



City of Nedlands

LATE ITEMS

Ordinary Council Meeting

Wednesday, 06 August 2025



16.5 Perth Children's Hospital Foundation Request to Waive Work Zone Rental Fees on Swanbourne Oval adjacent to the Children's Hospice Development

Report Number	PD29.08.25
Meeting & Date	Ordinary Council Meeting – 6 August 2025
Applicant	Perth Children's Hospital Foundation
Employee Disclosure under section 5.70 Local Government Act 1995	Nil
Report Author	Alain Baldomero – Manager Health and Compliance
Director	Bruce Thompson – Director Planning and Development
Attachments	Attachment 1 – Applications Attachment 2 – Permits Attachment 3 – Overflow Application Attachment 4 – CONFIDENTIAL

Purpose

The purpose of this report is for Council to consider waiving the work zone rental fees, associated with Perth Children's Hospital Foundation's (PCHF) Children's Hospice development, for the overflow contractor parking at the adjacent Swanbourne Oval.

Administration Recommendation

That Council:

1. **APPROVE** the waiving of the work zone rental fees associated with overflow contractor parking on the grassed area of Swanbourne Oval adjacent to the Children's Hospice development.
2. **DIRECTS** the Chief Executive Officer to write to Perth Children's Hospital Foundation stating Council's decision and the conditions associated with the parking.

Voting Requirement

Absolute Majority

Background



In about September 2024 the City consulted with the numerous Allen Park carpark users to stage ensure a safe access plan was developed that allowed conflicting uses associated with the construction of the Perth Children's hospice. It was proposed that an area close to Odern Crescent was used by the builder for its offices and for the storage of materials. A separate area was identified for as overflow carparking for the WA Bridge Club patrons. An area on Swanborne Reserve was identified for trades parking.

On 9 December 2024, the City received verge and thoroughfare applications (Attachment 1) from the builder (West to West Group) of the Children's hospice. The applications were for temporary access to the development, storage of building materials and parking. As a result, the City issued permits (Attachment 2) to the developers.

Below are the approved areas related to the applications.

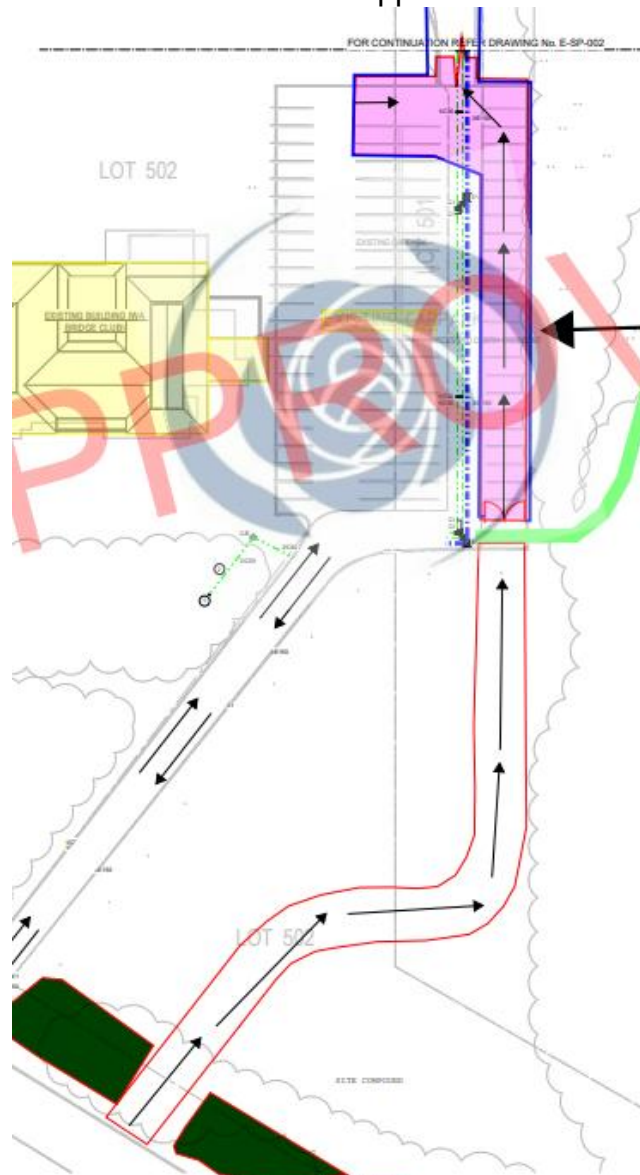


Figure 1 – Approved thoroughfare and occupation of existing carpark

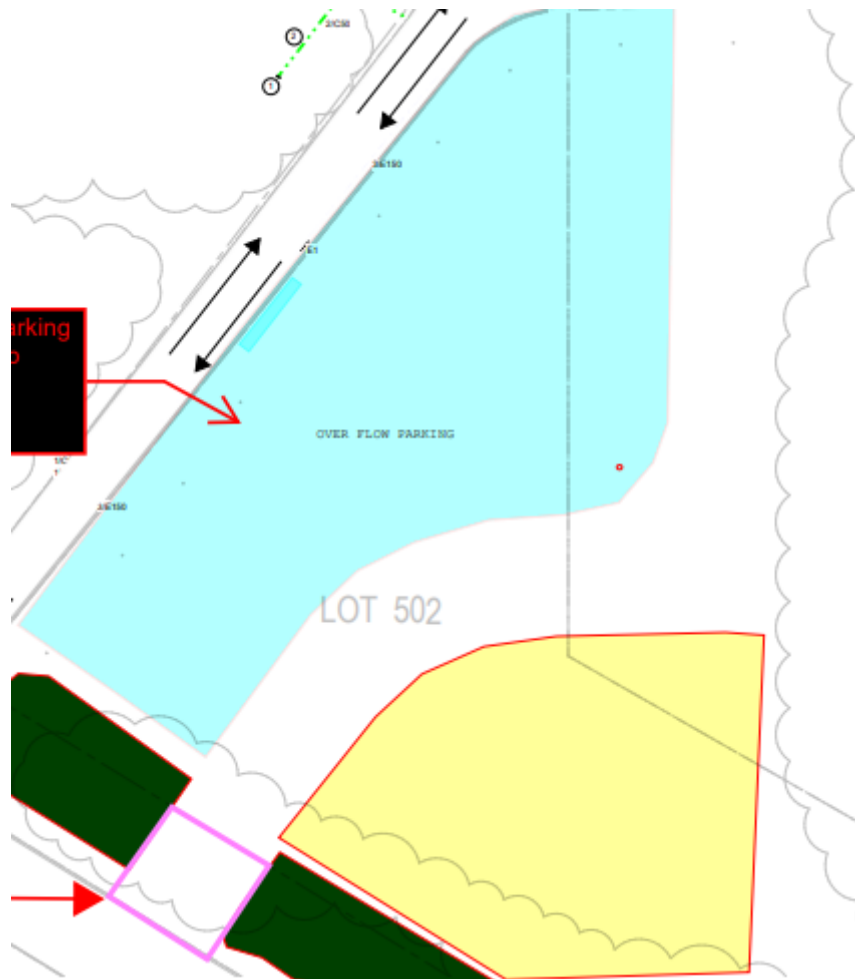


Figure 2 – Approved temporary crossover, parking (blue) and storage/office area (yellow)

Another verge application (Attachment 3) was received by the City for overflow contractor parking at the adjacent Swanbourne Oval. When the builder was made aware that a work zone rental fee applied the application was not progressed and a permit was not issued.

A letter was received by the Chief Executive Officer of PCHF on 18 July 2025 (Confidential Attachment 4) stating parking issues were being encountered by trades personnel in the surrounding precinct and requesting that the City of Nedlands waives the fees associated with the use of the grass area on Swanbourne Oval which is adjacent to the Children's Hospice development. The letter requested immediate access for trade vehicles for the duration of the construction period (up to April 2026).

Discussion

PCHF are a charity that have requested that the City waive work zone fees associated with the overflow parking at Swanbourne Oval for the parking of contractors during the



construction period. PCHF also states the significant additional costs to the development already experienced.

The area requested (refer to Figure 3 below) currently exists as overflow parking for the public that use the Swanbourne Beach, The Shorehouse facility and Swanbourne Nedlands Surf Lifesaving Club. The area is approximately 1360m² and is in walking distance to the Children's Hospice development. The developer was made aware that the work zone rental for this area would be \$3,400 per month based on the current City's Schedule of Fees and Charges.



Figure 3 – Existing overflow parking area on Swanbourne Oval

Community use considerations:

- During spring and summer period, this area is regularly utilised especially over the weekend.
- During the school holidays in summer, this area is regularly utilised every day of the week.
- Dog walkers as the reserve is a dog exercise area.

To address some of the above considerations, specific conditions can be applied to the permit issued by the City. To minimise impact on the public using this area during busy periods, the developer is willing to work with the City such as workers seeking alternative parking on Saturdays during spring and summer. The development will be shutdown over the Christmas – New Years period. In addition, it is suggested an initial permit can be issued up to the 19 December so that the developer can provide a plan to the City on its use of the area during the summer school holidays.

The options to consider:

1. Work zones rental is waived (**preferred option**).
2. Discounted work zone rental (**Council discretion to set** – 50%, 25%, flat rate of \$1,000 or \$500 per month etc).



3. Full work zone rental applied ($1360 \times \$2.50\text{m}^2 = \$3,400$ per month. Noted this will be significantly higher if 'Schedule of fees and charges' adopted at $\$5.5\text{m}^2/\text{per month}$).

Consultation

The City of Nedlands [Community Engagement Policy](#) does not require public engagement in relation to this item.

Internal consultation with Rangers and Parks teams.

Strategic Implications

This item is strategically aligned to the City of Nedlands Council Plan 2023-33 vision and desired outcomes as follows:

Vision	Sustainable and responsible for a bright future
Pillar Outcome	People
	3. A caring and supportive community for all ages and abilities.
Pillar Outcome	Place
	8. A city that is easy to get around safely and sustainably.
Pillar Outcome	Performance
	12. A happy, well-informed and engaged community.

Budget/Financial Implications

In accordance with the current City's Schedule of Fees and Charges, the work zone rental fee is \$2.5 per m^2 per month. The 1360m^2 equates to \$3,400 per month and the build is scheduled to be completed in April 2026. At nine months, the total fee would be \$30,600.

Legislative and Policy Implications

As per delegation 1.1.22, any requests to waive a debt above \$1,000 must go to Council for a decision.

Local Government Act 1995 (WA)

6.12. Power to defer, grant discounts, waive or write off debts

- (1) Subject to subsection (2) and any other written law, a local government may —



- (b) waive or grant concessions in relation to any amount of money; or
- (c) write off any amount of money, which is owed to the local government.

** Absolute majority required.*

Decision Implications

Should Council decide not to approve the waiving of fees for PCHF, PCHF would incur additional fees that are contributing to their additional construction costs during the project. In addition, parking difficulties in the surrounding precinct may continue to increase and create further issues for PCHF and impact the construction of the Perth Children's Hospice.

Conclusion

It is recommended that Council approve waiving the work zone rental fees associated with the Children's Hospice development for the overflow contractor parking at the adjacent Swanbourne Oval.

Further Information

Nil

Application Form – Permit to Use a Verge and/or Thoroughfare



City of Nedlands
nedlands.wa.gov.au

Application for a Permit to Use a Verge and /or Thoroughfare

Local Government (Uniform Local Provisions) Regulations 1996, Reg 6

City of Nedlands Thoroughfares Local Law, Clause 7

Applicant:

Company:	West to West Group		
Address:	6 Gould St		
Contact Name:	Jason Le	Phone: 0422079251	
Contact Email:	Jason.le@westtowest.com.au		
Signature:		Date: 4/12/2024	

Property Details:

Street Number:		Lot Number:	503
Street Name:	Odern Cres		
Suburb:	Swanbourne		

Proposed Application / Use:

Work Zone /Activity	The area is used for vehicle access to the building site and site compound for goods deliveries, concrete pumping and other construction activities.	Y
Skip only application	Application to place a skip only on the verge / thoroughfare that will contain building / construction waste.	N
Domestic use only	A permit is not required for placing a skip on the verge for up to 7 days if for domestic use only	

Documentation Required: Please provide the following

Plans / Drawings	Please provide sufficient plans to identify the area you are wanting to use including what you want to use the area for	Provided
Site Plan:	Marked up and dimensioned showing area and activities proposed. As attachment 1	Y
Other plans:	As required – additional plans that assist our understanding of your proposal. Attachment 2	Y

Application Form – Permit to Use a Verge and/or Thoroughfare



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nedlands.wa.gov.au

Site Management Plan	The City requires that all developments have in place a traffic and pedestrian management plan to cover all instances of goods delivery, concrete pumping operations and mobile hoisting activities, or the like, that occur on or over the thoroughfare or footpath during construction.	Y
Traffic Management Plan	Depending upon site location and activities you may need to supply an accredited traffic management plan. You will be advised after submission if this is required.	

Duration and Size of Work Zone:

Period	This will determine the duration for which this approval will be valid for and the resultant work zone/verge area fee
Months (min 1, max 24)	18 months
Area of Verge Required	The area between the road verge and the entry to the overflow carpark

Fees:

Application Fees	Total fee including any bonds will be confirmed after submission
Application Fee (Not refundable)	\$288.00 – Required at time of submission is applicable to commercial use of the verge i.e. construction sites
Work Zone Fee (Not refundable)	TBC – Required prior to granting of approval – Based upon area of use x duration of use x \$2.5/m2
Infrastructure Bond (Refundable)	TBC – Required prior to granting approval – Based upon area/number of City assets within area of use.

Important Information

Indemnification – upon signing and submission of this application, the applicant undertakes to indemnify the City of Nedlands against all claims for damages, in respect of any loss, damage, death or injury caused by, or in the course of arising out of the use of the thoroughfare and the property of the City of Nedlands, during all periods when the thoroughfares are in use due to the works associated with the development.

Any damages caused during works are to be rectified to the City of Nedlands satisfaction and at the applicant's expense. The applicant is to provide evidence of any existing damage prior to commencement of works. Any existing damage not identified prior to works becomes the applicant's responsibility.

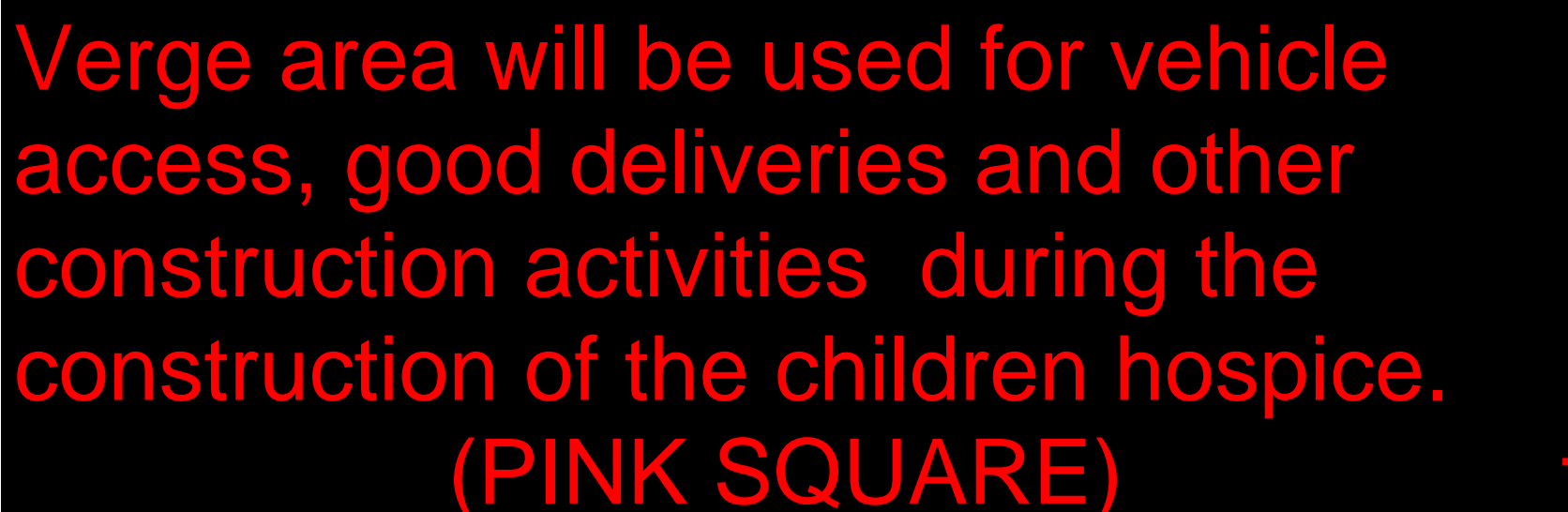
PLEASE NOTE: EXCEEDING THE WORK ZONE AREA ALLOCATED ON YOUR PERMIT MAY INCUR PENALTIES.



1 INDICATIVE LOCATION OF EXISTING TELSTRA / NBN CO. PIT. ALLOW TO MODIFY PIT TO ACCEPT NEW CONDUITS. CONFIRM REQUIREMENTS FOR CONDUIT ENTRY INTO PIT WITH NBN CO

2 INDICATIVE ROUTE OF EXISTING COMMUNICATION CONDUIT TO ODERN CRESCENT

3 2x 50C TO PROPERTY BOUNDARY

4 3x 150P TO PROPERTY BOUNDARY



Project No. P68521-001E			Revt. Versio 2022
Design SM	Drawn BE		
Scale 1 : 300 @ A0	Project Commencement OCT. 2022		DRAWING IN COLOUR
Drawing No.		Revision	
E-SP-001		T02	

NOTES

REFER TO DRAWING No. E-0L-001 FOR LEGEND AND GENERAL NOTES



Overflow Carpark above

Perimeter
220.07 m

Area
1,605.75 m²

Edit



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Applicant:

Company:	West to West Group		
Address:	6 Gould St		
Contact Name:	Jason Le	Phone:	0422 079 251
Contact Email:	Jason.le@westtowest.com.au		
Signature:		Date:	9/12/2024

Property Details:

Street Number:	7	Lot Number:	Lot 503
Street Name:	Odern Cres		
Suburb:	Swanbourne		

Proposed Application / Use:

Work Zone /Activity	West to West Group is seeking permission to temporarily use a section of carpark as per attachment 1 for construction plant, vehicle access to main building site	Y
Skip only application	Application to place a skip only on the verge / thoroughfare that will contain building / construction waste.	N
Domestic use only	A permit is not required for placing a skip on the verge for up to 7 days if for domestic use only	

Documentation Required: Please provide the following

Plans / Drawings	Please provide sufficient plans to identify the area you are wanting to use including what you want to use the area for	Provided
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Application Form – Permit to Use a Verge and/or Thoroughfare



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Traffic Management Plan	Depending upon site location and activities you may need to supply an accredited traffic management plan. You will be advised after submission if this is required.	

Duration and Size of Work Zone:

Period	This will determine the duration for which this approval will be valid for and the resultant work zone/verge area fee
Months (min 1, max 24)	18 months starting November 2024 – April 2026
Area of Verge Required	A section of existing Bridge Club carpark as attachment 1

Fees:

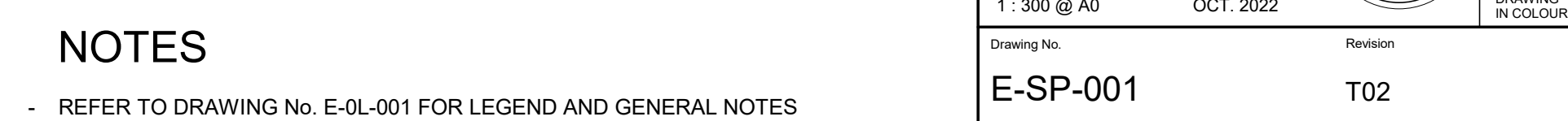
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Infrastructure Bond (Refundable)	TBC – Required prior to granting approval – Based upon area/number of City assets within area of use.

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Any damages caused during works are to be rectified to the City of Nedlands satisfaction and at the applicant's expense. The applicant is to provide evidence of any existing damage prior to commencement of works. Any existing damage not identified prior to works becomes the applicant's responsibility.

PLEASE NOTE: EXCEEDING THE WORK ZONE AREA ALLOCATED ON YOUR PERMIT MAY INCUR PENALTIES.





Overflow Carpark above

Perimeter
220.07 m

Area
1,605.75 m²

Edit



Permit to Use a Verge and /or Thoroughfare

Local Government (Uniform Local Provisions) Regulations 1996, Reg 6

City of Nedlands Thoroughfares Local Law, Clause 7

Permit Details:

Permit No:	BA324570
Permit Holder:	West to West Group
Address:	6 Gould Street, Osborne Park WA 6017

Property Details:

Address:	Perth Children's Hospice
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The Licensee is authorised to use the verge and/or thoroughfare as identified below and on the attached plans and limited to the attached Conditions of Approval.

Use Approved For	Duration	Area (Work Zone)
Contractor parking - lower car park	18 months	approx 900sqm

Approved By: Jordan McDermott – Co-ordinator Development Compliance	
Date Approved:	24/01/2025
Date of Expiry:	24/07/2026



Permit to Use a Verge and/or Thoroughfare

Conditions of Approval for Permit No: BA324570

1. General Conditions

- a) Approved works shall only be performed between the hours of 7.00 am and 7.00 pm unless modified by approval. Refer to 'Clause 3 Specific Conditions' for any modification.
- b) Traffic management shall be implemented in accordance with the approved TMP at all times as is required during the works / activities on the thoroughfare and inspected regularly.
- c) The permit holder is to ensure no damage is caused to the thoroughfare or public infrastructure during the approved works / activities and to ensure that damage of any kind to the thoroughfare or public infrastructure present at the conclusion of the approved works / activities is reinstated to the satisfaction of the City.
- d) Footpaths shall remain open for use and shall not be closed for periods longer than identified within this approval or any associated construction management plan for the development. All closures shall be accompanied by an approved pedestrian management plan.
- e) All footpaths within the approved area shall be kept clean and free of sand/soil and be regularly swept to maintain cleanliness.
- f) Sand and/or soil materials (including cement slurry) shall not be allowed to leave the approved area. Any material that drifts onto the roadway shall be swept up and removed to ensure no material is allowed to enter the City's drainage system.
- g) Temporary fencing shall be erected around the approved area. Fencing shall be screened with suitable mesh fabric, or the like, to form a screened enclosure.
- h) If there is no footpath or the temporary fence line runs parallel with parking bays, the fencing shall be kept 1m back from the kerb line.
- i) Verge trees shall be protected from damage. Maintain a clear area of 2 metres minimum from the trunk of any trees on the verge.
- j) A visual truncation shall be provided to all crossovers, whether on this site or to adjacent sites, to permit vehicles to safely exist the driveway. Truncations shall be 1.5 along the street and 2.5 in towards the property.



- k) Safe sightlines shall be maintained for the safe passage of vehicles and pedestrians adjacent to and/or passing by the approved area.
- l) Any additional condition as required by the City of Nedlands.
- m) Take note that the City reserves the right to cancel the permit giving the Licensee 14 days written notice of its intention.

2. Things not permitted or approved

- a) This approval does not provide authority for private works / activities outside of the work zone delineated in the approved plan(s)
- b) This approval does not provide authority for hoisting activities over private property. Separate access agreements are the responsibility of the applicant and will need to be obtained with each affected landowner over which the hoisting device will operate or swing

3. Specific Conditions

- a) The Licensee shall comply with any notations marked in red on attached approved plans.

Enforcement Information

Applicable legislation for the issuance of an infringement or Notice, or prosecution for an offence for unlawful use is listed below for your information. Infringements are issued for an one off offence whilst a continued offence may result in prosecution

- Local Government (Uniform Local Provisions) Regulations 1996
- City of Nedlands Thoroughfares Local Law

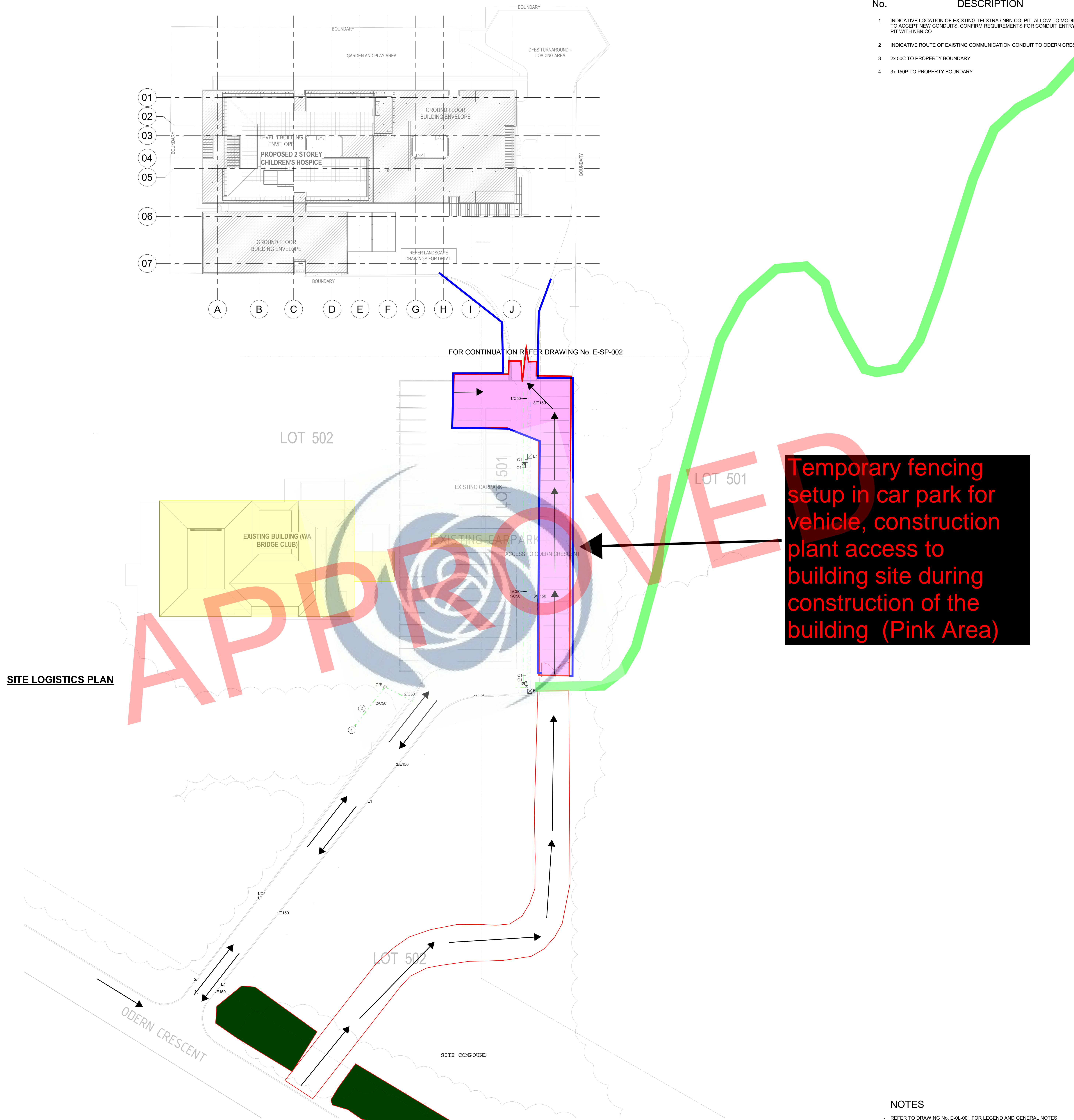
Example Offences and Potential Outcome

Using the verge or thoroughfare or part thereof without approval - Local Government (Uniform Local Provisions) Regulations 1996	\$500 Infringement
Failing to comply with conditions of a permit - Local Government (Uniform Local Provisions) Regulations 1996	Prosecution



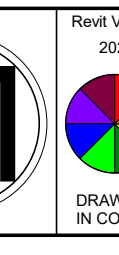


Placing anything on a verge without a permit - City of Nedlands Thoroughfares Local Law	\$100 Infringement
Installing a hoist or other thing for use over a thoroughfare without a permit - City of Nedlands Thoroughfares Local Law	\$100 Infringement
Failing to comply with conditions of a permit - City of Nedlands Thoroughfares Local Law	\$100 Infringement
Allowing sand to drift off or away from the verge - City of Nedlands Site Erosion and Sand Drift Local Law 2014	\$500 Infringement

No.	DESCRIPTION
1	INDICATIVE LOCATION OF EXISTING TELSTRA / NBN CO. PIT. ALLOW TO MODIFY PIT TO ACCEPT NEW CONDUITS. CONFIRM REQUIREMENTS FOR CONDUIT ENTRY INTO PIT WITH NBN CO
2	INDICATIVE ROUTE OF EXISTING COMMUNICATION CONDUIT TO ODERN CRESCENT
3	2x 50C TO PROPERTY BOUNDARY
4	3x 150P TO PROPERTY BOUNDARY



- REFER TO DRAWING No. E-0L-001 FOR LEGEND AND GENERAL NOTES

		<h1>Norman Disney & Young</h1>	
		A TETRA TECH COMPANY	
CONSULTING ENGINEERS 300 ST GEORGES TERRACE PERTH WA 6000 AUSTRALIA		T +61 8 9261 6800 F +61 8 9261 6888 www.ndy.com NDY Management Pty Ltd ABN 28 002 224 571	
NDY QA SYSTEM Revision Control			
TENDER			
Authorisation:		Verification: <i>GJ Loner</i> Approved:	
By: <i>JD</i> 28 MAR 2004		S/S: 28 MAR 2004	
<p>This drawing is diagrammatic and shows the general arrangement of equipment. Any information involving measurement of the works shall be taken from architectural and structural drawings, working drawings by others and conditions of the job. The works shall comply with the contract conditions and Statutory Regulations. Copyright © NDY Management Pty Limited.</p>			
Project:			
<h2>WA CHILDRENS HOSPICE</h2>			
Odeum Crescent, Swanbourne			
Title:			
<h3>ELECTRICAL SERVICES</h3>			
<h3>SITE PLAN - OVERALL</h3>			
Project No.	Drawn		Rev 2002
Design P06571-001E	BE		
Scale 1:300 @ A0	Project Commencement OCT 2002		GRASSING IN COLOUR
Drawing No.		Revision	
E-SP-001		T02	



Permit to Use a Verge and /or Thoroughfare

Local Government (Uniform Local Provisions) Regulations 1996, Reg 6

City of Nedlands Thoroughfares Local Law, Clause 7

Permit Details:

Permit No:	BA324386
Permit Holder:	West to West Group
Address:	6 Gould Street, Osborne Park WA 6017

Property Details:

Address:	Perth Children's Hospice
----------	---------------------------------

The Licensee is authorised to use the verge and/or thoroughfare as identified below and on the attached plans and limited to the attached Conditions of Approval.

Use Approved For	Duration	Area (Work Zone)
Storage of building materials	18 months	Work zone area

Approved By: Jordan McDermott – Co-ordinator Development Compliance	
Date Approved:	19/12/2024
Date of Expiry:	19/06/2026



Permit to Use a Verge and/or Thoroughfare

Conditions of Approval for Permit No: BA324386

1. General Conditions

- a) Approved works shall only be performed between the hours of 7.00 am and 7.00 pm unless modified by approval. Refer to 'Clause 3 Specific Conditions' for any modification.
- b) Traffic management shall be implemented in accordance with the approved TMP at all times as is required during the works / activities on the thoroughfare and inspected regularly.
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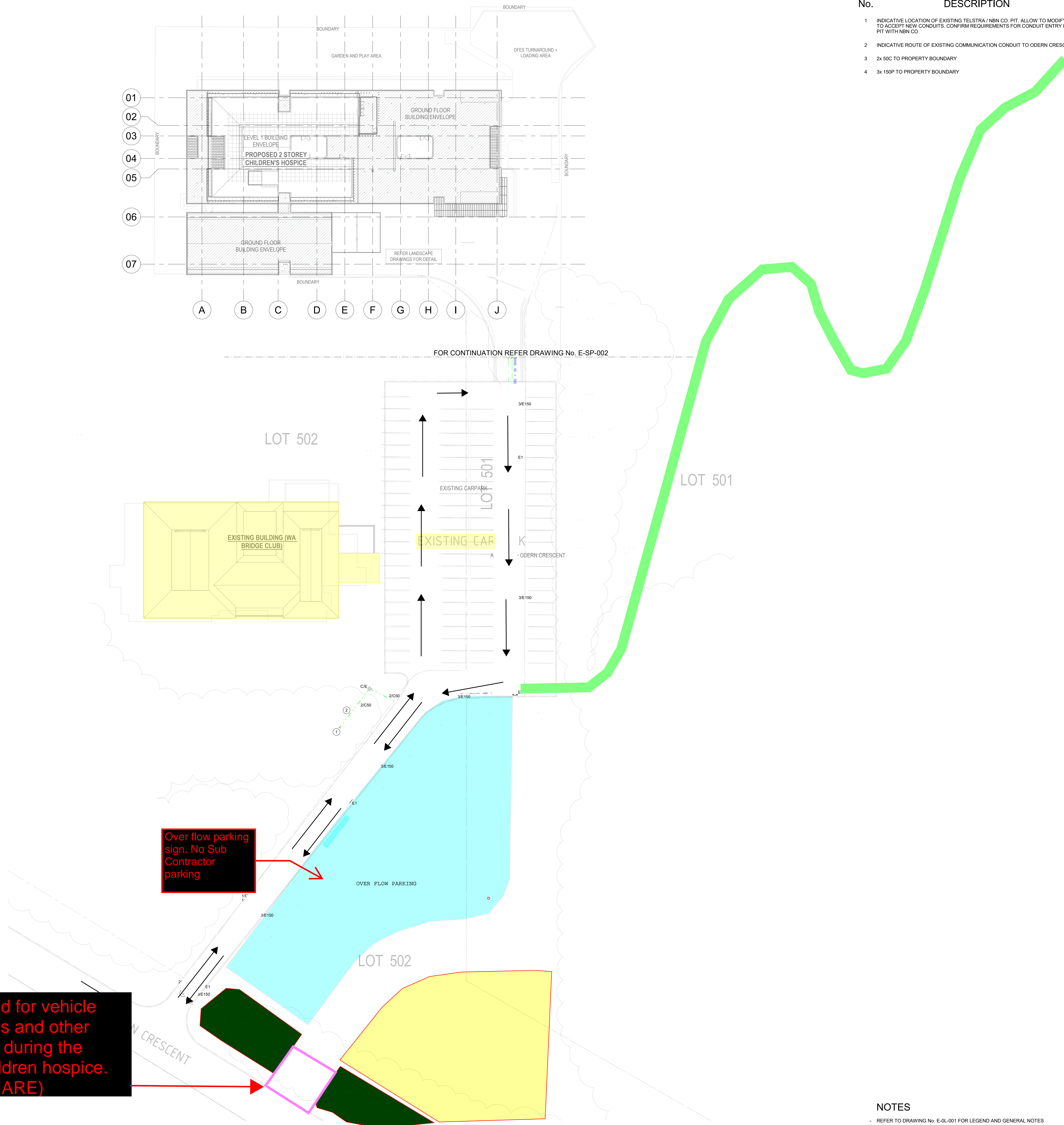
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NOTES

- REFER TO DRAWING No. E-0L-001 FOR LEGEND AND GENERAL NOTES

		Norman Disney & Young A TETRA TECH COMPANY	
		CONSULTING ENGINEERS 200 ST GEORGE'S TERRACE PERTH WA 6000 AUSTRALIA T +61 8 9281 8880 F +61 8 9281 8888 www.ndy.com.au NDY Management Pty Ltd ABN 23 002 234 511	
NDY QA SYSTEM Reason for issue:			
TENDER Authorisation:			
By JD - 28 MAR 2024		Verification Of Latest Amendment: SS- 28 MAR 2024	
This drawing is supplementary and shows the general arrangement of equipment. Any information indicating measurement of the works shall be taken from architectural and structural drawings, working drawings by others and conditions after the sale. This work shall comply with the current conditions and Statutory Regulations. Copyright © Norman Disney & Young Pty Limited.			
Project:			
WA CHILDRENS HOSPICE Oderns Crescent, Swanbourne			
Title: ELECTRICAL SERVICES SITE PLAN - OVERALL			
Project No: P0552101E		Revd Number:	
Design Manager	Drawn Office		
Date: 1 / 300 @ A0		Project Commenced: OCT. 2022	
Drawing No:		Revision:	
E-SP-001		T02	



Overflow Carpark above

Perimeter
220.07 m

Area
1,605.75 m²

Edit



Untitled placemark

Swanbourne Reserve

Horizon Yoga Swanbourne



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Address:	6 Gould St		
Contact Name:	Jason Le	Phone: 0422 079 251	
Contact Email:	Jason.le@westtowest.com.au		
Signature:		Date: 9/12/2024	

Property Details:

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Suburb:	Swanbourne		

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nedlands.wa.gov.au

Site Management Plan	The City requires that all developments have in place a traffic and pedestrian management plan to cover all instances of goods delivery, concrete pumping operations and mobile hoisting activities, or the like, that occur on or over the thoroughfare or footpath during construction.	Y
Traffic Management Plan	Depending upon site location and activities you may need to supply an accredited traffic management plan. You will be advised after submission if this is required.	

Duration and Size of Work Zone:

Period	This will determine the duration for which this approval will be valid for and the resultant work zone/verge area fee
Months (min 1, max 24)	18 months starting November 2024 – April 2026
Area of Verge Required	Existing carpark located at bottom of Swanbourne Reserve

Fees:

Application Fees	Total fee including any bonds will be confirmed after submission
Application Fee (Not refundable)	\$288.00 – Required at time of submission is applicable to commercial use of the verge i.e. construction sites
Work Zone Fee (Not refundable)	TBC – Required prior to granting of approval – Based upon area of use x duration of use x \$2.5/m ²
Infrastructure Bond (Refundable)	TBC – Required prior to granting approval – Based upon area/number of City assets within area of use.

Important Information

Indemnification – upon signing and submission of this application, the applicant undertakes to indemnify the City of Nedlands against all claims for damages, in respect of any loss, damage, death or injury caused by, or in the course of arising out of the use of the thoroughfare and the property of the City of Nedlands, during all periods when the thoroughfares are in use due to the works associated with the development.

Any damages caused during works are to be rectified to the City of Nedlands satisfaction and at the applicant's expense. The applicant is to provide evidence of any existing damage prior to commencement of works. Any existing damage not identified prior to works becomes the applicant's responsibility.

PLEASE NOTE: EXCEEDING THE WORK ZONE AREA ALLOCATED ON YOUR PERMIT MAY INCUR PENALTIES.



Overflow Carpark above

Perimeter
220.07 m

Area
1,605.75 m²

Edit

Matti

