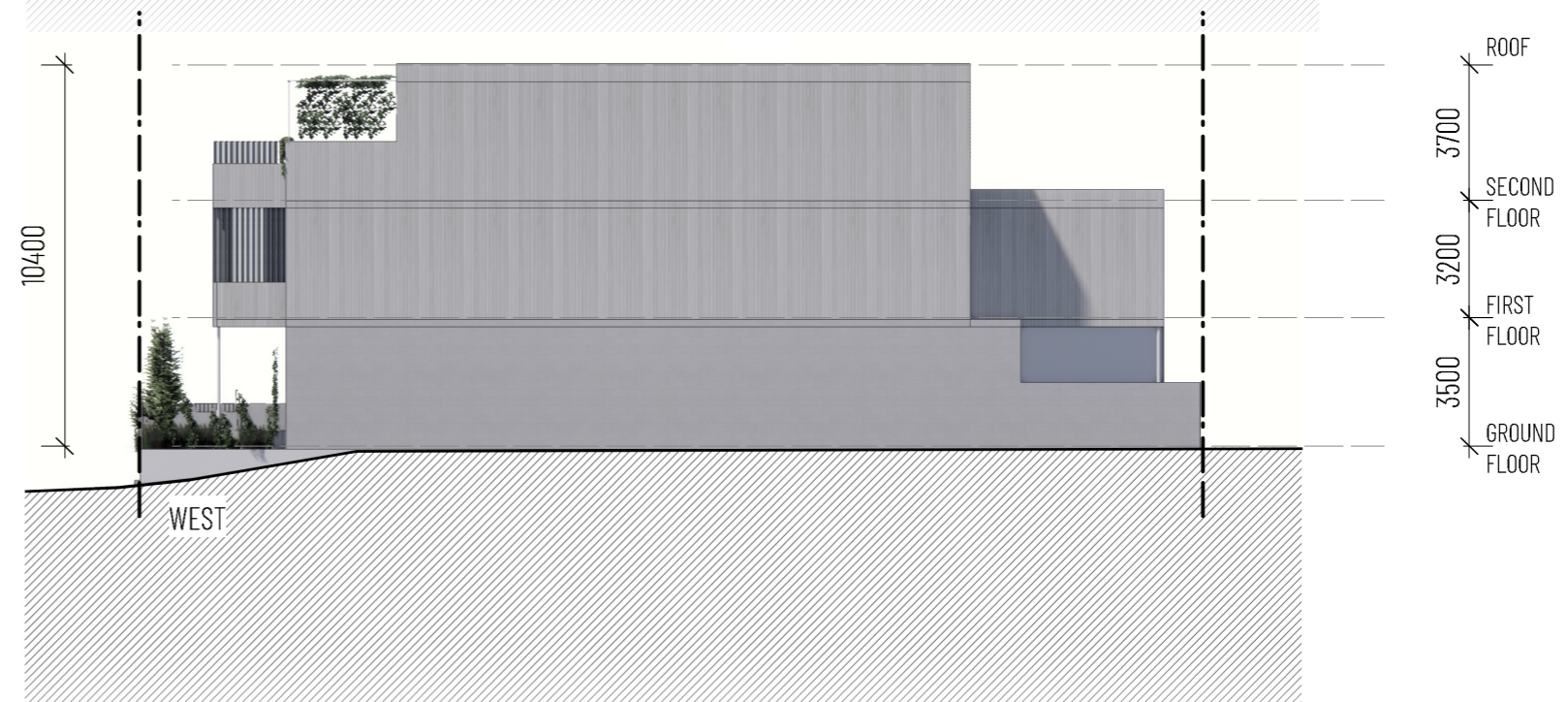
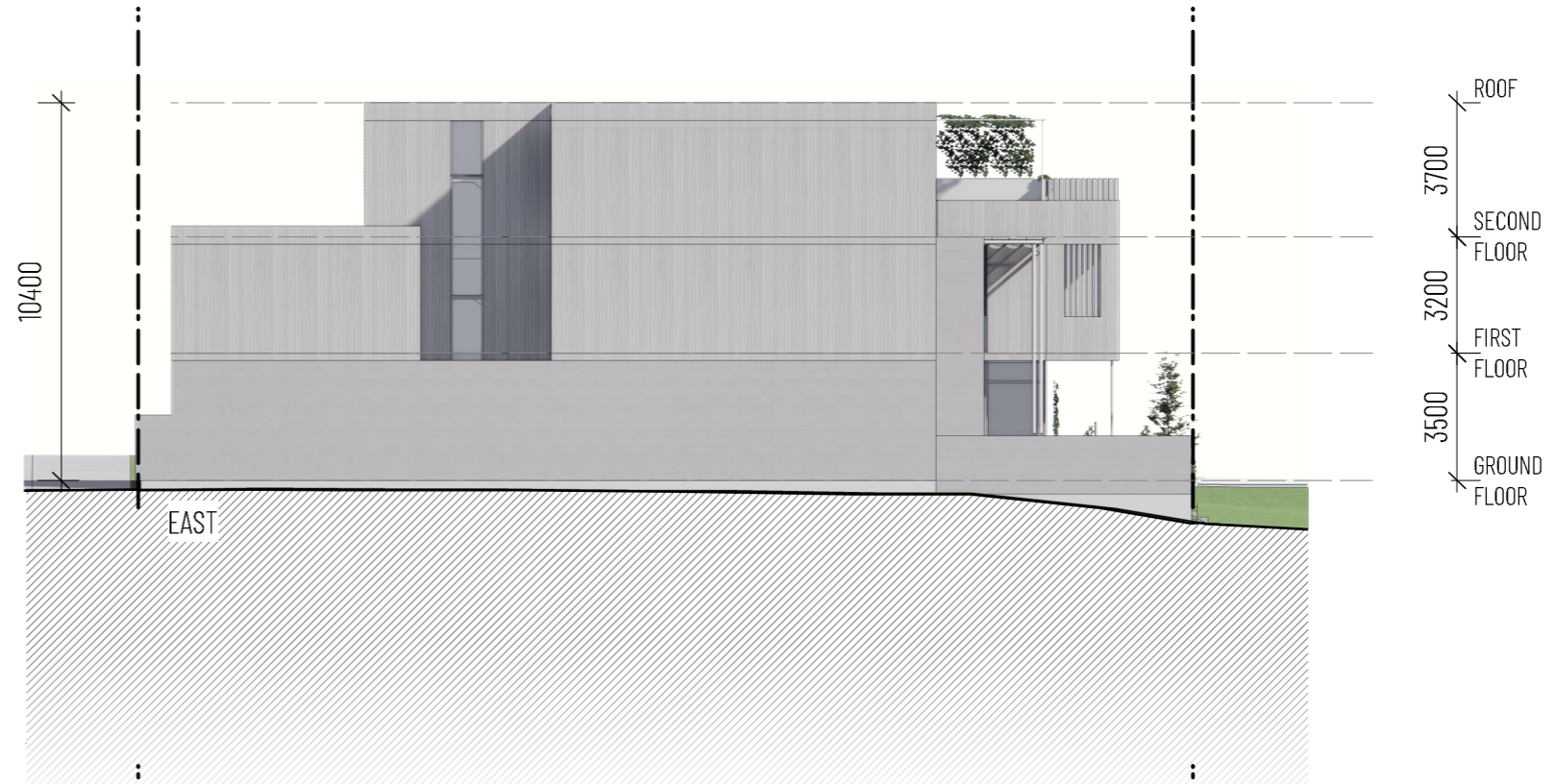
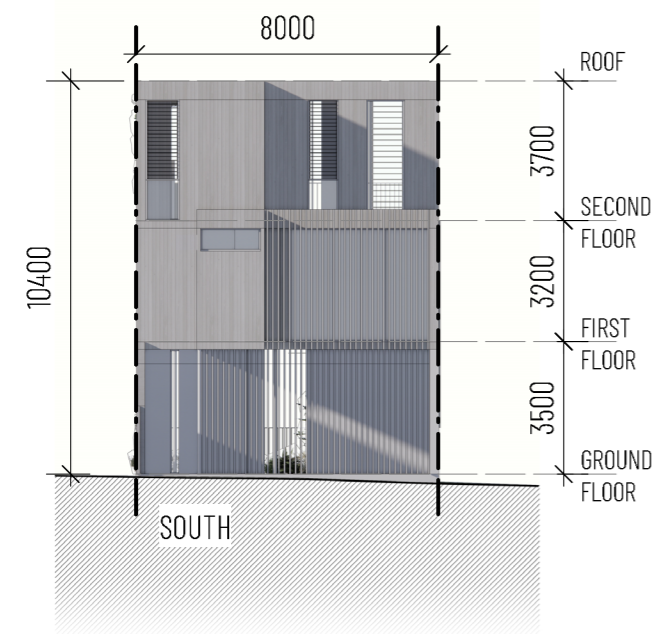
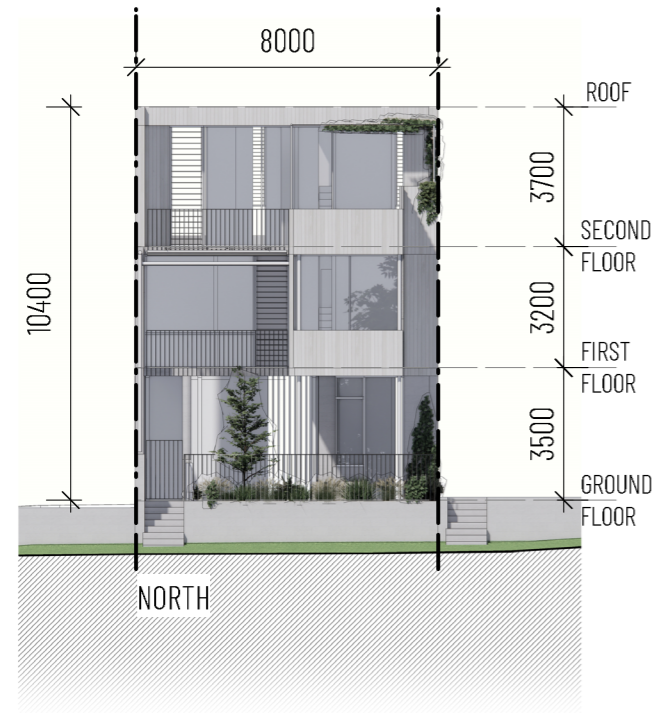
BLOCK F: 8m Lot

FIRST FLOOR 1:100



BLOCK F: 8m Lot

SECOND FLOOR 1:100



BLOCK F: 8m Lot

ELEVATIONS 1:200



BLOCK F: 8m Lot

SECTION 1:200

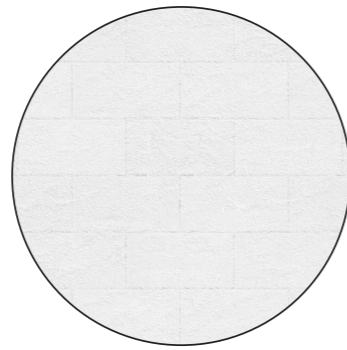


BLOCK F

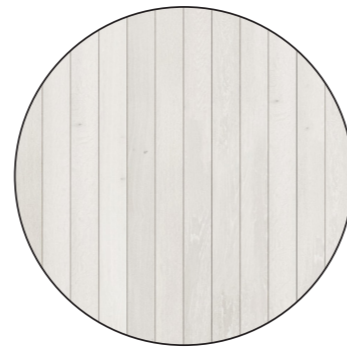


BLOCK F

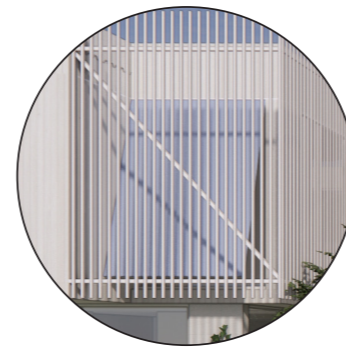
# MATERIAL SCHEDULE - BOTH LOTS



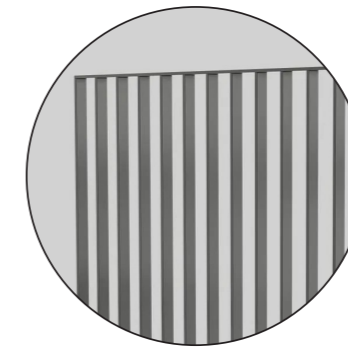
Bagged conc  
block plinth



Weathertex light  
timber to FF



Featured  
Colour Awnings  
behind Timber  
Battens



Steel Rod+Rail  
Balustrade

# ASSEMBLE

23<sup>rd</sup> February 2024

HESPERIA  
LEVEL 3/338 BARKER RD,  
SUBIACO WA 6008

BY EMAIL

## Re: Nedlands Townhouse Design Study – Construction Rate Verification

To whom it may concern,

With regards to the proposed project for the Nedlands Townhouse Design Study, Assemble Building Co confirm that the documents provided by Philip Stejskal Architecture have been reviewed for the purposes of obtaining verification of construction rates.

The schemes proposed for Blocks B + F have been assessed by our estimating team and reviewed against our knowledge and experience in bespoke single residential projects of a similar scale and level of finish. We confirm the below square meter rates would apply.

Block B - Two Storey Construction	~\$4000/sqm
Block F - Three Storey Construction	~\$4500/sqm

These rates are provided;

- Inclusive of margin, preliminaries
- exclusive of GST
- based on current market rates as of the date of this letter
- with no allowance for costs associated with further inflation and/or escalation
- In conjunction with the disclaimer attached to this letter

Should you have any questions about this matter kindly contact the undersigned.

Regards



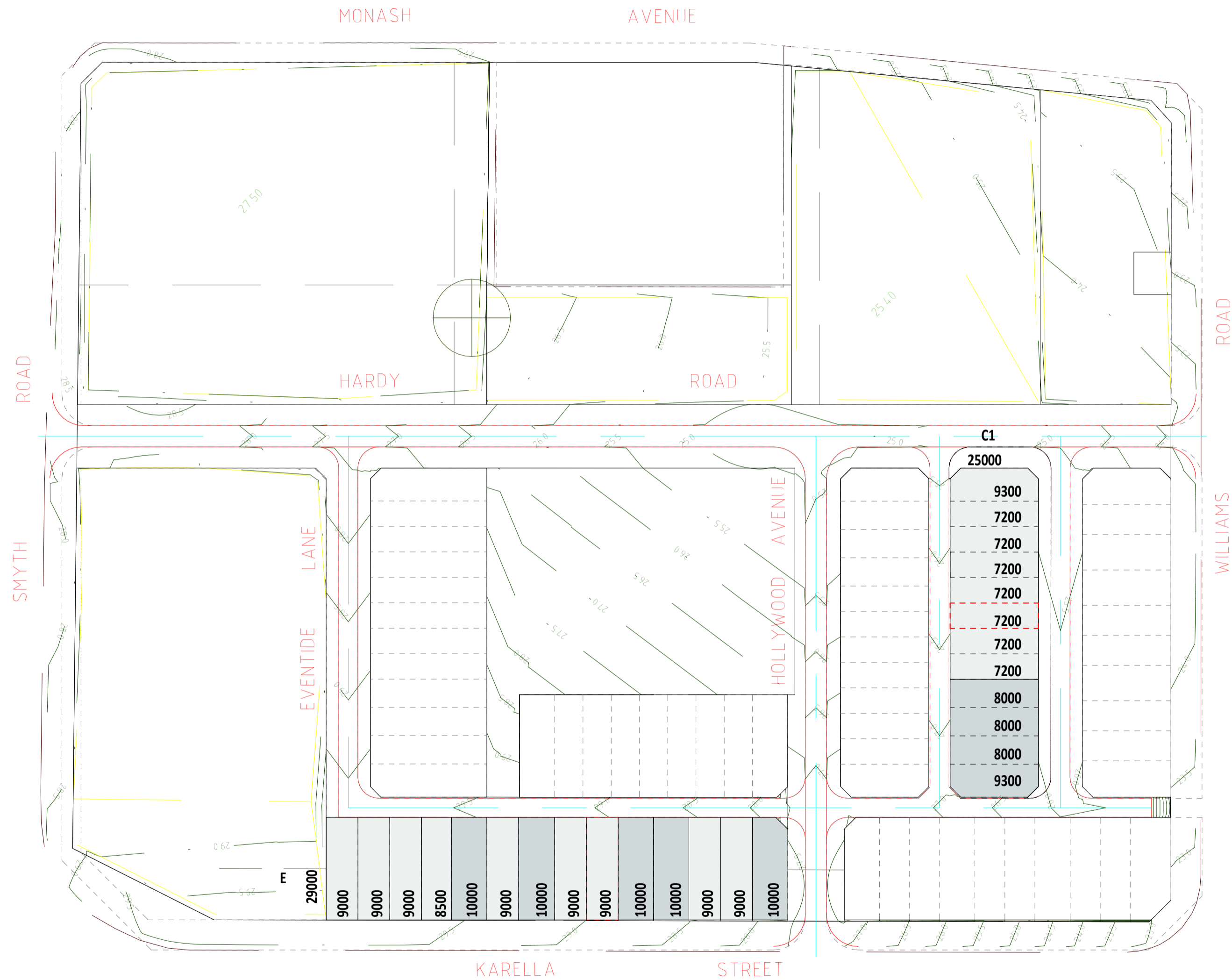
**Mitch Hill**  
Director

WITH  
THANKS

Philip Stejskal Architecture acknowledges the Traditional Owners of country throughout Australia & recognises their continuing connection to land, waters and community.

We pay our respects to them and their cultures; and to elders both past & present.

PHILIP  
STEJSKAL  
ARCHITECTURE



**1**  
C102 **SITE PLAN**  
1 : 1000

**state of kin**

70 CHURCHILL AVENUE,  
SUBIACO WA 6008  
PH: 9328 6679

design@stateofkin.com.au  
www.stateofkin.com.au

PROJECT NAME

**Nedlands Reserve**

HESPERIA

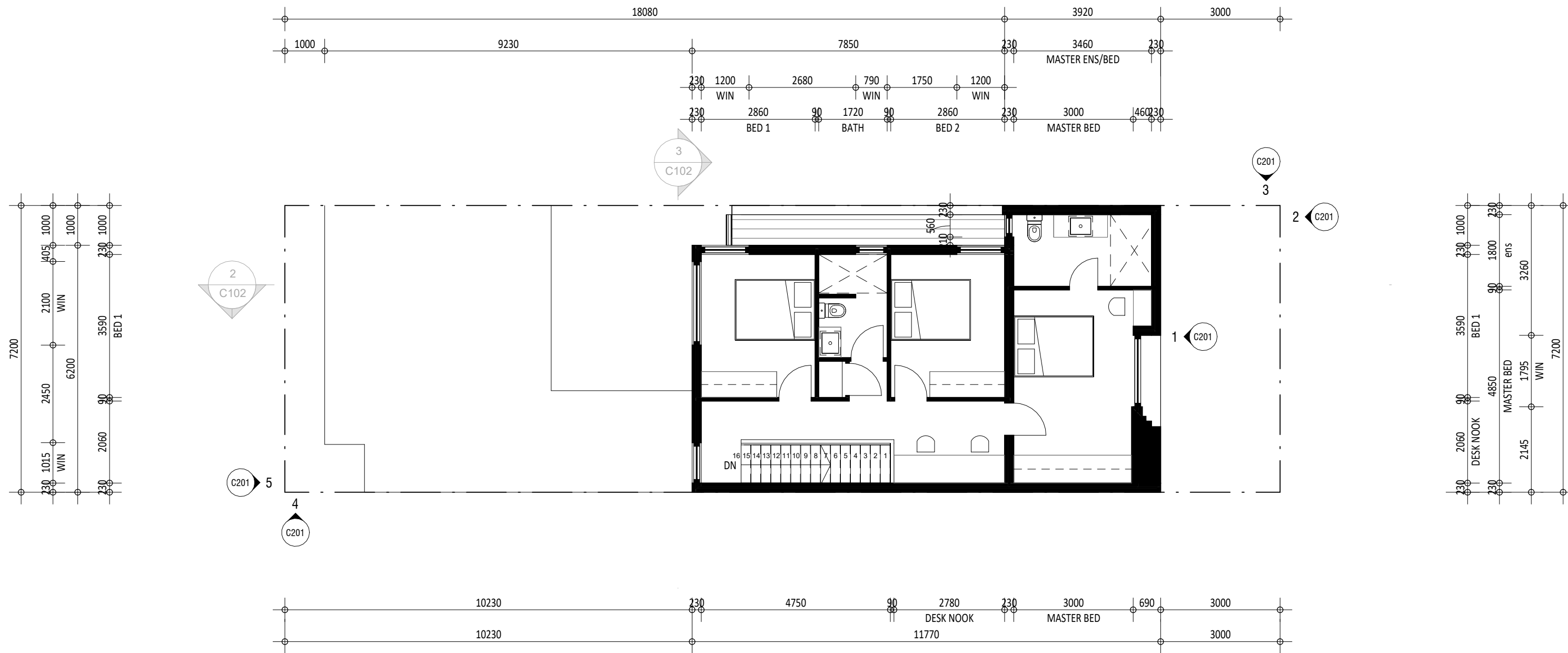
DRAWING NAME

**SITE PLAN**

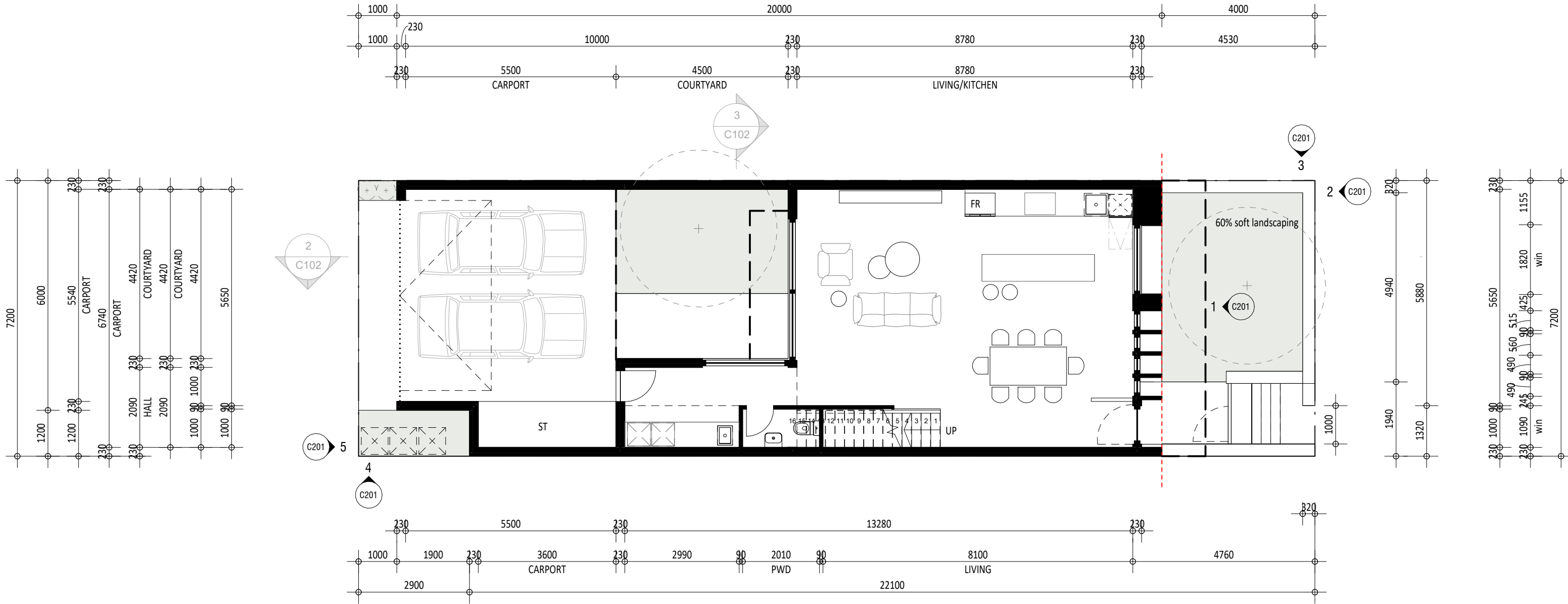








**2 FIRST FL FFL 29.1**  
1 : 100



**1 GR FL - 7.2M - 26.17**  
1 : 100

**C1 - 7.2M (3 x 2.5)**

Name	Area
GROUND	79 m <sup>2</sup>
GARAGE	39 m <sup>2</sup>
FIRST	77 m <sup>2</sup>
	195 m <sup>2</sup>

Block 180sqm  
Open Space 35%

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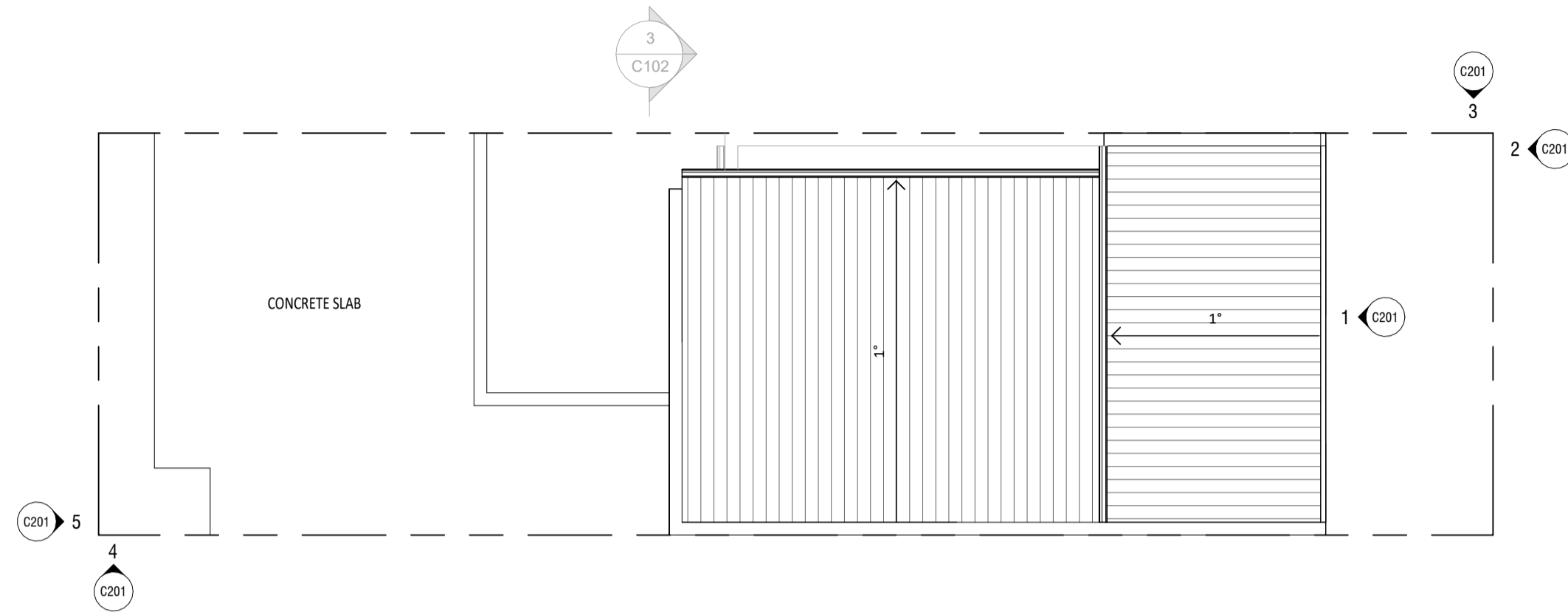
PROJECT NAME

**Nedlands Reserve**

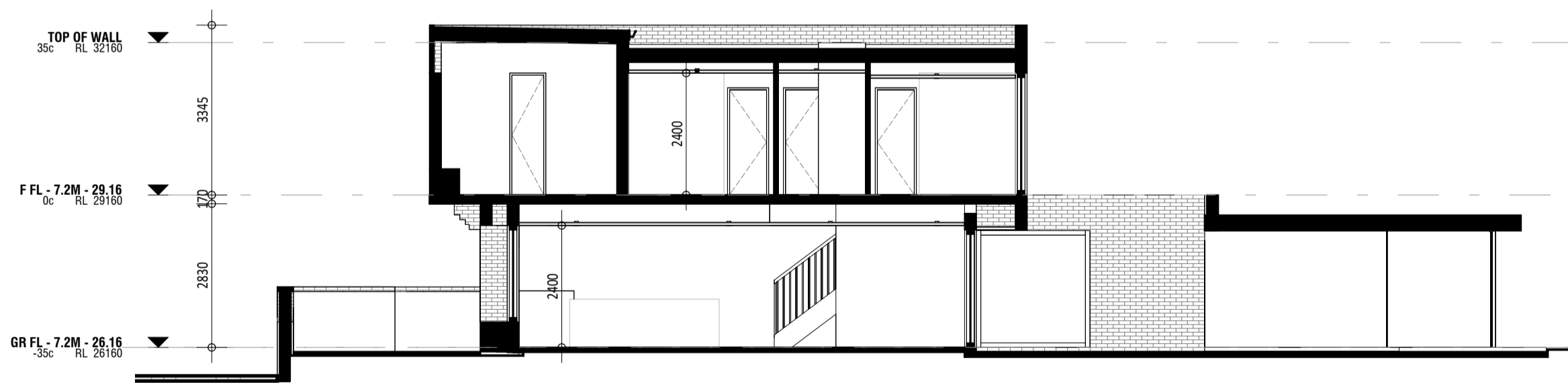
HESPERIA

DRAWING NAME

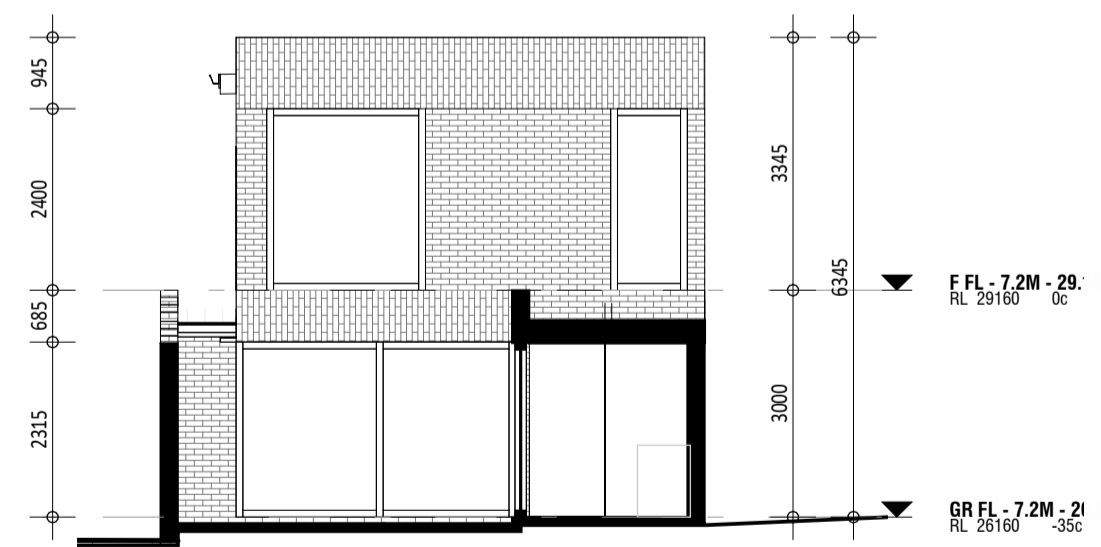
**C1 - 7.2M - GR+F FL PLANS**



**1**  
C102  
**ROOF PLAN**  
1 : 100



**2**  
C101  
**SECTION A**  
1 : 100



**3**  
C101  
**SECTION B**  
1 : 100

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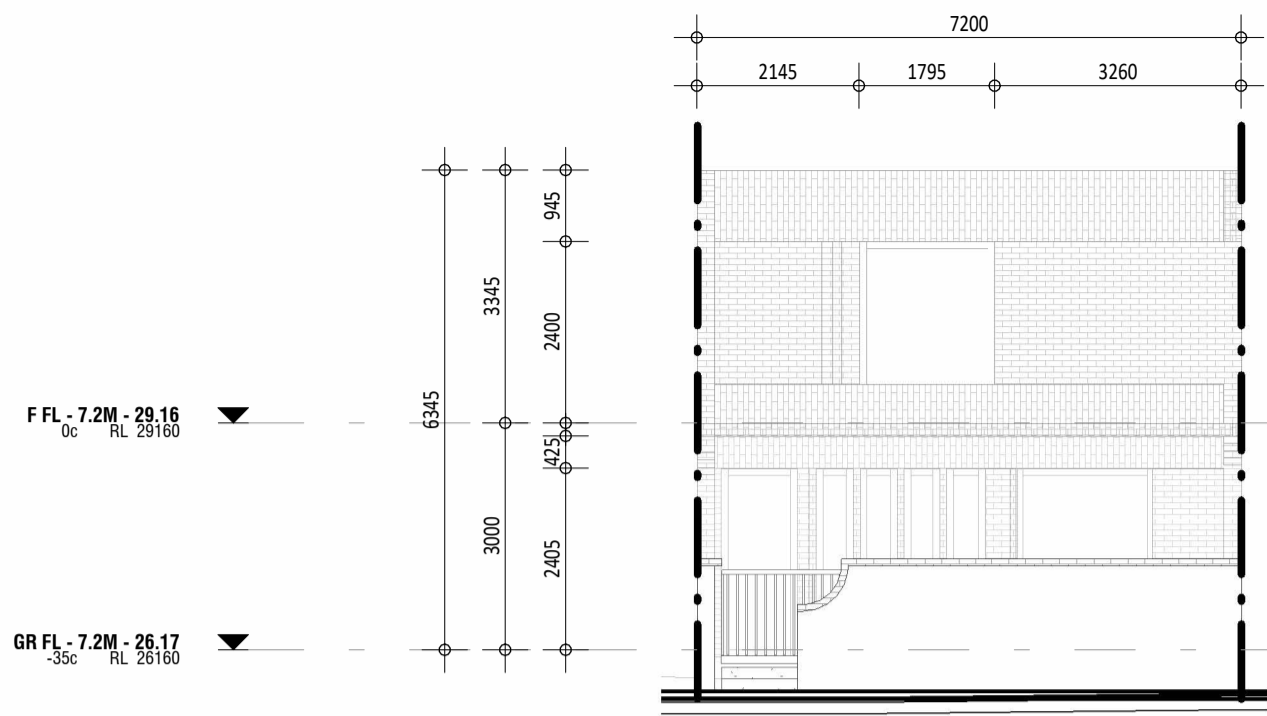
PROJECT NAME

**Nedlands Reserve**

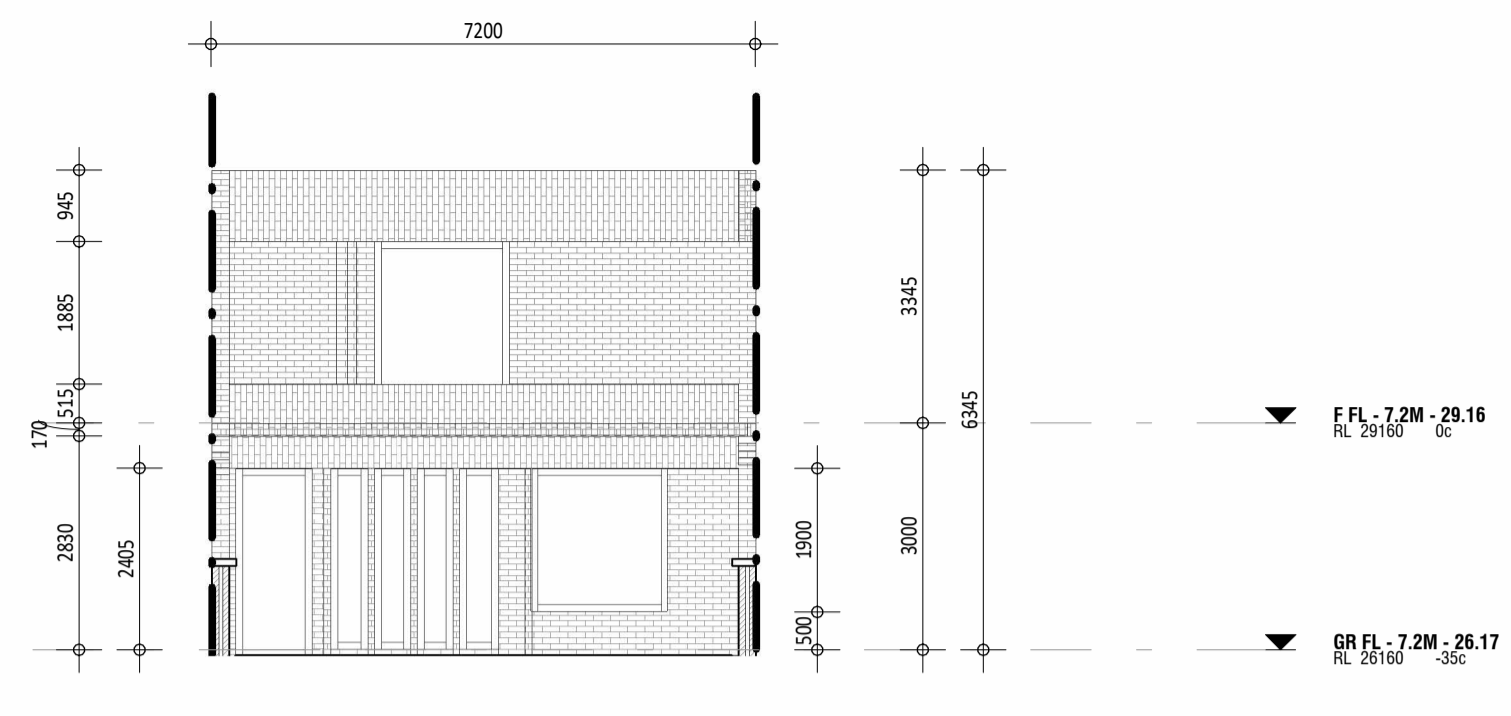
HESPERIA

DRAWING NAME

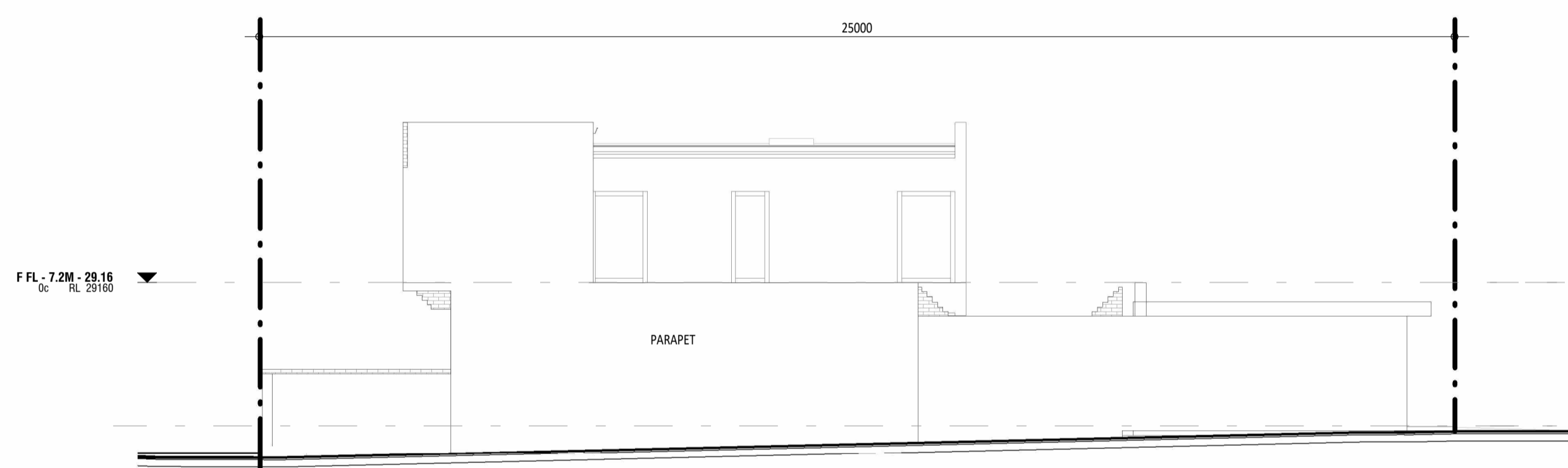
**C1 - 7.2M - ROOF PLAN**



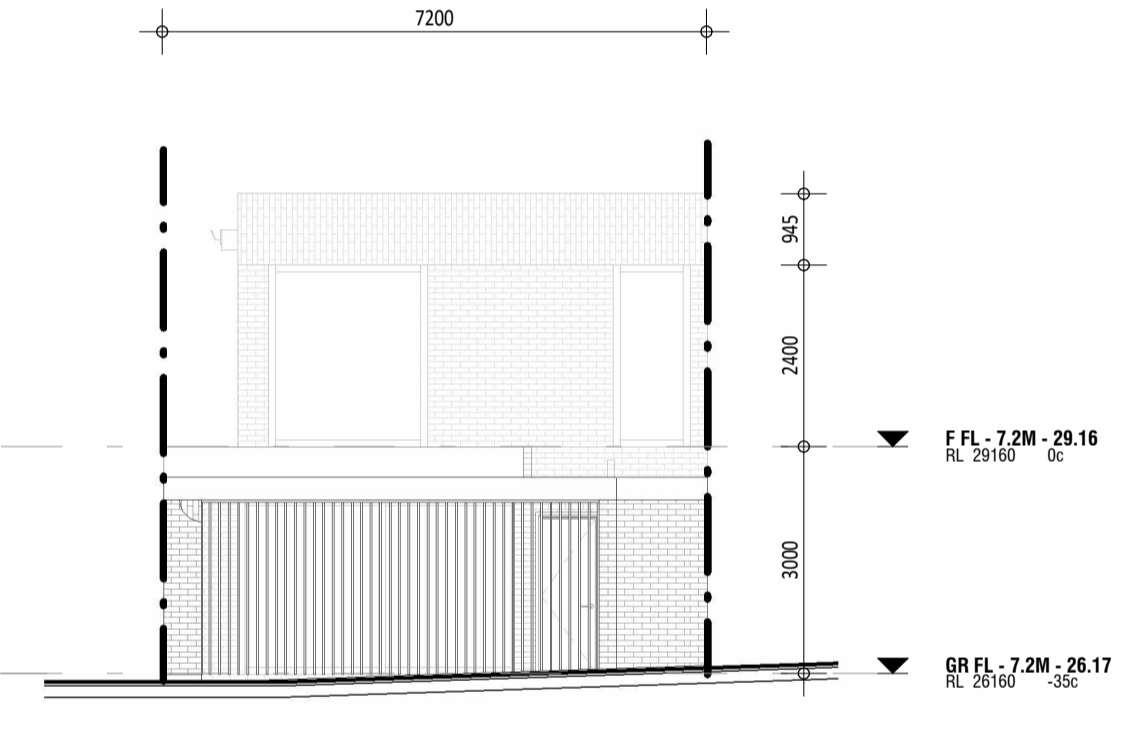
2 EAST ELEVATION (STREET)  
C101 1 : 100



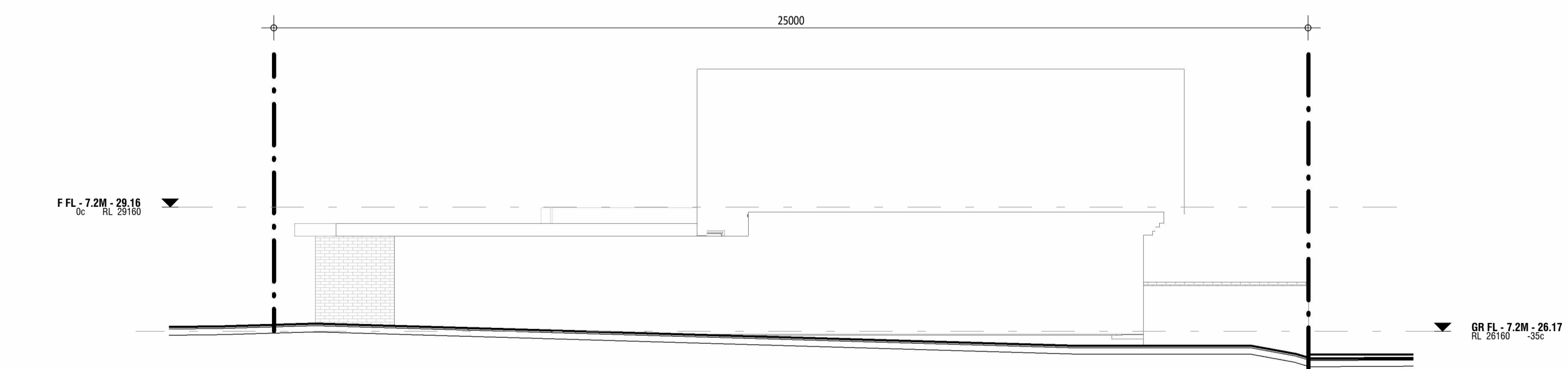
1 EAST ELEVATION  
C101 1 : 100



3 NORTH ELEVATION  
C101 1 : 100



5 WEST ELEVATION  
C101 1 : 100



4 SOUTH ELEVATION  
C101 1 : 100

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PROJECT NAME

Nedlands Reserve

HESPERIA

DRAWING NAME

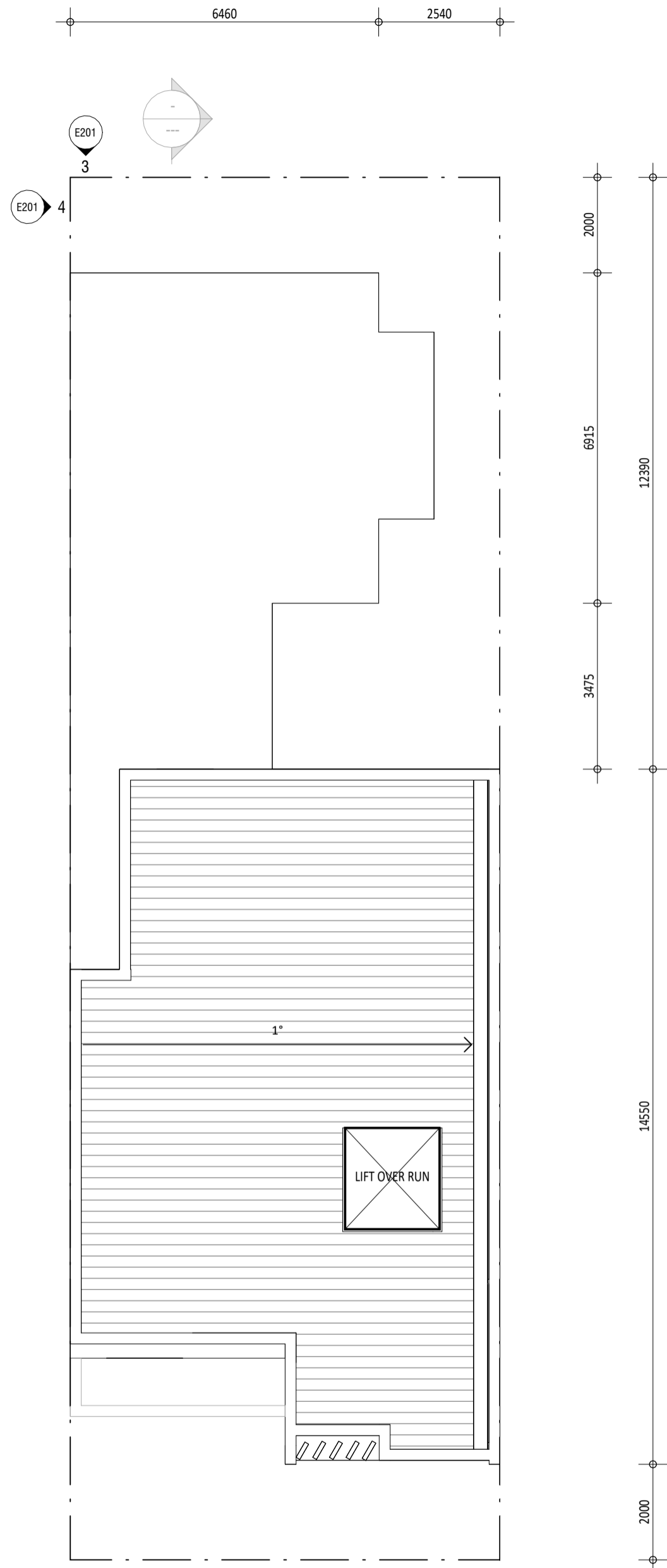
C1 - 7.2M - ELEVATIONS











1 **TOW - E 9M - 35.493**  
 E201 1 : 100

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 SUBIACO WA 6008  
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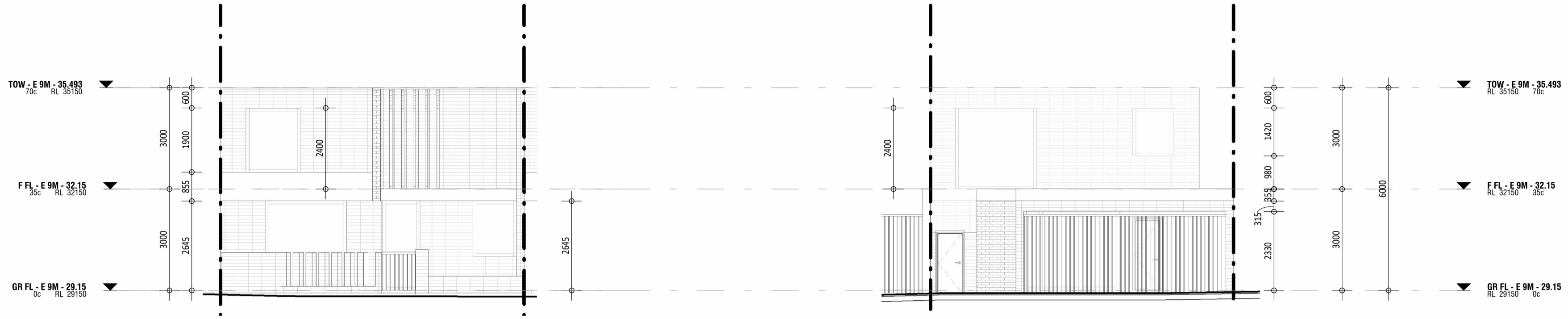
PROJECT NAME

**Nedlands Reserve**

HESPERIA

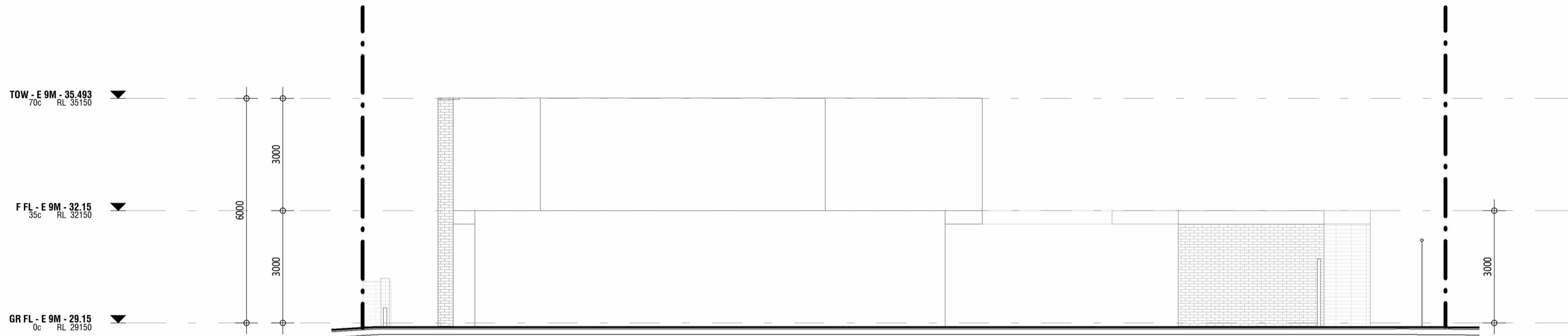
DRAWING NAME

**E - 9M - ROOF PLAN**

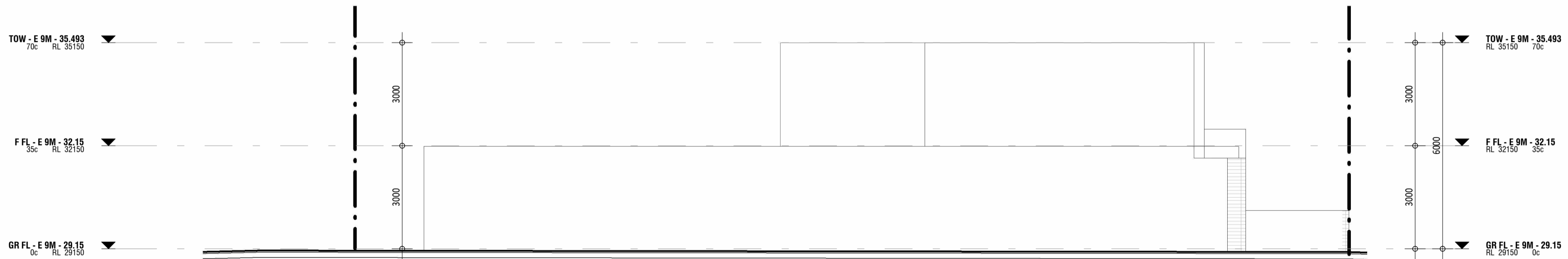


1 SOUTH ELEVATION (E - 9M)  
1 : 100

3 NORTH ELEVATION (E-9M)  
1 : 100



2 EAST ELEVATION (E-9M)  
1 : 100



4 WEST ELEVATION (E - 9M)  
1 : 100

**state of kin**

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SUBIACO WA 6008  
PH: 9328 6679  
design@stateofkin.com.au  
www.stateofkin.com.au

PROJECT NAME

Nedlands Reserve

HESPERIA

DRAWING NAME

E1 - 9M - ELEVATIONS

# Nedlands Reserve


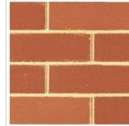


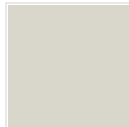
## External Finishes

Notes

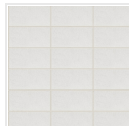
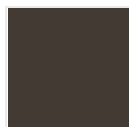
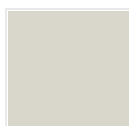
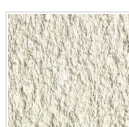
Final submission  
20/02/2024

State of Kin  
20 February 2024

C1 - 7.2M

	<b>Textured Render</b> -	Product Name - Brand	- Colour - Finish	- Material	- Width (mm) - Length (mm)	- Height (mm) - Depth (mm)	- Supplier Company - Supplier Email
	<b>Red brick</b> EXTERIOR FACADE -	Red Smooth Product Name  Midland Brick Brand	- Colour - Finish	- Material	- Width (mm) - Length (mm)	- Height (mm) - Depth (mm)	- Supplier Company - Supplier Email
	<b>Window Frames</b> -	Electro Medium Bronze Product Name Dulux Brand	- Colour - Finish	- Material	- Width (mm) - Length (mm)	- Height (mm) - Depth (mm)	- Supplier Company - Supplier Email
	<b>Gates/Carport Door</b> -	Surfmist Product Name Dulux Brand	- Colour - Finish	- Material	- Width (mm) - Length (mm)	- Height (mm) - Depth (mm)	- Supplier Company - Supplier Email

E1 - 9M

	<b>Masonry Block Stacked</b> EXTERIOR FACADE -	GB Smooth Stacked Product Name Austral Masonry Brand	- Colour - Finish	Porcelain Material	- Width (mm) - Length (mm)	- Height (mm) - Depth (mm)	- Supplier Company - Supplier Email
	<b>Window Frames</b> -	Electro Medium Bronze Product Name Dulux Brand	- Colour - Finish	- Material	- Width (mm) - Length (mm)	- Height (mm) - Depth (mm)	- Supplier Company - Supplier Email
	<b>Gates/Carport Door</b> -	Surfmist Product Name Dulux Brand	- Colour - Finish	- Material	- Width (mm) - Length (mm)	- Height (mm) - Depth (mm)	- Supplier Company - Supplier Email
	<b>Textured Render</b> -	Product Name - Brand	- Colour - Finish	- Material	- Width (mm) - Length (mm)	- Height (mm) - Depth (mm)	- Supplier Company - Supplier Email

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# NEDLANDS TOWNHOUSE DESIGN ~ PILOT STUDY

FINAL PRESENTATION | FEBRUARY 2024

# BLOCK D

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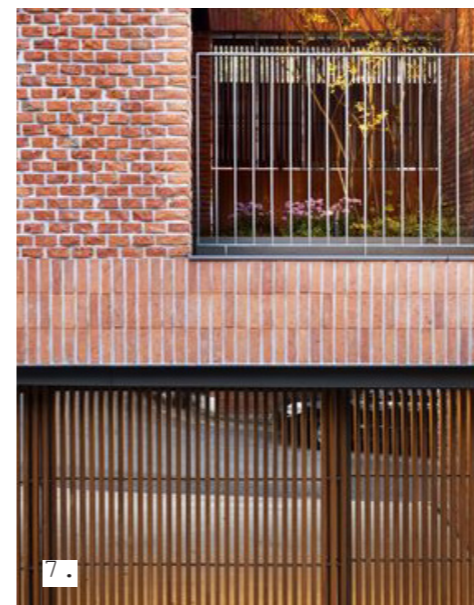
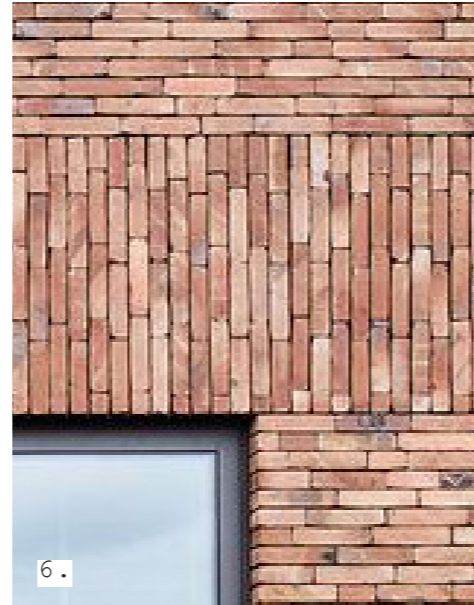
HERITAGE PRECINCT

# block D ~ heritage precinct

## design principal and materials

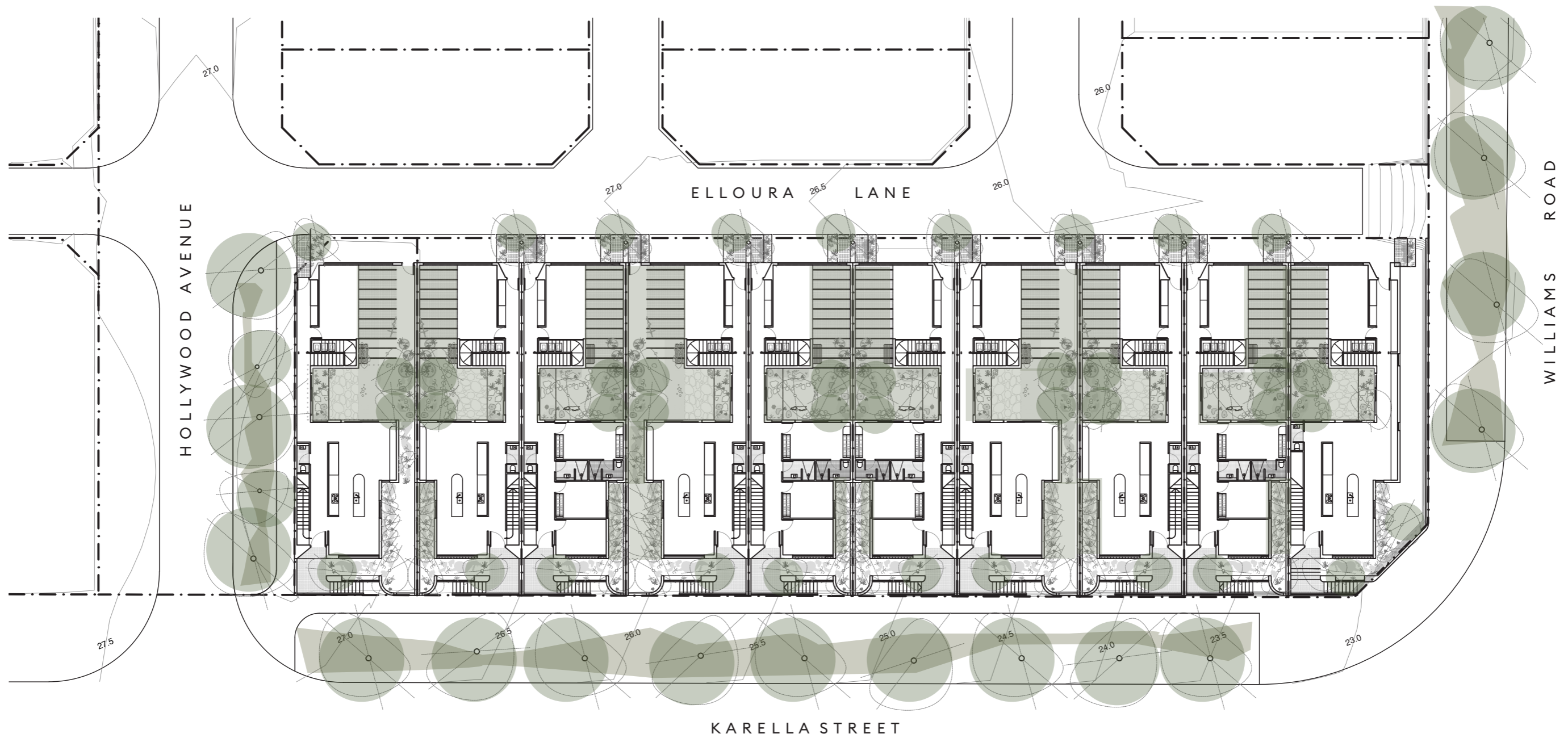


1. hit and miss brick work screens
2. articulated openings to elevations
3. moments for street interaction and interface
4. steel window hood and boxes
5. Colour matched mortar
6. brick pattern and texture
7. feature metalwork balustrades and screens
8. Dark Bronze powdercoat to feature metal work



6.





**BLOCK D  
OVERALL AREAS**

**8.5M W LOT**

Lot area 248sqm  
 Built area 144sqm  
 Open area 104sqm (42%)

**10.0M W LOT**

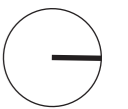
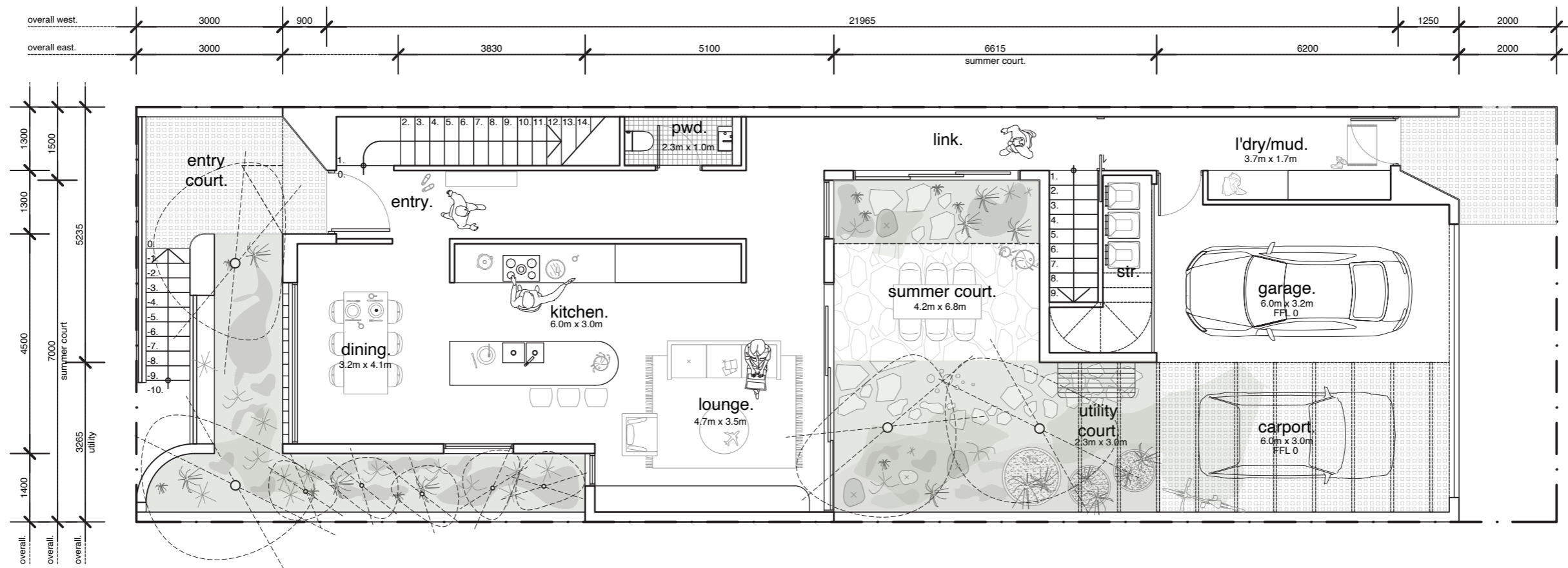
Lot area 292sqm  
 Built area 144sqm  
 Open area 148sqm (50%)

**CORNER LOT**

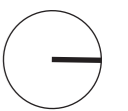
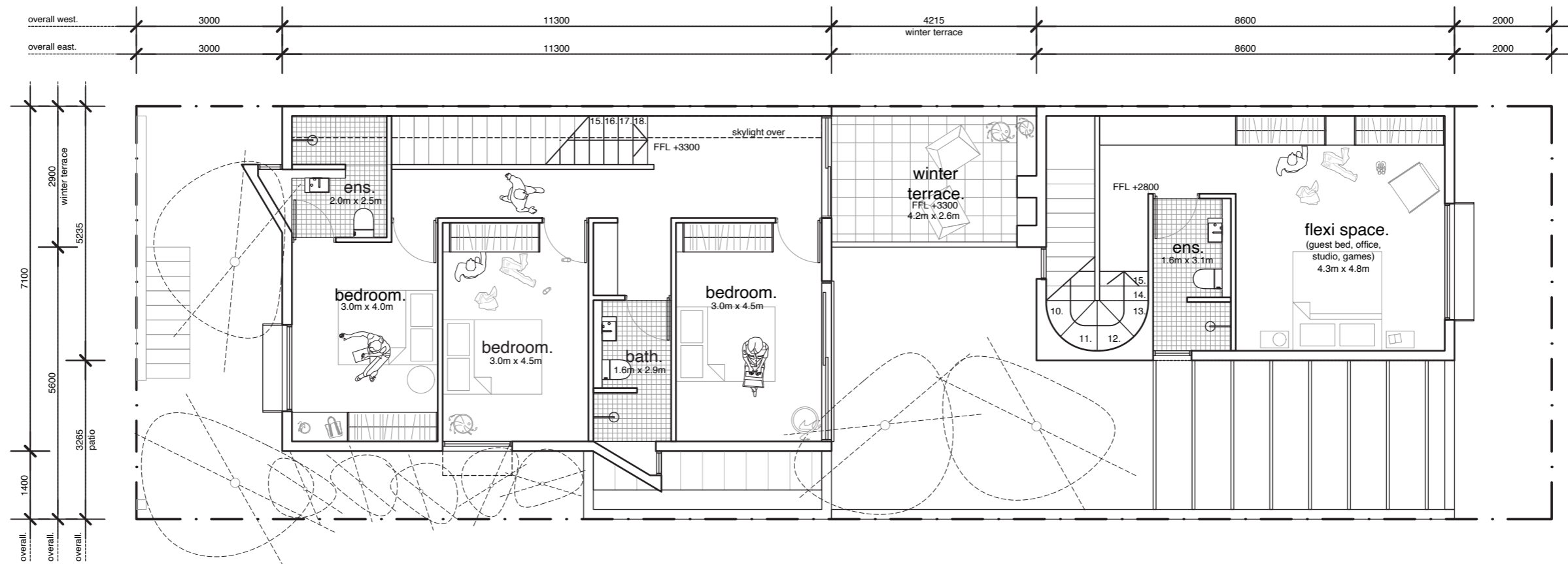
Lot area 315sqm  
 Built area 153sqm  
 Open area 162sqm (51%)



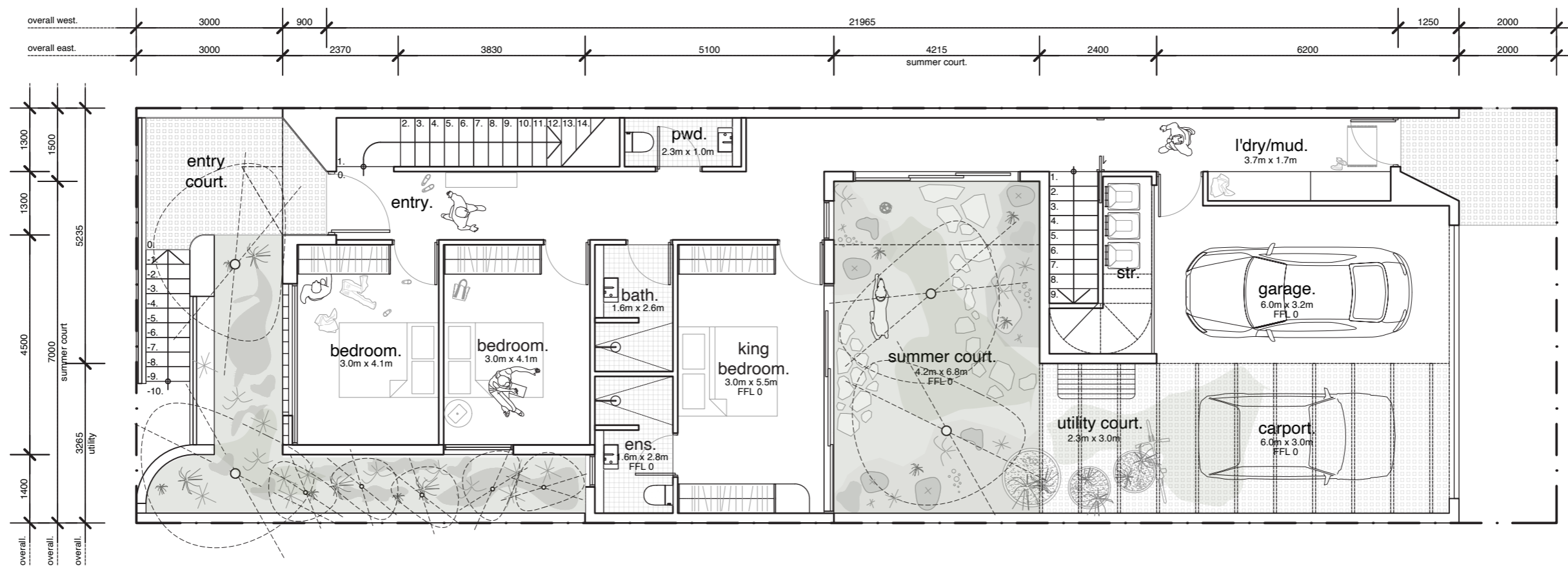
**BLOCK D  
Site Plan**



**BLOCK D**  
Ground Floor  
scale: 1:100

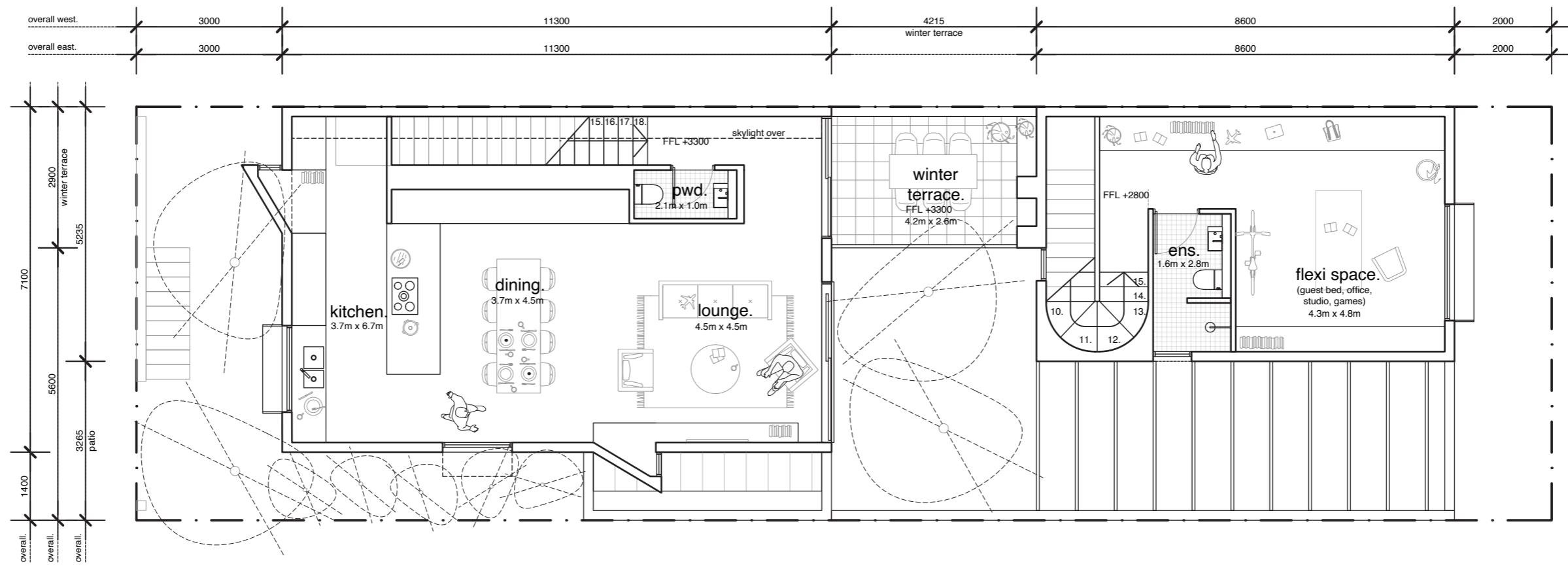


**BLOCK D**  
Upper Floor  
scale: 1:100



**BLOCK D ~ REVERSE LIVING**  
 Ground Floor  
 scale: 1:100

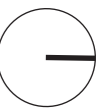




**BLOCK D ~ REVERSE LIVING**

Upper Floor

scale: 1:100

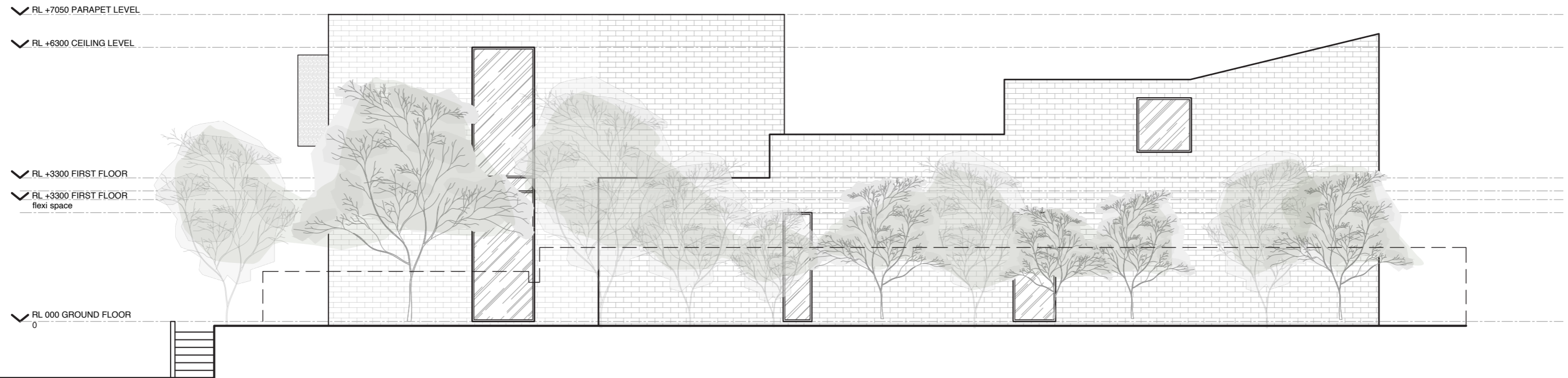




**01**  
A1.01 north elevation  
1:100 laneway elevation

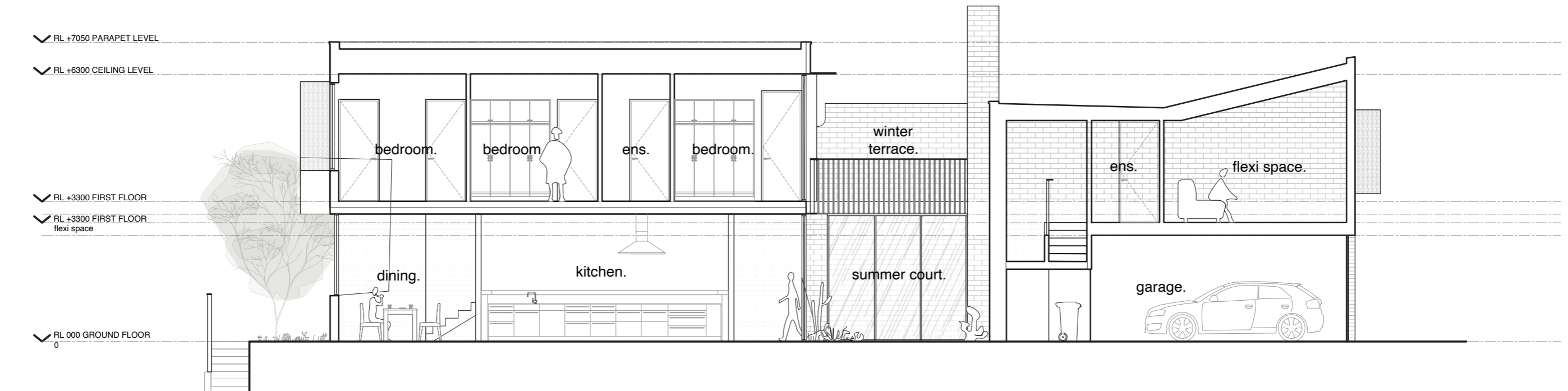


**02**  
A1.01 south elevation  
1:100 street elevation



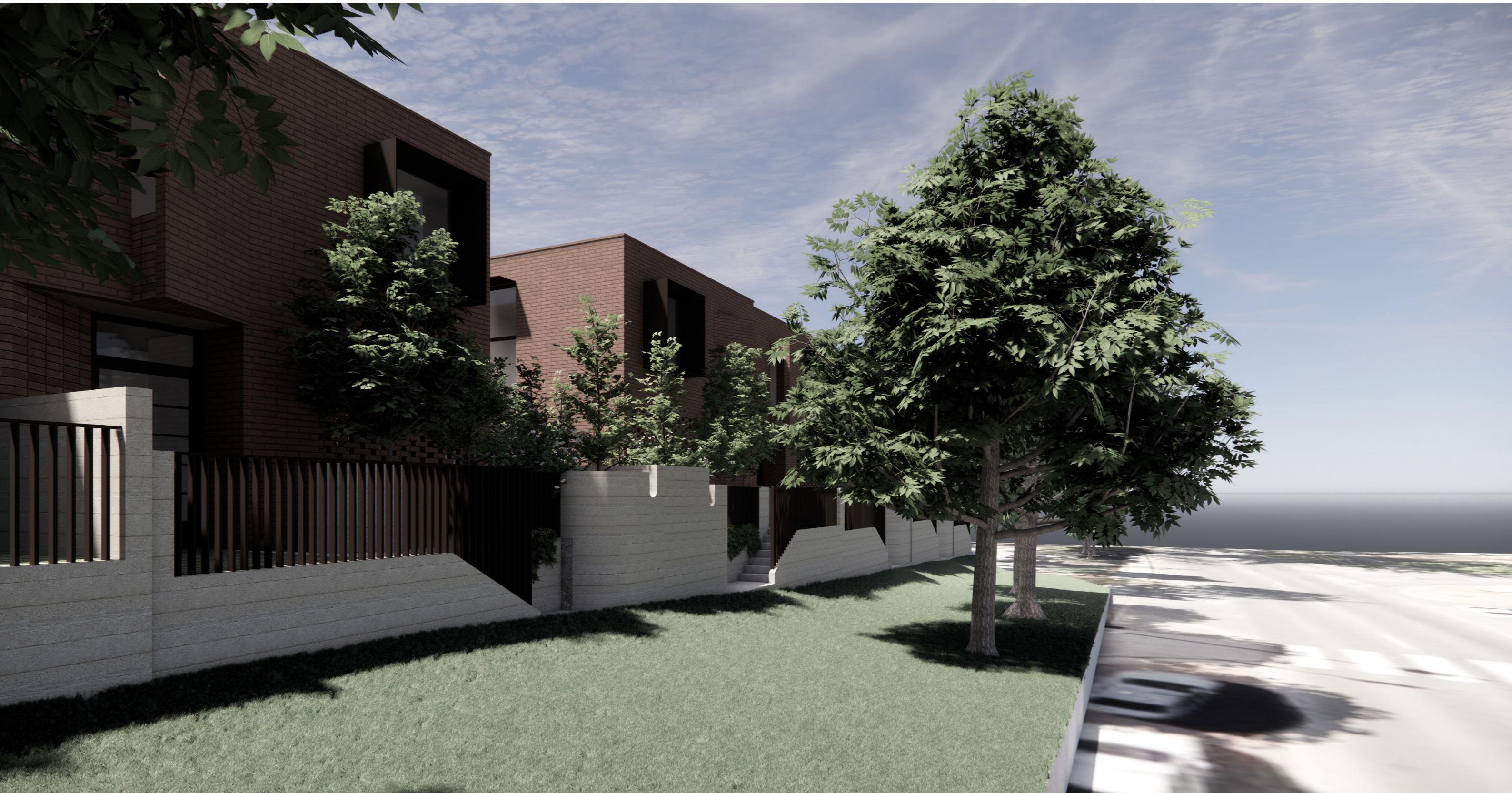
**03**  
A1.01 east elevation  
1:100 side elevation











# BLOCK G

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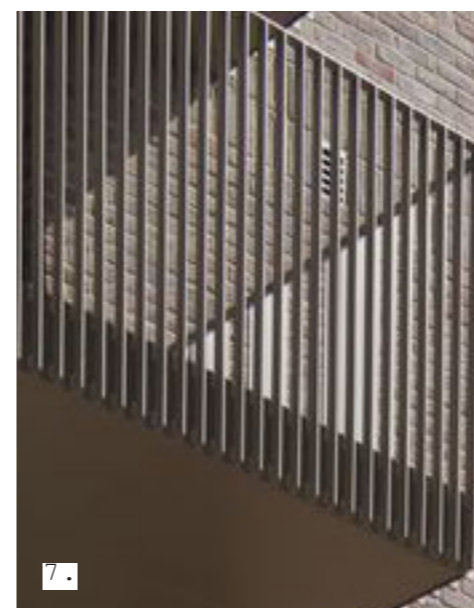
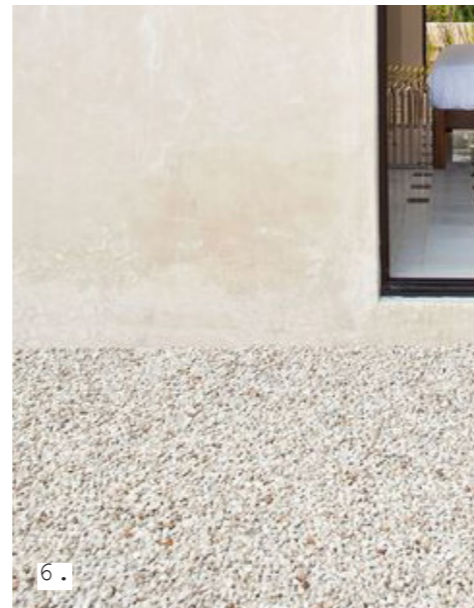
PARKLAND PRECINCT

# block D ~ parkland precinct

## design principal and materials



- 1. patterned brickwork
- 2. chamfered entry nooks
- 3. articulated openings
- 4. landscaped edges
- 5. textured mortar
- 6. textured datum lines
- 7. feature metalwork
- 8. Dark Bronze powdercoat



6.



**BLOCK G  
OVERALL AREAS**

**7.2M W LOT**

Lot area 237sqm  
Built area 165sqm  
Open area 72sqm (30%)

**8.0M W LOT**

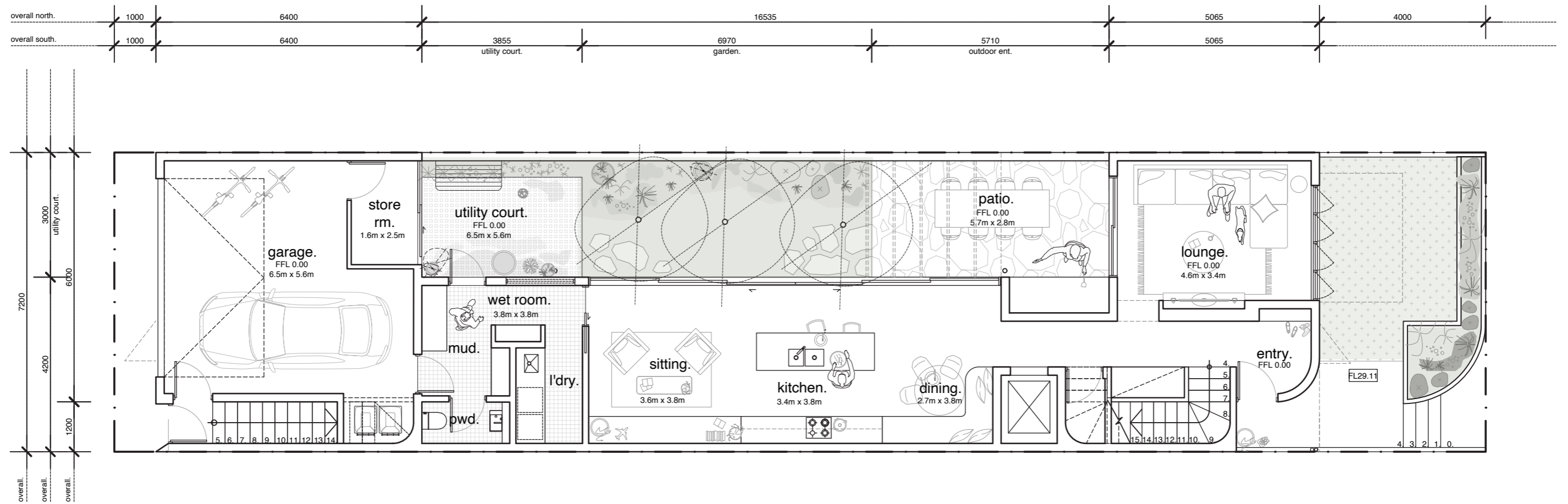
Lot area 264sqm  
Built area 168sqm  
Open area 96sqm (36%)

**CORNER LOT**

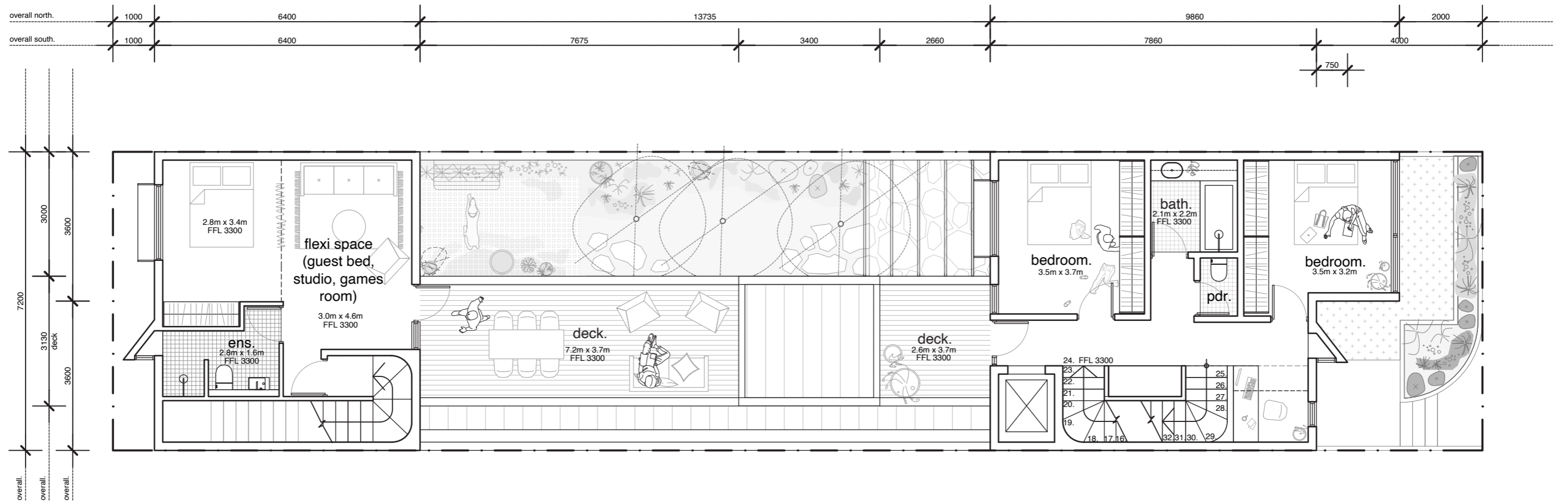
Lot area 305sqm  
Built area 180sqm  
Open area 125sqm (40%)



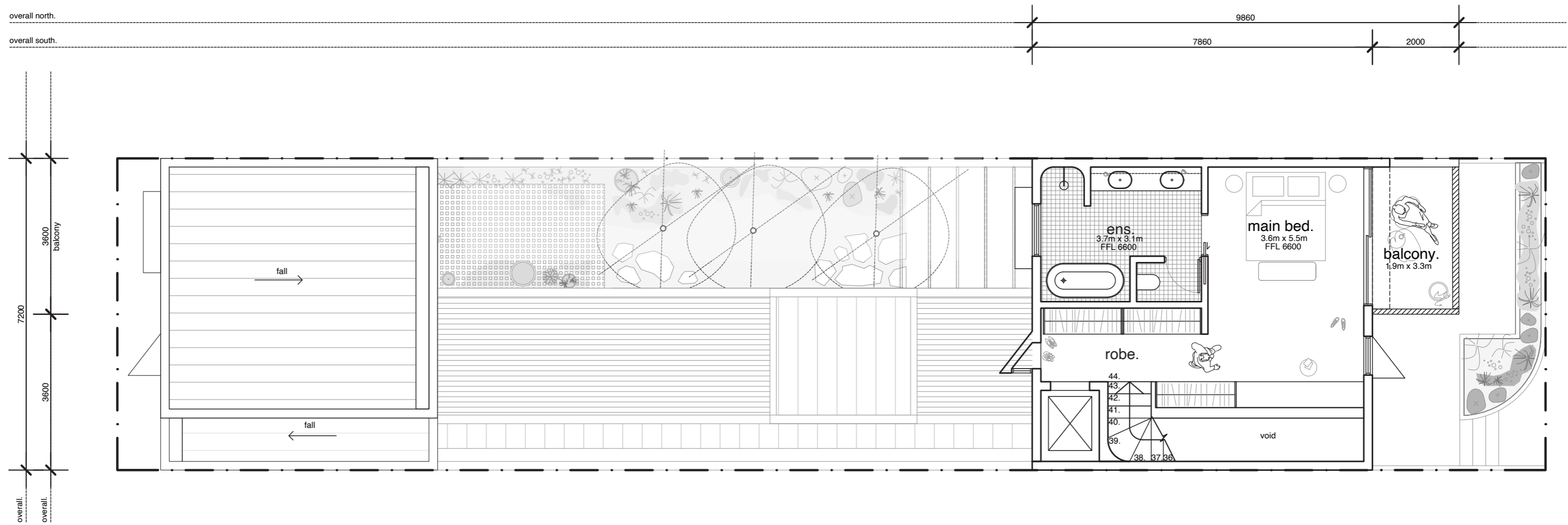
**BLOCK G  
Site Plan**



**BLOCK G**  
Ground Level  
scale: 1:100



**BLOCK G**  
First Level  
scale: 1:100



**BLOCK G**  
Second Level  
scale: 1:100

✓ RL XXX PARAPET  
+9900

✓ RL XXX SECOND FLOOR  
+6600

✓ RL XXX FIRST FLOOR  
+3300

✓ RL XXX GROUND FLOOR  
0



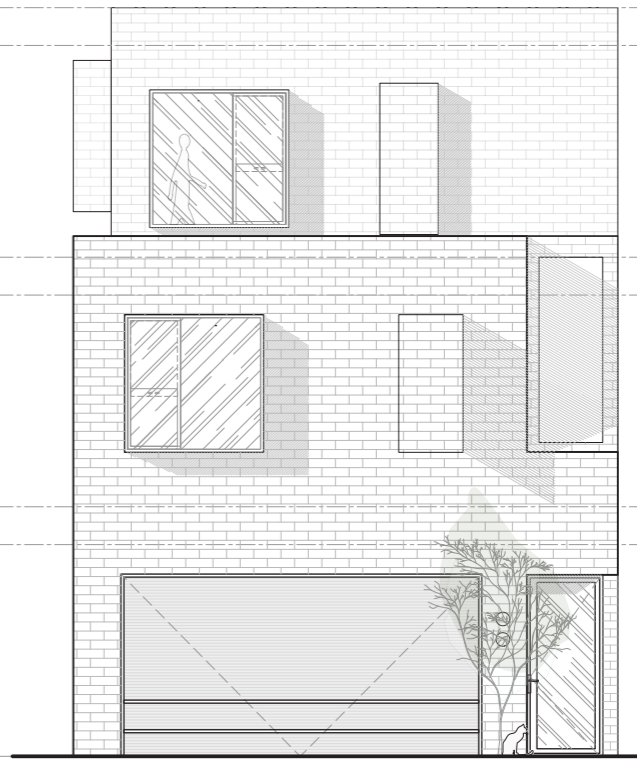
**01**  
A1.01 east elevation  
1:100 primary elevation

✓ RL XXX PARAPET  
+9900

✓ RL XXX SECOND FLOOR  
+6600

✓ RL XXX FIRST FLOOR  
+3300

✓ RL XXX GROUND FLOOR  
0



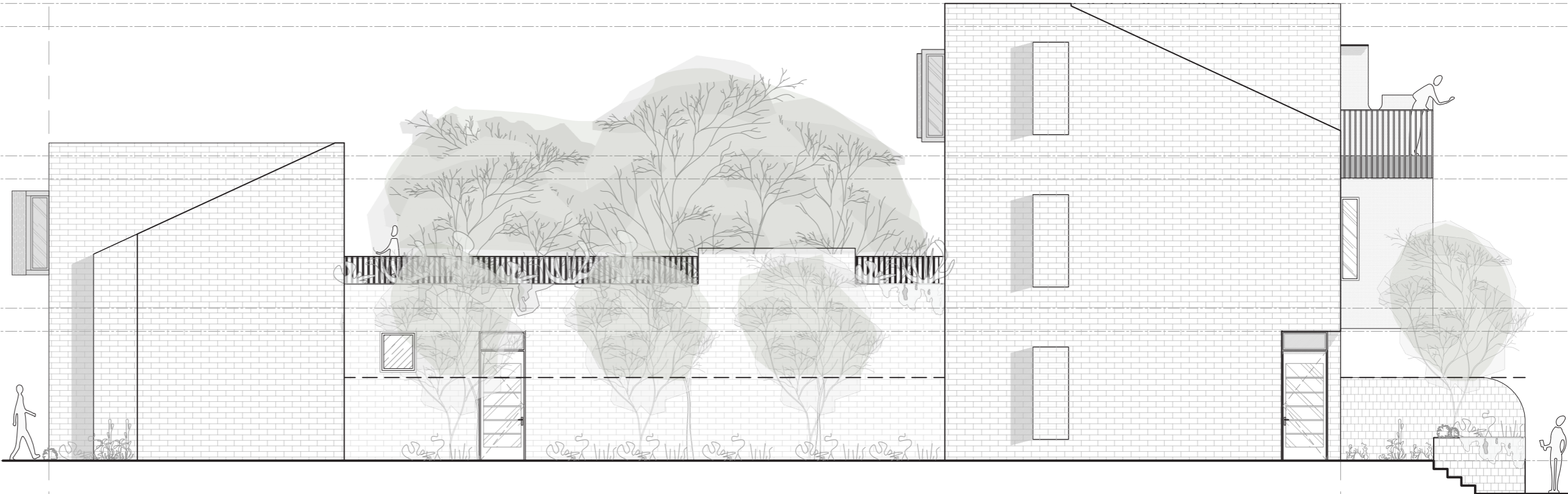
**03**  
A1.01 south elevation  
1:100 side elevation

✓ RL XXX PARAPET  
+9900

✓ RL XXX SECOND FLOOR  
+6600

✓ RL XXX FIRST FLOOR  
+3300

✓ RL XXX GROUND FLOOR  
0



**04**  
A1.01 south elevation  
1:100 side elevation



**BLOCK G**  
Elevations  
scale: 1:100

