



Locality Plan

1:1036

33 Park Road, Nedlands



City of Nedlands

D67.11 – Attachment 1
Locality Plan



Aerial Photograph

1:663

33 Park Road, Nedlands



City of Nedlands

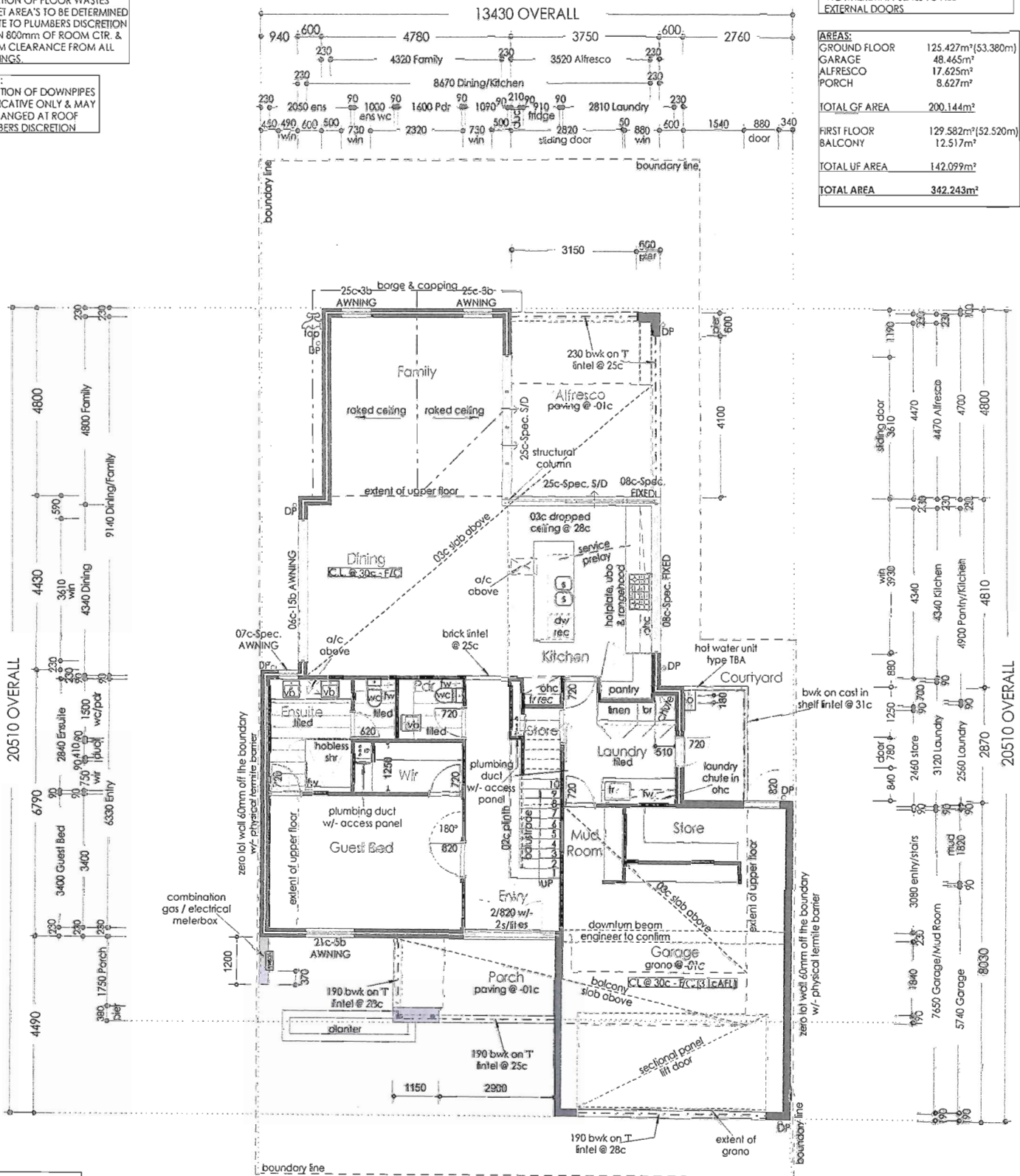
D67.11 – Attachment 2
Aerial Photograph

NOTE:
LOCATION OF FLOOR WASTES TO WET AREA'S TO BE DETERMINED ON SITE TO PLUMBERS DISCRETION WITHIN 800mm OF ROOM CIR. & W/ 1M CLEARANCE FROM ALL OPENINGS.

NOTE:
LOCATION OF DOWNPIPES IS INDICATIVE ONLY & MAY BE CHANGED AT ROOF PLUMBERS DISCRETION

NOTE:
* PROVIDE R 3.0 CEILING INSULATION TO LAUNDRY CEILING (EXCLUDING BALCONY AREA)
* WEATHERDRAFT SEALS TO ALL EXTERNAL DOORS

AREAS:	
GROUND FLOOR	125.427m ² (53.380m)
GARAGE	48.465m ²
ALFRESCO	17.625m ²
PORCH	8.627m ²
TOTAL GF AREA	200.144m²
FIRST FLOOR	129.582m ² (52.520m)
BALCONY	12.517m ²
TOTAL UF AREA	142.099m²
TOTAL AREA	342.243m²



NOTE:
230 RENDERED CAVITY BRICKWORK GENERALLY

CEILING LEVELS UNDER SUSP. SLAB @ 31c MINUS FERRING CHANNELS UNLESS NOTED OTHERWISE

Ⓢ DENOTES SMOKE DETECTOR

D67.11 – Attachment 4 Floor Plan

HAIN
33 PARK STREET
NEDLANDS
CITY OF NEDLANDS

JOB NUMBER		DRAWING NAME	
1030		GROUND FLOOR PLAN	
DATE	07/11/2011	revision description	date
SHEET	01 of 06	Rev 1 Client Alterations	24/05/2011
SCALE	1:100	Rev 2 Garage Setback	07/11/2011
REVISION	2		

Plasma check plans. Specifics on and address accordingly. All dimensions to face unless otherwise stated.

Ⓢ DENOTES SMOKE DETECTOR

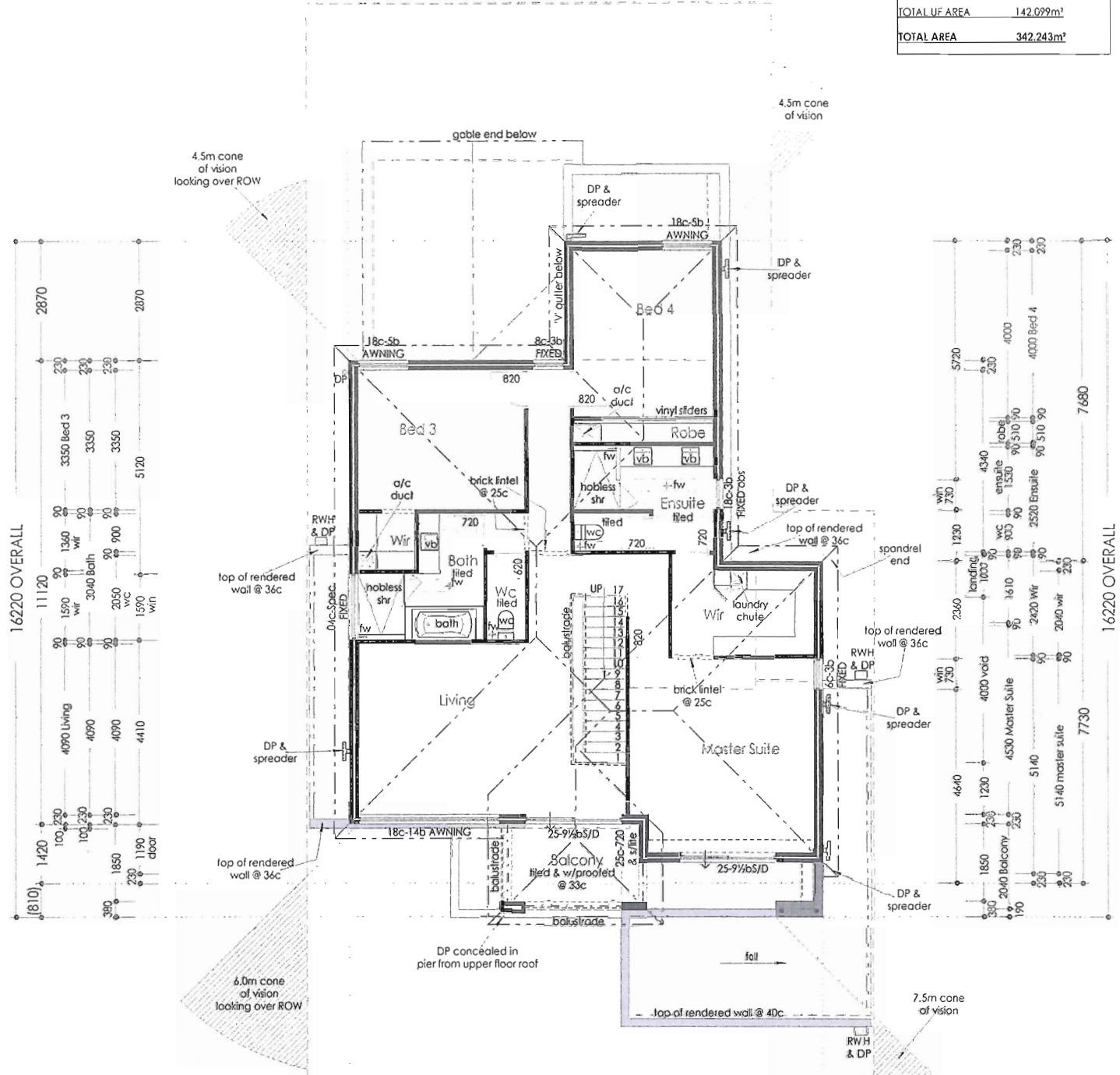
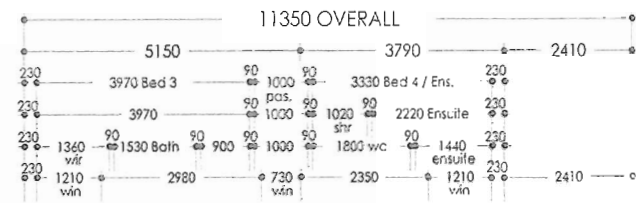
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NOTE:
LOCATION OF FLOOR WASTES TO WET AREAS TO BE DETERMINED ON SITE TO PLUMBERS DISCRETION WITHIN 800mm OF ROOM CIR. & W/- 1M CLEARANCE FROM ALL OPENINGS.

NOTE:
LOCATION OF DOWNPIPES IS INDICATIVE ONLY & MAY BE CHANGED AT ROOF PLUMBERS DISCRETION.

NOTE:
* PROVIDE R 3.0 CEILING INSULATION TO MOISTURE COLENS (INCLUDING BALCONY)
* WEATHERDRAFT SEALS TO ALL EXTERNAL DOORS

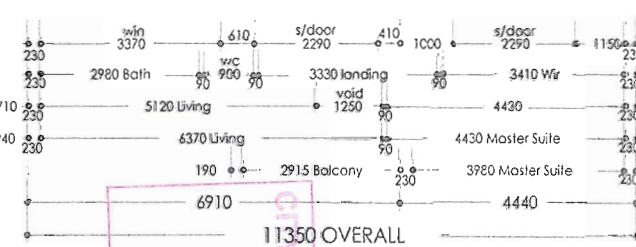
AREAS:	
GROUND FLOOR	125.427m ² (53.380m)
GARAGE	48.465m ²
ALFRESCO	17.625m ²
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TOTAL UF AREA	142.099m²
TOTAL AREA	342.243m²



NOTE:
230 RENDERED CAVITY BRICKWORK GENERALLY

CEILING LEVELS @ 31c + PLATE UNLESS NOTED OTHERWISE

Ⓢ DENOTES SMOKE DETECTOR



D67.11 – Attachment 5

South and West Elevation Plan

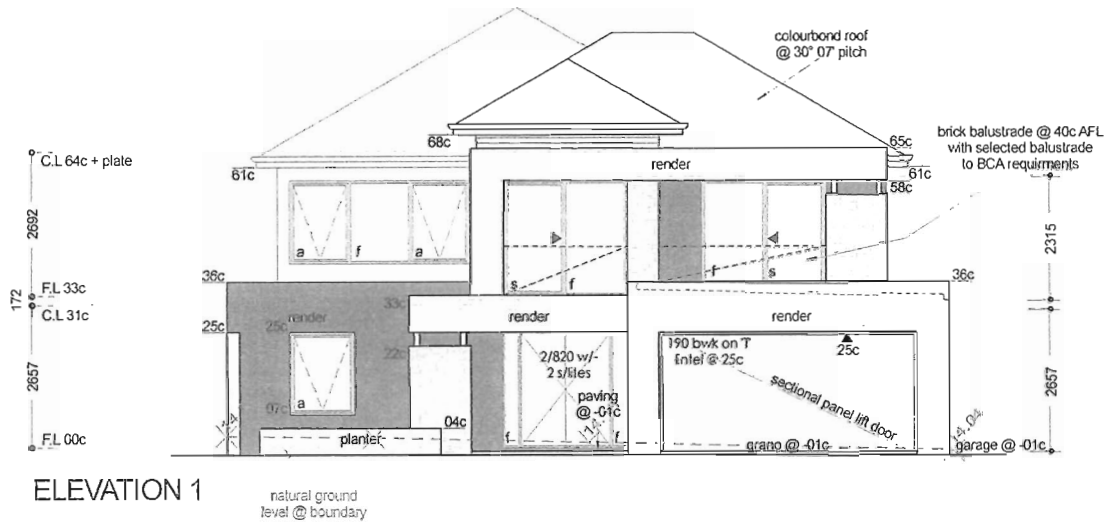
HAIN
33 PARK STREET
NEDLANDS
CITY OF NEOLANDS

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 CITY OF NEOLANDS

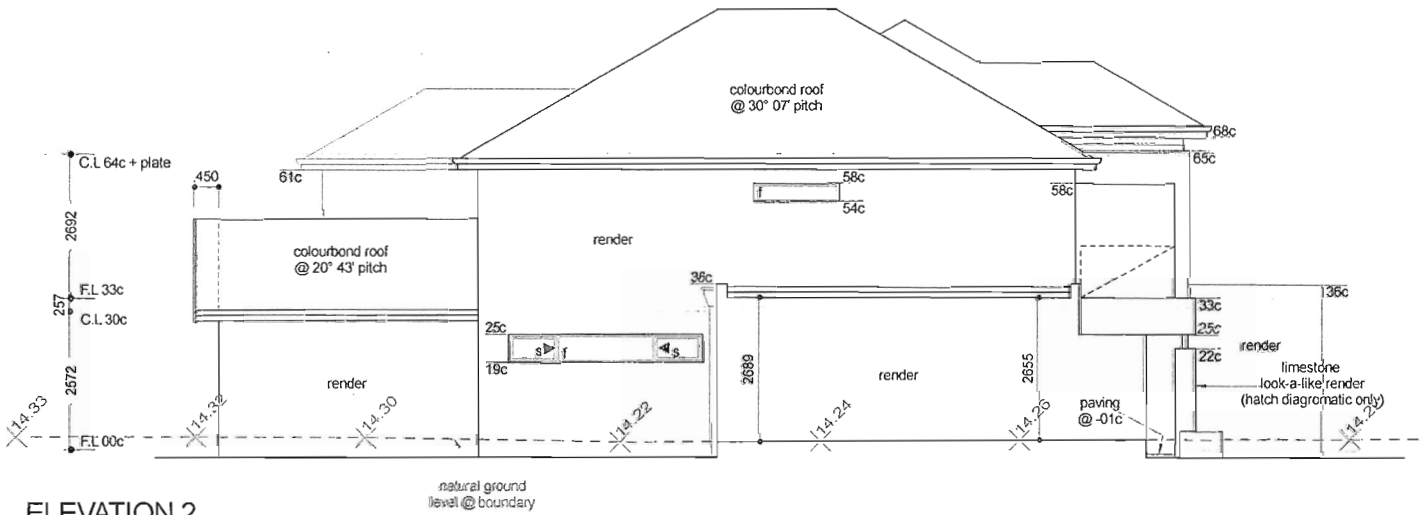
JOB NUMBER	1030	DRAWING NAME	UPPER FLOOR PLAN
DATE	07/11/2011	revision description	date
SHEET	02 of 06	Rev 1 Client Alterations	24/05/2011
SCALE	1:100	Rev 2 Garage Setback	07/11/2011
REVISION	2		

These checklists, specification and drawings are the property of HAIN CREATIONS and must not be given, lent, resold or otherwise disposed or applied without the permission of writing.

NOTE:
 2005 RENDERED SURF.
 BRICKWORK GENERALLY



ELEVATION 1



ELEVATION 2

D67.11 – Attachment 6
 North and East Elevation Plan

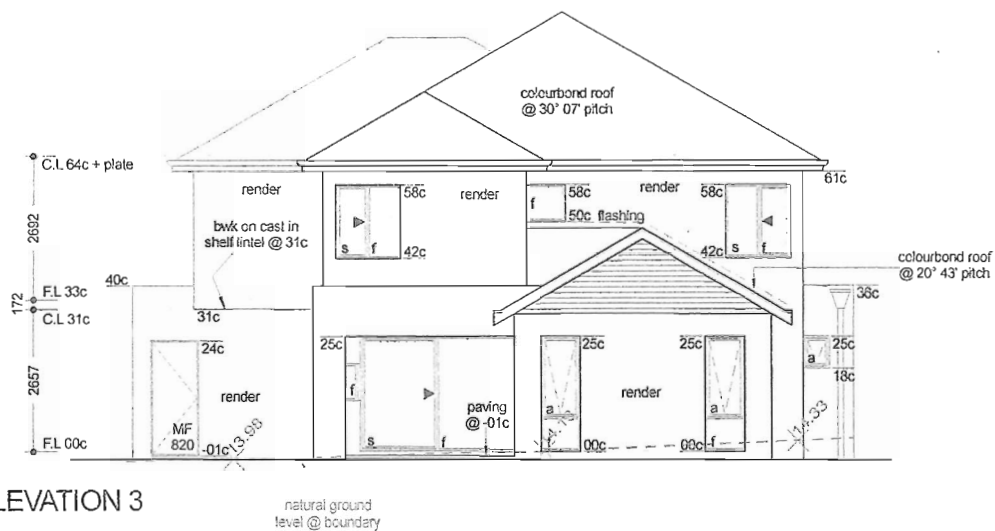
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 - 8 NOV 2011
 CITY OF NEDLANDS



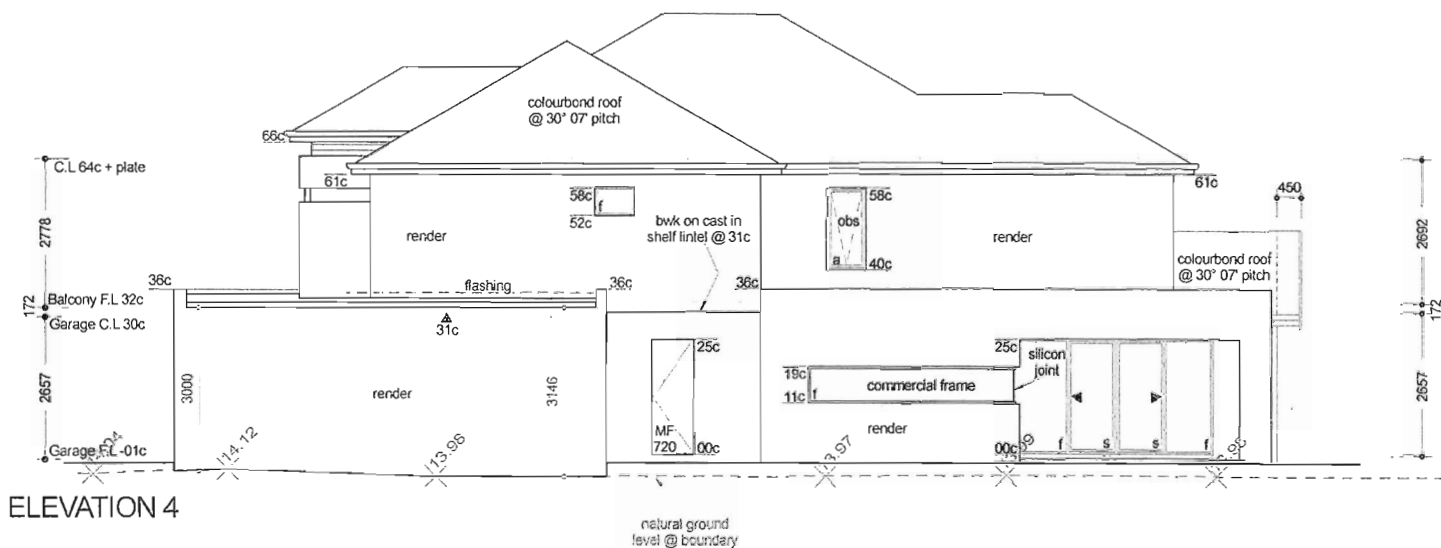
HAIN
 33 PARK STREET
 NEDLANDS
 CITY OF NEOLANDS

JOB NUMBER 1030		DRAWING NAME ELEVATIONS		Read back plan, specification and details carefully. All revisions to take preference over calling. COPYRIGHT This plan shall remain the sole property of KTR Creations and must not be given, lent, retransmitted or otherwise copied or copied without the permission of KTR Creations.
DATE	revision description	DATE		
07/11/2011	Rev 1 Client Alterations	24/05/2011		
SHEET 03 of 06	A3	Rev 2 Garage Setback	07/11/2011	
SCALE 1:100	REVISION 2			

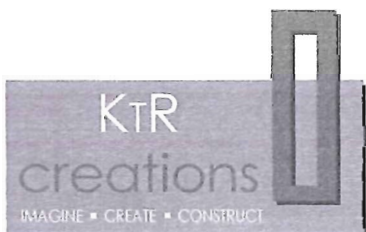
NOTE:
230 RENDERED CAVITY
BRICKWORK GENERALLY



ELEVATION 3



ELEVATION 4



HAIN
33 PARK STREET
NEDLANDS
CITY OF NEDLANDS

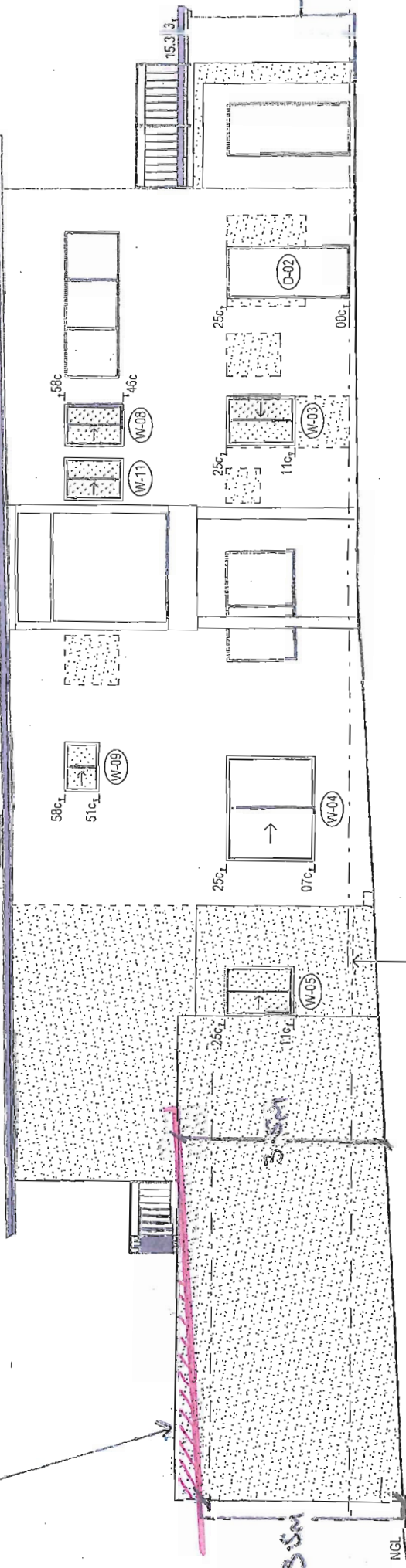
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 CITY OF NEDLANDS

JOB NUMBER 1030		DRAWING NAME		Please check plans, specifications and ordering carefully. All dimensions to take preference over scaling. COPYRIGHT This plan shall remain the sole property of KTR Creations and must not be given, lent, resold or otherwise disposed or copied without the permission in writing.
DATE 07/11/2011		revision description	date	
SHEET 04 of 06		Rev 1 Client Alterations	24/05/2011	
SCALE 1:100		Rev 2 Garage Setback	07/11/2011	
REVISION 2				

20.973

EXISTING HOUSE

Portion of wall higher than 3.05m (above NGL)



LANDING & STEPS BY OTHERS

4 North-East Elevation 1:100

D68.11 – Attachment 2
Elevation of Garage Wall Showing
Portion Higher than 3.05 m

NOTE / BEWARE:
 DUE TO LACK OF SURVEY MARKS/ PEGS ALL BUILDING OFFSET DIMENSIONS & FEATURES ARE APPROX ONLY AND POSITIONED FROM EXISTING PEGS, FENCES AND WALLS WHICH MAY NOT BE ON THE CORRECT ALIGNMENT AND ARE TO BE VERIFIED WHEN REPEGGED. ANY DESIGN THAT INVOLVES ADDITIONS TO ANY STRUCTURES SHOWN OR PORTION OF STRUCTURES REMAINING AFTER ANY DEMOLITION HAS TAKEN PLACE, BOUNDARIES MUST BE REPEGGED AND EXACT OFFSETS PROVIDED TO YOUR DESIGNER / ARCHITECT BEFORE ANY PLANS ARE PRODUCED AND BEFORE ANY WORK IS STARTED ON SITE.

NOTE: LOT MISCLOSE (0.000 m)

SOIL DESCRIPT.
 Sandy
 Brick Paving Lawn Garden
 Refer to Survey

SEC Dome
 Phone
 Conc. Path
 Conc. slabs

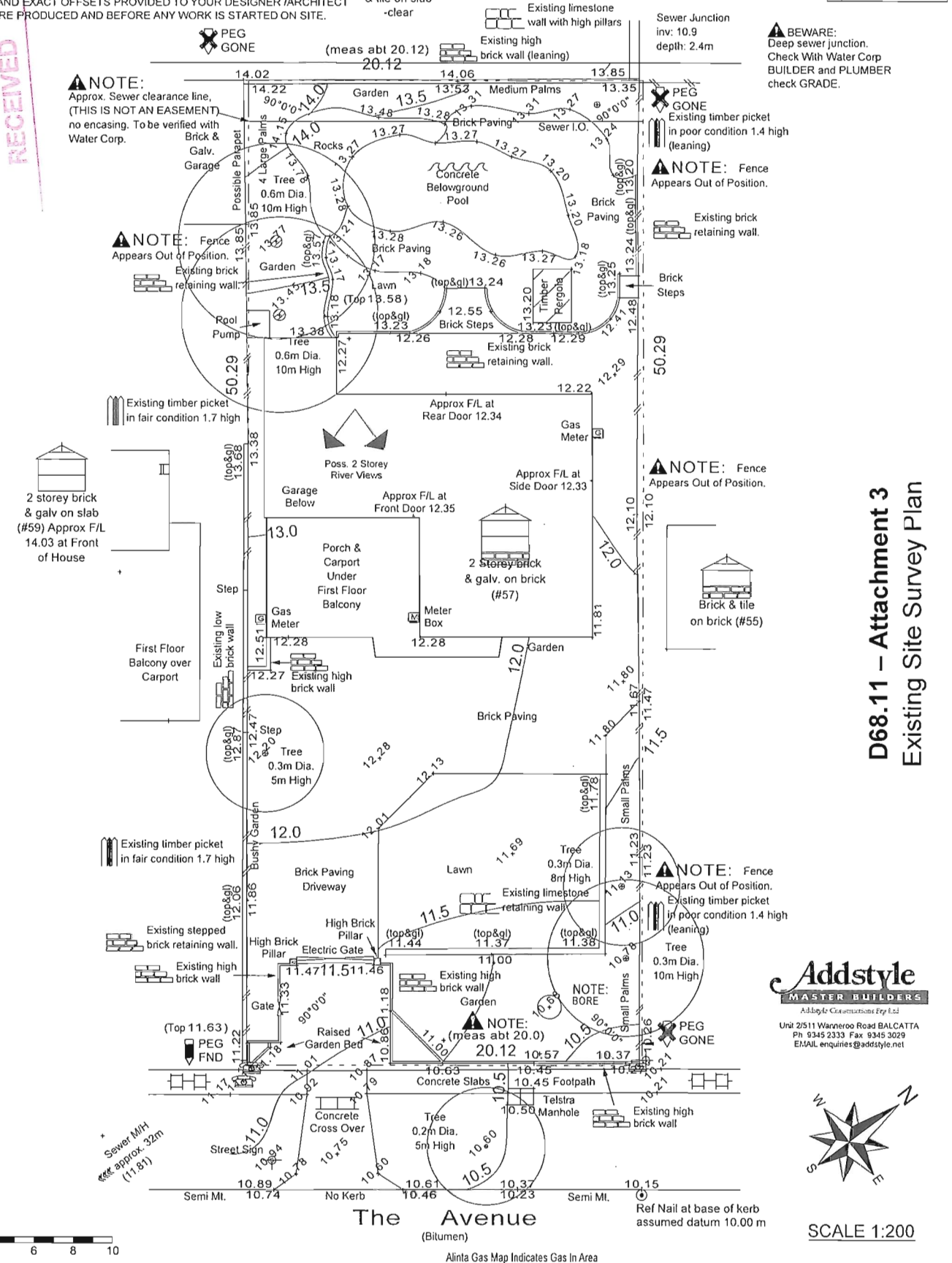
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NOTE: EARTHWORKS / SET-OUT DIMENSIONS MAY VARY ON SITE AT BUILDERS DISCRETION. SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK MINIMUM CLEARANCES. RETAINING NOT INCLUDED IN CONTRACT - REMAINS OWNERS RESPONSIBILITY. THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS OR FENCES. CHECK TITLE FOR EASEMENTS / COVENANTS ETC.

NOTE: COTTAGE & ENGINEERING SURVEYS ACCEPT NO RESPONSIBILITY FOR ANY PHYSICAL ON SITE CHANGES TO THE PARCEL OR PORTION OF THE PARCEL SHOWN ON THIS SURVEY INCLUDING ANY ADJOINING NEIGHBOURS LEVELS AND FEATURES THAT HAVE OCCURRED AFTER THE DATE ON THIS SURVEY.

NOTE: All Sewer details plotted from information supplied by Water Corporation.

Scale 1:200



D68.11 – Attachment 3
 Existing Site Survey Plan

Addstyle
 MASTER BUILDERS
 Addstyle Constructions Pty Ltd
 Unit 2/511 Wanneroo Road BALCATTA
 Ph 9345 2333 Fax 9345 3029
 EMAIL enquiries@addstyle.net



SCALE 1:200

BUILDING SITE INSPECTION REPORT SERVICE AND CONTOUR SKETCH		MSD REF 401 20/40	Road Descr. Bitumen	Services: Gas Telstra Yes
Client Foley	Date 12th October, 2006	House No. #57	Kerbing see survey	Water Yes Sewer Yes
Lot No. 751	Area 1012m ²	Street The Avenue	Condition GOOD	Electricity U/ground
Suburb Nedlands	Shire NEDLANDS	Plan 2948(5) C/T Vol. 1279 Fol. 688	Footpath Concrete Slabs	Coastal Zone NO (Scaled from SpaceSmart Boundary Only)
			Soil Sandy	Fencing and other improvements AS SHOWN
			Drainage GOOD	Special Features AS SHOWN
			Vegetation Brick Paving Lawn Garden Refer to Survey	

COTTAGE & ENGINEERING SURVEYS
 Licensed Surveyors
 219 ONSLOW ROAD, SHENTON PARK, 6008.
 Ph (08)9381 6211 Fax (08)9382 2503
 Email perth@cottage.com.au
 www.cottage.com.au

J/N: 159716 DATE: 12/10/2006 SCALE: 1:200 DRAWN: K.Jacobs

OVERHEAD POWERLINES:
 IN THE INSTANCES OF OVERHEAD POWERLINES,
 TAKE ALL NECESSARY PRECAUTIONS.

WIND CLASSIFICATION:
 IN ACCORDANCE WITH AS 4585 THIS SITE
 IS A WIND REGION OF 'H'.

GENERAL NOTES

1. ALL LEVELS, DIMENSIONS, POSITIONS AND HEIGHTS TO BE CHECKED AND VERIFIED ON SITE BEFORE COMMENCEMENT OF ANY BUILDING WORKS. CHECK SITE FILE FOR ANY VARIATION OR ALTERATION TO PLANS.
2. FIGURED DIMENSIONS ARE TO BE TAKEN AND SCALING OF DRAWINGS ALLOWED.
3. ALL ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH SPECIFICATIONS AND ALL OTHER RELEVANT DRAWINGS FROM STRUCTURAL, ELECTRICAL, HYDRAULICS AND MECHANICAL ENGINEERS.
4. ANY DISCREPANCIES TO BE REPORTED TO THE AUTHOR OF THE PLANS IMMEDIATELY.
5. REFER TO ENGINEER'S DRAWINGS FOR ALL STRUCTURAL WORKS.
6. EXTENT OF TILING SHOWN INDICATIVE ONLY. LOCATED AT TILER'S DISCRETION.
7. IN ALL CASES WHERE HEIGHTS OR DIMENSIONS ARE INDICATED, THOSE SHOULD ALL BE CONSIDERED APPROXIMATE AND MAY BE SUBJECT TO VARIATIONS DUE TO THE MATERIALS USED OR METHODS UNDERTAKEN.

REV	ITEM	DATE
A	ISSUE FOR D.A.	10/20/11
B	REV. NO. 11-01-16-2163	10/20/11
C	REVISION NO. 11-01-16-2163	10/20/11
D	REVISION NO. 11-01-16-2163	10/20/11

Addstyle
MASTER BUILDER
 Addstyle Construction Pty Ltd
 Unit 2/511 Womersley Road BALCATT,
 VIC 3093
 Email: info@addstyle.com.au
 Phone: 03 9458 1000

LEADER:	Dr Peter & Mrs Nera Foley
ADDRESS:	57 The Avenue, Nedlands
DRAWN:	J. Stawarz
CHECKED:	L. Topolovec
DATE:	28/08/2011
JOB No.:	11-01-16-2163
DWG. No.:	2
REV. No.:	B

D68.11 – Attachment 4 Proposed Site Survey

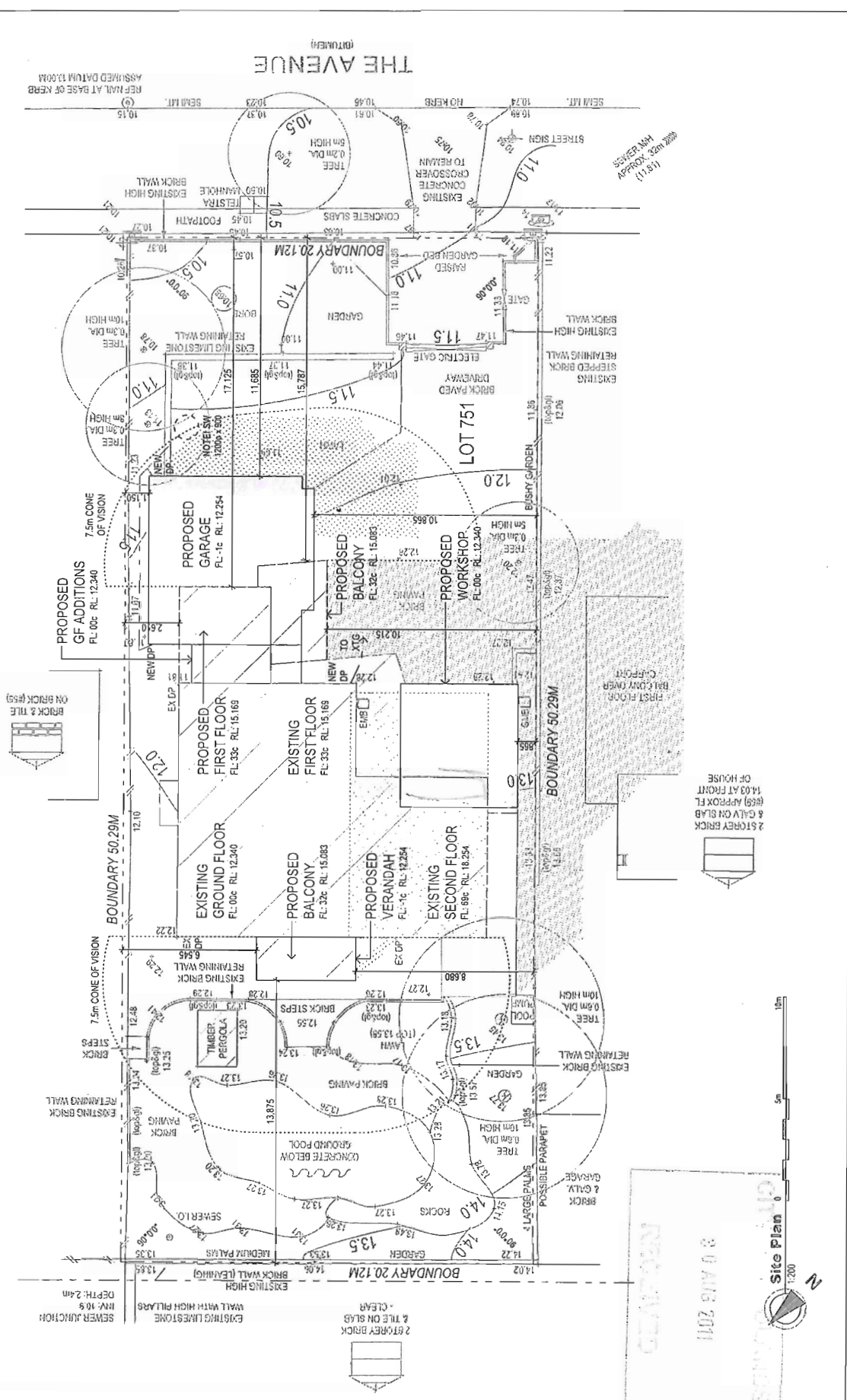
SOAKWELL CALCULATION:
 PROPOSED IMPERVIOUS AREA = 73.01m²
 VOLUME CO-EFFICIENT USED = 0.0122
 73.01m² x 0.0122 = 0.89m³ REQUIRED VOLUME
 1200mm x 900 DEEP SOAKWELL
 1 SELECTED = 1.02m³ > 0.89m³
 NOTE: NEW DOWNPIPES TO RUN INTO
 CONCRETE SOAKWELLS (POSITIONS NOMINAL)

KEY:

- EXISTING GROUND FLOOR
- EXISTING FIRST FLOOR
- EXISTING SECOND FLOOR
- PROPOSED GROUND FLOOR
- PROPOSED FIRST FLOOR
- PROPOSED SECOND FLOOR
- PROPOSED FF ADDITIONS
- PROPOSED FF ADDITIONS

SITE COVERAGE:

TOTAL SITE AREA:	1012 m ²
EXISTING GROUND:	205.82 m ²
EXISTING FIRST:	160.50 m ²
EXISTING SECOND:	80.12 m ²
PROPOSED GROUND:	392.01 m ²
PROPOSED FIRST:	181.88 m ²
PROPOSED SECOND:	80.12 m ²
EXISTING COVERAGE:	205.82 m ² - 20.4 %
PROPOSED COVERAGE:	282.91 m ² - 28.0 %
OPEN SPACE:	729.09 m ² - 72.0 %



Site Plan 0
 1:200
 11.02.2011

CITY OF NEDLANDS
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KEY:
--- DENOTES WALLS TO BE TAKEN DOWN AND REMOVED
--- DENOTES DOOR FRAME & DOOR TO BE TAKEN DOWN AND REMOVED

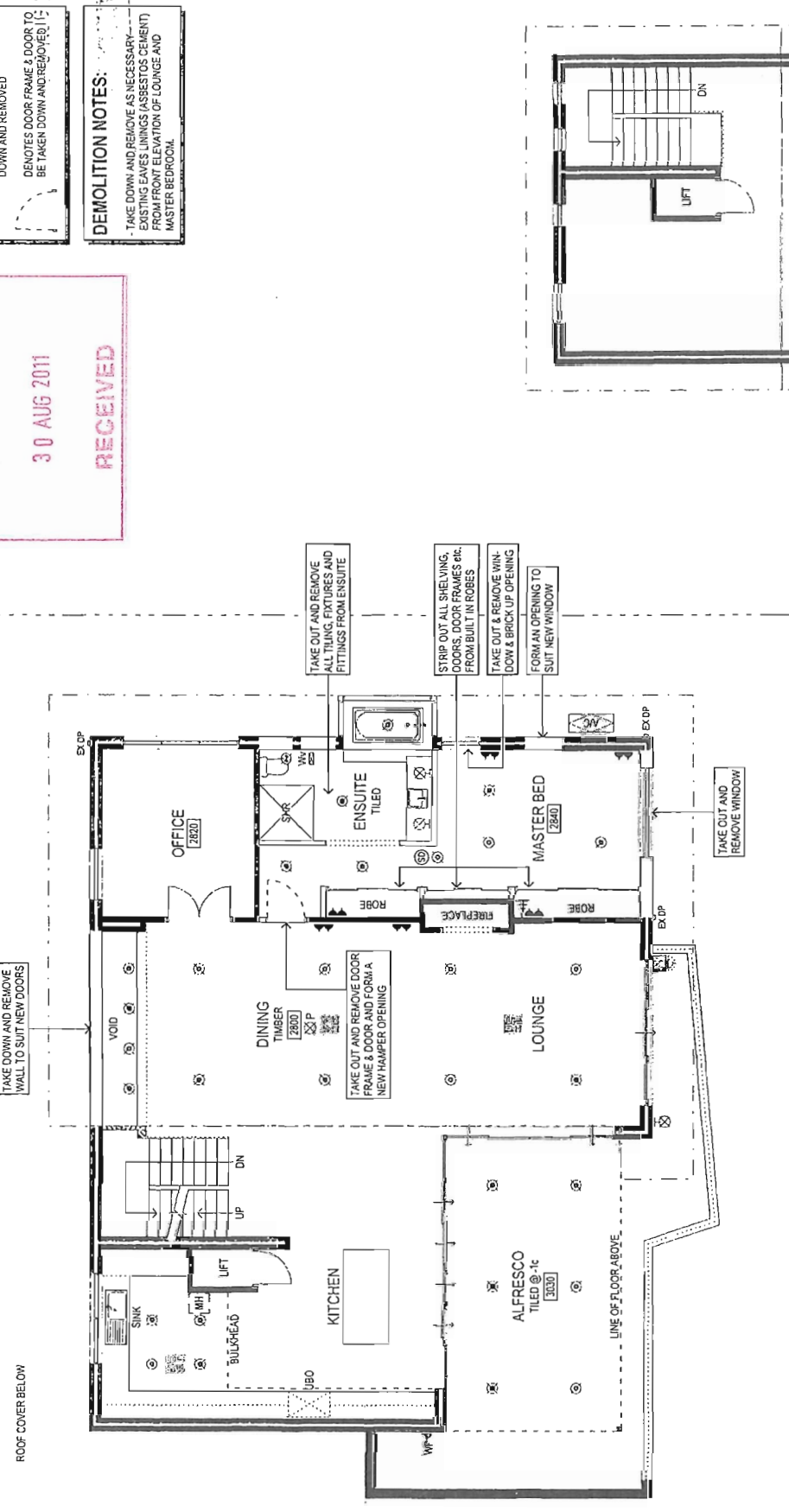
DEMOLITION NOTES:
- TAKE DOWN AND REMOVE AS NECESSARY— EXISTING EAVES LININGS (ASBESTOS CEMENT) FROM FRONT ELEVATION OF LOUNGE AND MASTER BEDROOM.

OVERHEAD POWERLINES:
CHECK INSTANCES OF OVERHEAD POWERLINES AND ALL NECESSARY PRECAUTIONS.
WIND CLASSIFICATION:
IN ACCORDANCE WITH AS 4055 THIS SITE IS A WIND REGION OF 'N'
GENERAL NOTES:
1. ALL LEVELS, DIMENSIONS, FIXINGS AND HEIGHTS TO BE CHECKED AND VERIFIED ON SITE BEFORE COMMENCEMENT OF ANY BUILDING WORKS. CHECK COMPATIBILITY FOR ANY VARIATION OR ALTERATION TO ORIGINAL DRAWINGS.
2. STRUCTURAL MEMBERS ARE TO BE TAKEN INTO ACCOUNT AS SHOWN IN DRAWINGS.
3. ALL ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH SPECIFICATIONS AND ALL OTHER RELEVANT DRAWINGS FROM STRUCTURAL, MECHANICAL, HYDRAULICS AND MECHANICAL ENGINEERS.
4. ANY DISCREPANCIES TO BE REPORTED TO THE AUTHOR OF THE PLANS IMMEDIATELY.
5. REFER TO ENGINEERS DRAWINGS FOR ALL STRUCTURAL WORKS.
6. EXTENT OF TILING SHOWN INDICATIVE ONLY. QUANTITIES AT TILER'S DISCRETION.
7. IN ALL CASES WHERE HEIGHTS OR DIMENSIONS ARE INDICATED, THESE SHOULD ALL BE CONSIDERED APPROXIMATE AND MAY BE SUBJECT TO VARIATIONS DUE TO THE MATERIALS USED OR METHODS UNDERTAKEN.

REV	ITEM	DATE
A	ISSUE FOR D.A.	05/04/11
B	REV. NO. ATTACHED ON CLIPD UP HT	05/07/11
C	VARIATION NO. 1 S RT. NO. (AS)	26/02/11

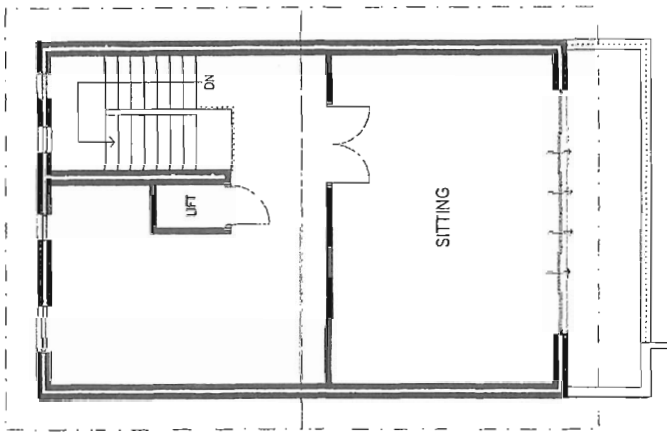
Addstyle
MASTER BUILDERS
Addstyle Construction Pty Ltd
Unit 22511 Warreroo Road BALCATTA
SA 5090
TEL: 08 8362 1000
EMAIL: enquiries@addstyle.net.au
POWERED BY: 100% RENEWABLE

CLIENT	Dr Peter & Mrs Nora Foley
ADDRESS	57 The Avenue, Nedlands
DRAWN	J. Sawaraz
CHECKED	L. Togliapoo
DESIGNER	L. Togliapoo
DATE	29/08/2011
JOB. NO.	11-016-2163
DWG. NO.	4
REV.	B



EXISTING - First Floor Plan
1:100
0 1m 5m

NOTE: SCOPE OF PROPOSED WORKS DOES NOT INCLUDE EXISTING SECOND FLOOR PLAN



EXISTING - Second Floor Plan
1:100

D68.11 – Attachment 6
Existing First and Second Floor Plan

BOUNDARY 50.29M

OVERHEAD POWERLINES:
IN THE INSTANCE OF OVERHEAD POWERLINES TAKE ALL NECESSARY PRECAUTIONS.

WIND CLASSIFICATION:
IN ACCORDANCE WITH AS 4055 THIS SITE IS A WIND REGION OF 'H'.

GENERAL NOTES:

1. ALL LEVELS, DIMENSIONS, POSITIONS AND HEIGHTS TO BE CHECKED AND VERIFIED ON SITE BEFORE COMMENCEMENT OF ANY BUILDING WORKS. CHECK SITE FILE FOR ANY VARIATION OR ALTERNATE TO THE PLANS.
2. FIGURED DIMENSIONS ARE TO BE TAKEN FROM SOUTHWEST CORNER OF DRAWINGS UNLESS OTHERWISE SPECIFIED.
3. ALL ARCHITECTURAL DRAWINGS TO BE REFERRED TO IN CONJUNCTION WITH SPECIFICATIONS AND ALL OTHER RELEVANT DRAWINGS FROM STRUCTURAL, ELECTRICAL, HYDRAULICS AND MECHANICAL ENGINEERS.
4. ANY DISCREPANCIES TO BE REPORTED TO THE AUTHOR OF THE PLANS IMMEDIATELY.
5. REFER TO ENGINEERS DRAWINGS FOR ALL STRUCTURAL WORKS.
6. EXTENT OF TILING SHOWN INDICATIVE ONLY. MOUNTED AT TILERS DISCRETION.
7. IN ALL CASES WHERE HEIGHTS OR DIMENSIONS ARE NOMINATED, THOSE SHOULD ALL BE CONSIDERED APPROXIMATE AND MAY BE SUBJECT TO VARIATIONS DUE TO THE MATERIALS USED OR METHODS UNDERTAKEN.

Electrical Legend - Ground Floor

No.	Symbol	Description
2	2-ws	2 Way switch
7	⊗	Ceiling - batten holder
1	⊗	Exhaust fan w/ seal
3	⊗	Wall mounted exhaust fan
2	⊗	Floor - 40W single
5	⊗	GPO x 1 - Noted HI AFFL
6	⊗	GPO x 2 - Benchtop-200
7	⊗	GPO x 2 - FL-200
1	⊗	GPO x 2 - Noted HI AFFL
1	⊗	Smoke detector - Head vated
9	⊗	Wall - batten holder

ELECTRICAL NOTE:
POSITION OF ELECTRICS INDICATIVE ONLY. ELECTRICIAN TO DETERMINE FINAL POSITION OF ELECTRICS ON SITE.

NEW AREAS OF PROPOSED ADDITION:

BATHROOM 1	5.02 m ²
BATHROOM 2	4.99 m ²
BATHROOM 3	47.00 m ²
DOUBLE GARAGE	10.74 m ²
KITCHEN 2	12.64 m ²
STORE	10.24 m ²
VERANDAH	29.77 m ²
PLANT ROOM/STORAGE	125.39 m ²

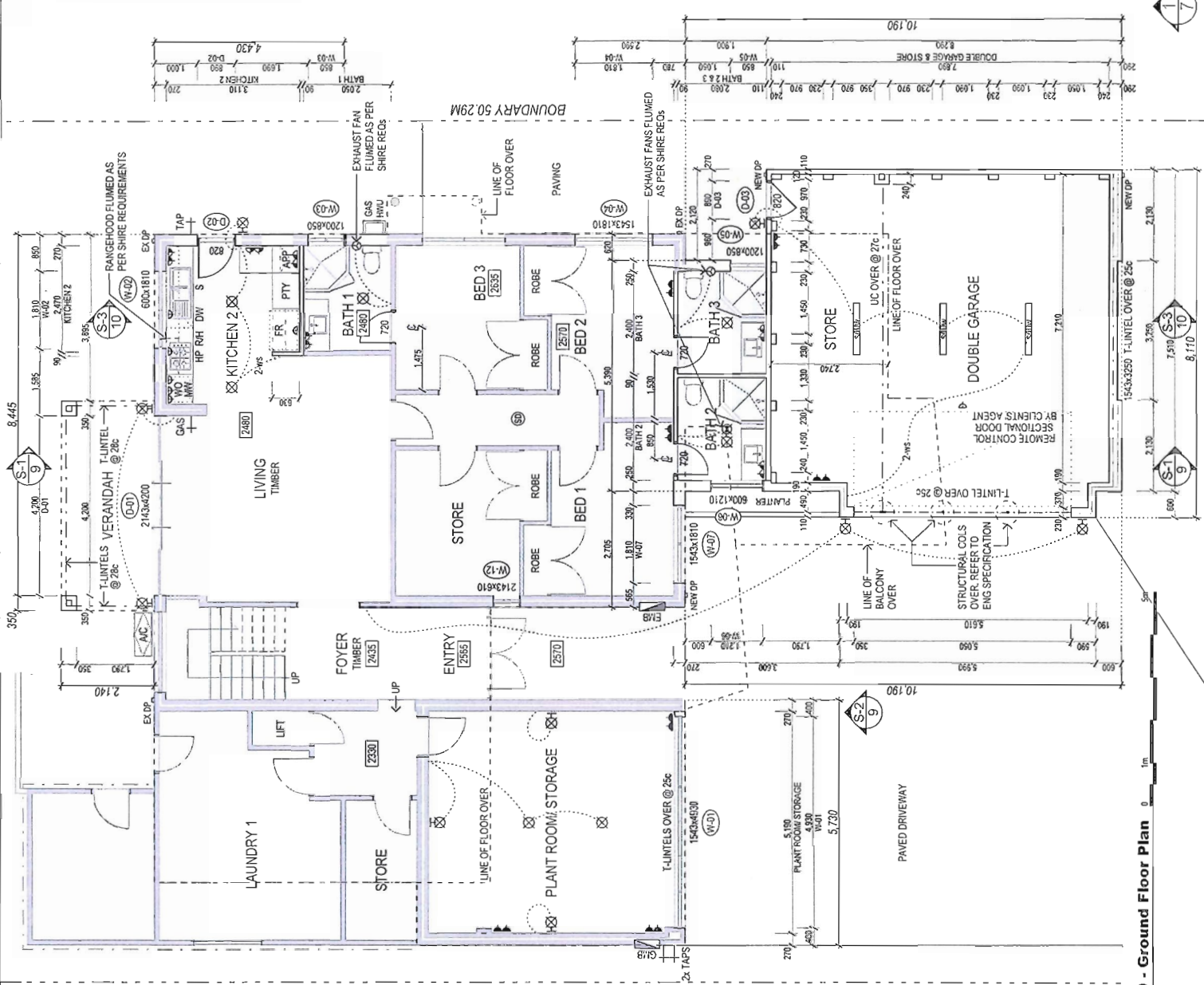
TOTAL PROPOSED FLOOR AREA: 125.39 m²

NOTE: AREAS OF ROOMS MEASURED TO INTERNAL FACE OF WALLS.

CITY OF NEDLANDS

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D68.11 – Attachment 7
Proposed Ground Floor Plan

Addstyle
MASTER BUILDERS
Addstyle Constructions Pty Ltd
Unit 2/511 Wanneroo Road BALCA WA
Ph 9345 2333 Fax 9345 3029
EMAIL enquiries@addstyle.net
OWNER SUBJECT TO COMPLETION

CLIENT:
Dr Peter & Mrs Nora Foley

ADDRESS:
57 The Avenue,
Nedlands

DESIGNER:
L. Topajce

CHECKED:
L. Topajce

DRAWN:
J. Stawarz

DATE:
7/11/2011

JOB NO:
11-016-2163

DWG NO:
5

REV. NO:
C

CITY OF NEDLANDS
30 AUG 2011
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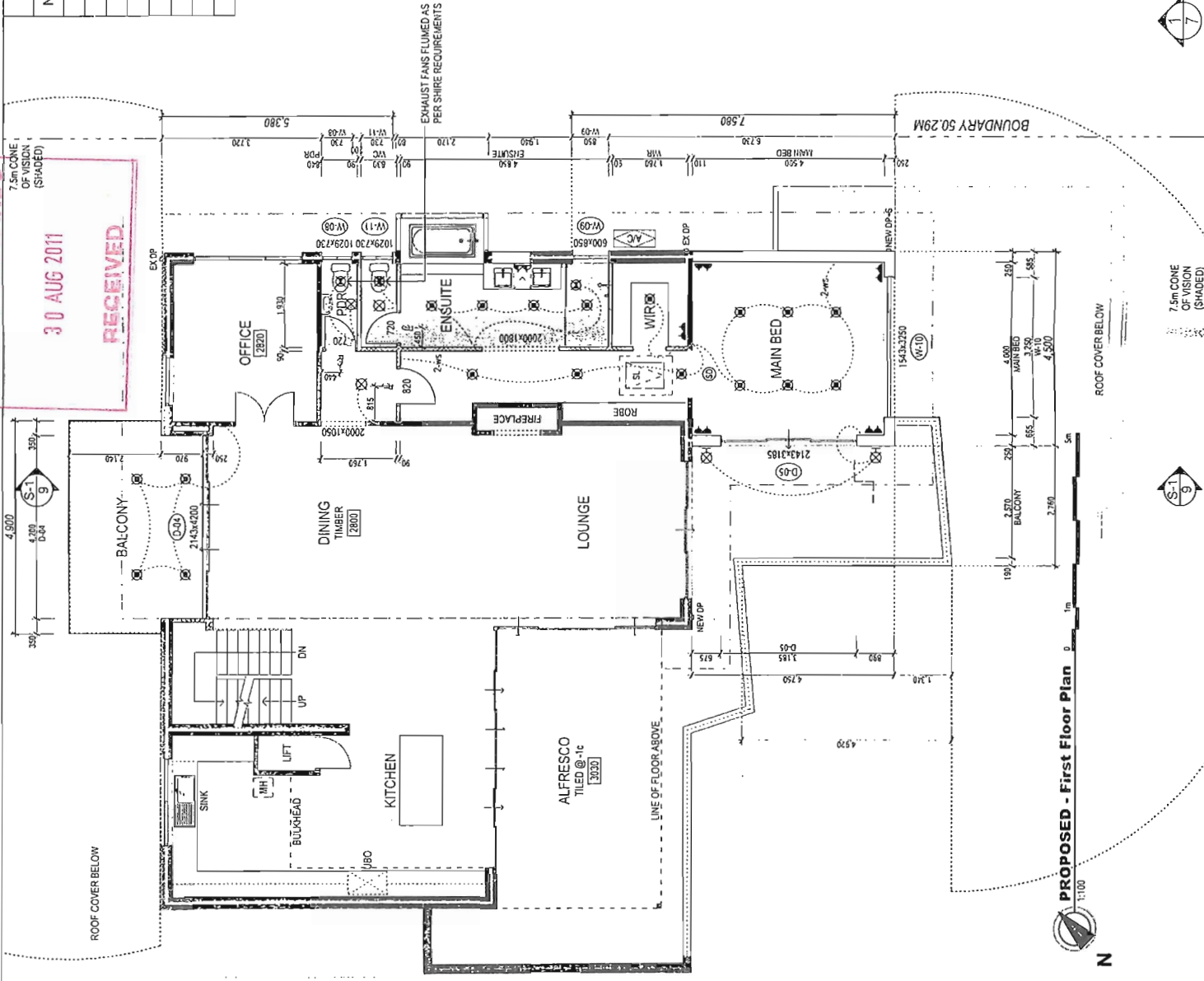
Electrical Legend - First Floor

No.	Symbol	Description
2	2-ws	2 Way switch
3	⊗	Ceiling - batten holder
18	⊗	Ceiling - recessed batten holder
3	⊗	Exhaust fan visual
1	⊗	GPO x 2 - Blotchop-200
5	⊗	GPO x 2 - FL-200
1	⊗	Smoke detector - Hard wired
2	⊗	Wall - batten holder

NEW AREAS OF PROPOSED ADDITION:

BALCONY (FRONT)	14.28 m ²
BALCONY (REAR)	14.55 m ²
ENSUITE	11.14 m ²
MAIN BEDROOM	18.00 m ²
POWDER ROOM	1.52 m ²
WIR	3.44 m ²
TOTAL PROPOSED FLOOR AREA:	63.94 m²

NOTE: AREAS OF ROOMS MEASURED TO INTERNAL FACE OF WALLS.



PROPOSED - First Floor Plan
 1:100

OVERHEAD POWERLINES:
 IN THE INSTANCE OF OVERHEAD POWERLINES TAKE ALL NECESSARY PRECAUTIONS.

WIND CLASSIFICATION:
 IN ACCORDANCE WITH AS 4583 THIS SITE IS CLASSIFIED AS...

GENERAL NOTES:

1. ALL LEVELS, DIMENSIONS, POSITIONS AND HEIGHTS TO BE CHECKED BY THE CLIENT PRIOR TO ANY BUILDING WORKS COMMENCING.
2. SITE FILE FOR ANY VARIATIONS OR ALTERATIONS TO BE MAINTAINED.
3. FIGURED DIMENSIONS ARE TO BE TAKEN TO CENTRE OF DIMENSIONS UNLESS OTHERWISE SPECIFIED.
4. ALL STRUCTURAL DRAWINGS TO BE REFERRED TO IN CONJUNCTION WITH SPECIFICATIONS AND ALL OTHER RELEVANT DRAWINGS FROM STRUCTURAL, ELECTRICAL, MECHANICAL AND MECHANICAL ENGINEERS.
5. ANY DISCREPANCIES TO BE REPORTED TO THE AUTHOR OF THE PLANS IMMEDIATELY.
6. REFER TO ENGINEERS DRAWINGS FOR ALL STRUCTURAL WORKS.
7. EXTENT OF FINISHES INDICATED ON KEY PLAN AT ALL TIMES.
8. IN ALL CASES THESE HEIGHTS OR DIMENSIONS ARE NOMINATED. THOSE SHOULD ALL BE CONSIDERED APPROXIMATE AND MAY BE SUBJECT TO VARIATIONS DUE TO THE MATERIALS USED OR METHODS UNDERTAKEN.

REV	DATE	BY	DESCRIPTION
1	25/08/2011	J.S.	ISSUE FOR B.S.
2	25/08/2011	J.S.	ISSUE FOR B.S.
3	25/08/2011	J.S.	ISSUE FOR B.S.
4	25/08/2011	J.S.	ISSUE FOR B.S.
5	25/08/2011	J.S.	ISSUE FOR B.S.
6	25/08/2011	J.S.	ISSUE FOR B.S.
7	25/08/2011	J.S.	ISSUE FOR B.S.
8	25/08/2011	J.S.	ISSUE FOR B.S.
9	25/08/2011	J.S.	ISSUE FOR B.S.
10	25/08/2011	J.S.	ISSUE FOR B.S.
11	25/08/2011	J.S.	ISSUE FOR B.S.
12	25/08/2011	J.S.	ISSUE FOR B.S.
13	25/08/2011	J.S.	ISSUE FOR B.S.
14	25/08/2011	J.S.	ISSUE FOR B.S.
15	25/08/2011	J.S.	ISSUE FOR B.S.
16	25/08/2011	J.S.	ISSUE FOR B.S.
17	25/08/2011	J.S.	ISSUE FOR B.S.
18	25/08/2011	J.S.	ISSUE FOR B.S.
19	25/08/2011	J.S.	ISSUE FOR B.S.
20	25/08/2011	J.S.	ISSUE FOR B.S.
21	25/08/2011	J.S.	ISSUE FOR B.S.
22	25/08/2011	J.S.	ISSUE FOR B.S.
23	25/08/2011	J.S.	ISSUE FOR B.S.
24	25/08/2011	J.S.	ISSUE FOR B.S.
25	25/08/2011	J.S.	ISSUE FOR B.S.
26	25/08/2011	J.S.	ISSUE FOR B.S.
27	25/08/2011	J.S.	ISSUE FOR B.S.
28	25/08/2011	J.S.	ISSUE FOR B.S.
29	25/08/2011	J.S.	ISSUE FOR B.S.
30	25/08/2011	J.S.	ISSUE FOR B.S.

Addstyle
 MASTER BUILDERS
 Addstyle Construction Pty Ltd
 Unit 2/11 Wanneroo Road Balcatta
 Perth WA 6009
 Email: enquiries@addstyle.com.au
 Phone: 9432 1020

CLIENT:
 Dr Peter & Mrs Vera Foley

ADDRESS:
 57 The Avenue,
 Nedlands

DRAWN:
 J. Stewart

CHECKED:
 L. Topley

DESIGNER:
 L. Topley

DATE:
 25/08/2011

JOB No:
 11-016-2163

DWG No:
 6

REV. No:
 1

D68.11 – Attachment 8
Proposed First Floor Plan

OVERHEAD POWERLINES:
 IN THE INSTANCE OF OVERHEAD POWERLINES
 TAKE ALL NECESSARY PRECAUTIONS.

WIND CLASSIFICATION:
 ALL STRUCTURES TO BE CONSIDERED AS A WIND CATEGORY 'B'.

GENERAL NOTES:

1. ALL LEVELS, DIMENSIONS, POSITIONS AND HEIGHTS TO BE CHECKED AND REFERRED ON SITE BEFORE COMMENCEMENT OF ANY BUILDING WORKS. CHECK SITE FILE FOR ANY VARIATION OR ALTERATION TO PLANS.
2. FINISHED DIMENSIONS ARE TO BE TAKEN TO SCALING OF DRAWINGS ALLOWED.
3. ALL ARCHITECTURAL DRAWINGS TO BE READ IN CONJUNCTION WITH SPECIFICATIONS AND ALL OTHER RELEVANT DRAWINGS FROM STRUCTURAL, ELECTRICAL, HYDRAULICS AND MECHANICAL ENGINEERS.
4. ANY DISCREPANCIES TO BE REPORTED TO THE AUTHOR OF THE PLANS IMMEDIATELY.
5. REFER TO ENGINEERS DRAWINGS FOR ALL STRUCTURAL WORKS.
6. EXTENT OF TILING KNOWN INDICATIVE ONLY.
7. IN ALL CASES, WHERE HEIGHTS OR DIMENSIONS ARE INDICATED, THESE SHALL BE TAKEN AS THE MOST FAVORABLE APPROXIMATE AND NOT BE SUBJECT TO VARIATIONS DUE TO THE MATERIALS USED OR METHODS UNDERTAKEN.

REV	ITEM	DATE
A	ISSUED FOR D.A. FOR APPROVAL	01/08/2011
B	FOR ATTACHMENT TO DEVELOPMENT APPLICATION (NO. 13/01/10/15)	08/08/2011

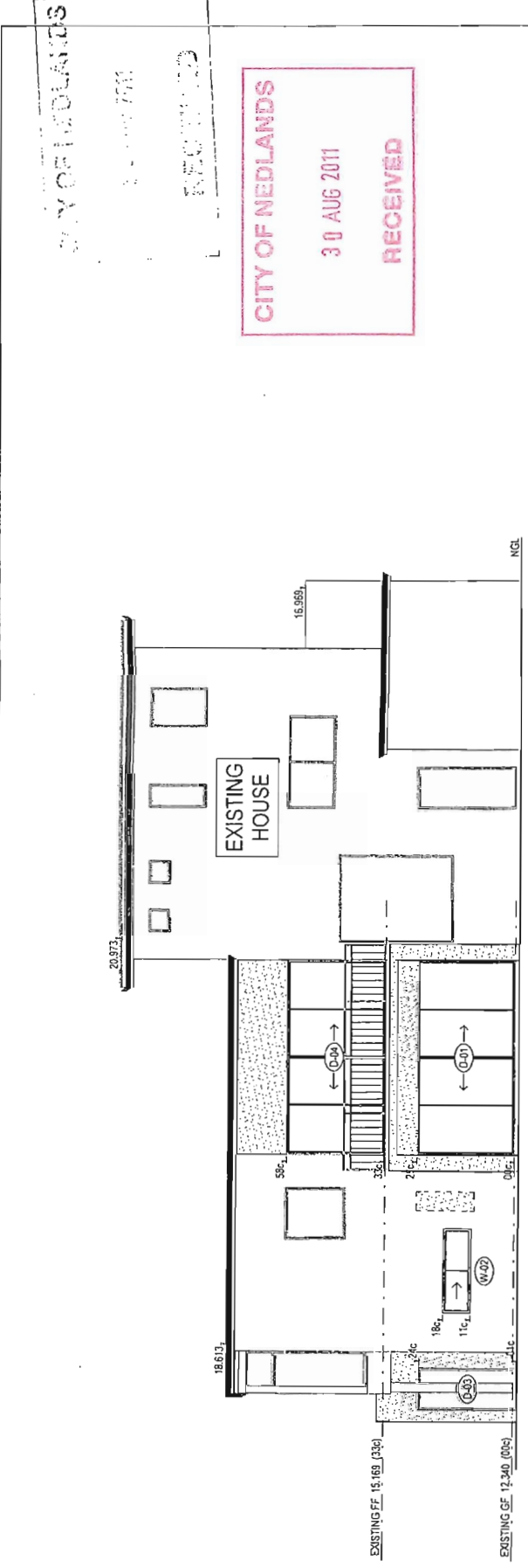
Addstyle
MASTER BUILDER
 Addstyle Construction Pty. Ltd.
 Unit 20/11 Wannanora Road BALCATTA
 Ph: 9345 2333 Fax: 9345 3029
 EMAIL: enquiries@addstyle.net
 OWNERS TAKEST TO CONTRACT

CLIENT:
 Dr Peter & Mrs Nora Foley

ADDRESS:
 57 The Avenue,
 Nedlands

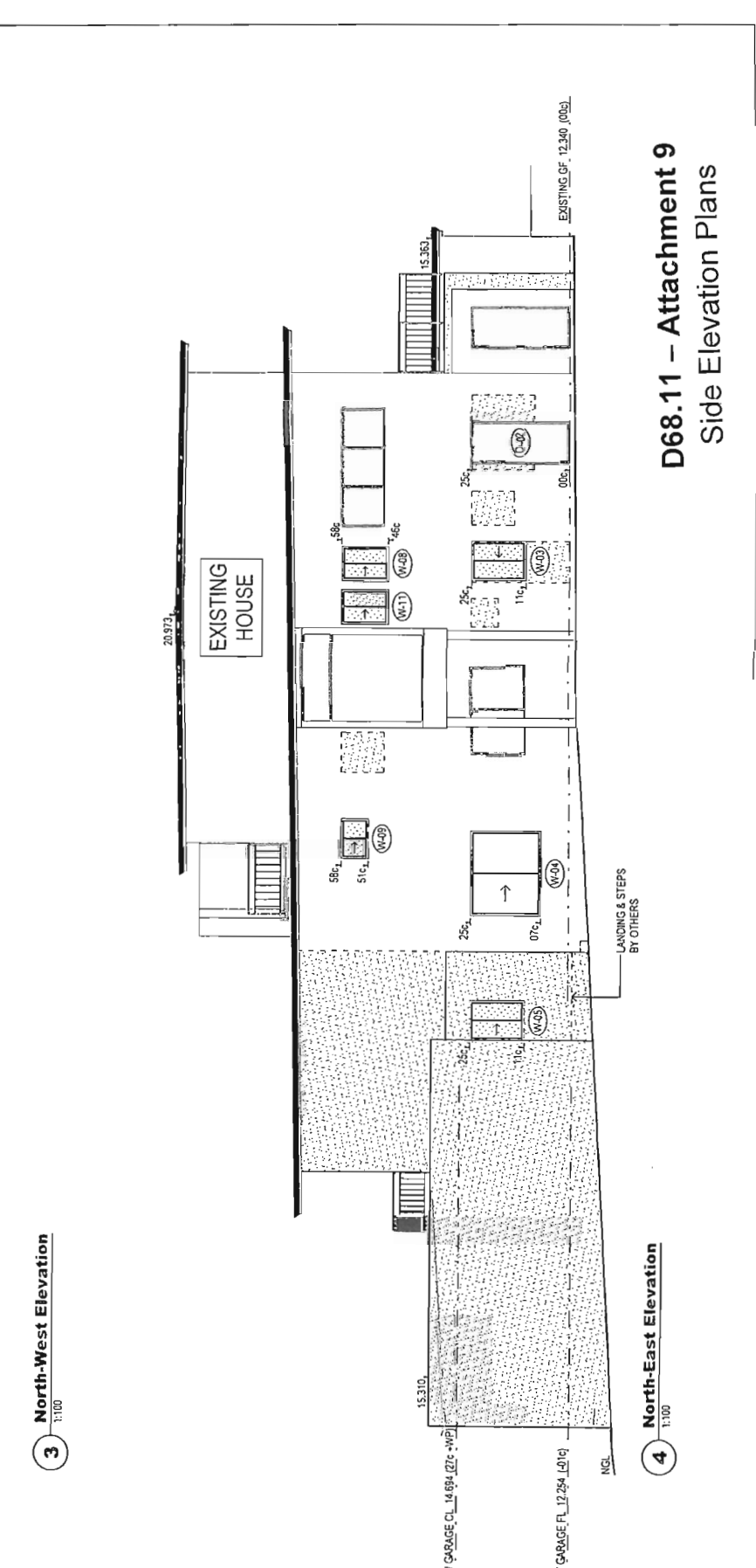
DRAWN: L. Tugliano
CHECKED: L. Tugliano
DESIGNER: L. Tugliano

DATE: 29/08/2011
JOB No.: 11-016-2163
DWG. No.: 8
REV. No.: B



3 North-West Elevation
 1:100

20.973
 18.613
 15.989
 15.383
 15.310
 2.440



4 North-East Elevation
 1:100

20.973
 15.383
 15.310
 2.440

CITY OF NEDLANDS
 11-016-2163
 30 AUG 2011
 RECEIVED

D68.11 – Attachment 9
Side Elevation Plans

CITY OF NEDLANDS
7 NOV 2011
RECEIVED

OVERHEAD POWERLINES:
 IN THE INSTANCE OF OVERHEAD POWERLINES TAKE ALL NECESSARY PRECAUTIONS.

WIND CLASSIFICATION:
 IN ACCORDANCE WITH AS 4555 THIS SITE IS A WIND REGION OF '1'.

GENERAL NOTES

1. ALL LEVELS, DIMENSIONS, POSITIONS AND HEIGHTS TO BE CHECKED AND VERIFIED ON SITE BEFORE COMMENCEMENT OF ANY BUILDING WORK. CHECK SITE FILE FOR ANY VARIATION OR ALTERATION TO PLANS.
2. FIGURED DIMENSIONS ARE TO BE TAKEN TO SCALING OF DRAWINGS ALLOWED.
3. ALL ARCHITECTURAL DRAWINGS TO BE IN CONFORMANCE WITH SPECIFICATIONS AND ALL OTHER RELEVANT DRAWINGS FROM STRUCTURAL, ELECTRICAL, HYDRAULICS AND MECHANICAL ENGINEERS.
4. ANY DISCREPANCIES TO BE REPORTED TO THE AUTHOR OF THE PLANS IMMEDIATELY.
5. REFER TO ENGINEERS DRAWINGS FOR ALL STRUCTURAL WORKS.
6. EXTENT OF TILING SHOWN INDICATIVE ONLY.
7. IN ALL CASES WHERE HEIGHTS OR DIMENSIONS ARE INDICATED, THESE SHOULD ALL BE CONSIDERED APPROXIMATE AND MAY BE SUBJECT TO VARIATIONS DUE TO THE MATERIALS USED OR METHODS UNDERTAKEN.

REV	ITEM	DATE
A	ISSUE FOR D.A.	05/07/2011
B	REVISED TO ACCORD WITH CUP/DIP	05/07/2011
C	VARIATIONS TO INT. VO. US	20/08/2011
D	ISSUE FOR ALL ENGINEERING WORK	04/10/2011
E	REVISED ROOM WALL	21/10/2011

Addstyle
MASTER BUILDERS
 Addstyle Construction Pty Ltd
 Unit 2/511 Waterloo Road BAYLA, TA
 Ph 9345 2322 Fax 9345 3029
 EMAIL: enquiries@addstyle.net
 LICENSED SUBJECT TO CPD/CPDR

Dr Peter & Mrs Nora Foley

ADDRESS:
 57 The Avenue,
 Nedlands

DESIGNER
 L. Topolapoo

CHECKED
 L. Topolapoo

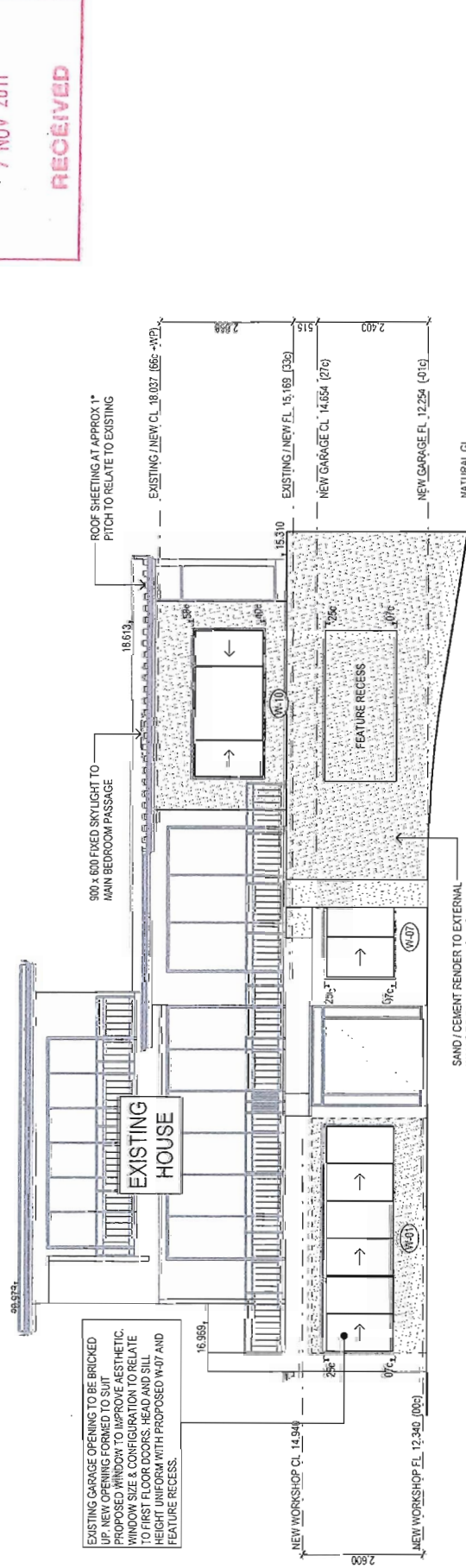
DATE: 7/11/2011

JOB No: 11-016-2163

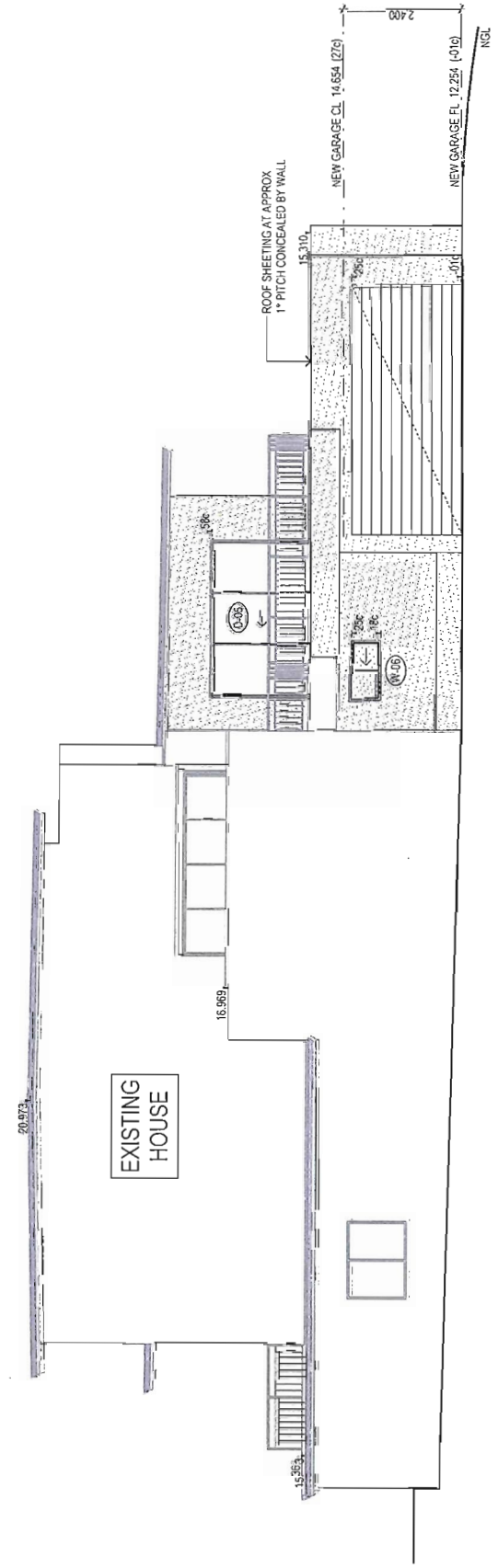
DATE: 7/11/2011

REV. No: 7

REV. No: C



1 South-East Elevation
 1:100



2 South-West Elevation
 1:100

D68.11 – Attachment 10
Front and Rear Elevation Plans

Local Planning Policy: Setback and Building on the Boundary in Low Density Zones (R10 & R12.5)

KFA	KFA 3: Built Environment
Status	Council
Responsible division	Development Services
Objective	To define additional performance criteria for applications where discretion is applied for in regards to rear and side setbacks in low density residential zones (R10 & R12.5), in order to preserve the open and spacious character of the City and protect the residential amenity of the surrounding neighbourhood.

Context

In regards to side and rear setbacks for residential development in low density zones application may be determined against Performance Criteria using the Council's discretion.

The Residential Design Codes

The acceptable development provisions of the Residential Design Codes (RCodes) outline the required rear and side setbacks for R10 and R12.5 properties in Clause 6.3.1 and Clause 6.3.2.

Walls built up to the boundary are only permitted as acceptable development in these zones if the wall on the boundary abuts another wall on the boundary of similar or greater dimensions.

Development that complies with the acceptable development criteria is deemed to comply with the Performance Criteria. Any development that does not comply with the Acceptable Development provisions is to be considered against the Performance Criteria.

Amenity of Low Density Areas

The setbacks between dwellings are characteristics of low density zonings and contribute to the amenity of these localities within the City.

The purpose of the side and rear setbacks in low density residential zones is to:

- provide for a separation between buildings;
- provide a setting for the dwelling;

D69.11 – Attachment 1

Draft Setback and Buildings on the
Boundary in Low Density Zones
(R10 & R12.5)

- enable access to direct sunlight and ventilation;
- provide visual relief from the built form within streetscape;
- ameliorate building bulk; and
- provide for landscaping.

In order to preserve this amenity, this policy will add additional Clauses to the Performance Criteria of Clause 6.31 and Clause 6.3.2 of the RCodes. This will provide Council with further assistance when considering applications that do not comply with the acceptable development provisions to achieve the objectives of this policy and the Town Planning Scheme No. 2 (TPS2).

Definitions

RCodes

State Planning Policy 3.1 Residential Design Codes (Variation 1) 2010.

Setback

The horizontal distance between a wall at any point and an adjacent boundary, measured at right angles (90 degrees to the boundary).

Buildings on the Boundary

Means either on the boundary or between the boundary and the setback provided by table 1, tables 2a and 2b, figures 2a – 2e, and figure 3.

Statement

When assessing Development Applications under Clause 6.3.1 of the RCodes, the following additional Performance Criteria are to be used in the recommendation and determination.

6.3.1

Buildings setback from the Boundary

P1 Buildings setback from the boundaries other than street boundaries so as to:

- contribute to the desired streetscape.
- assist in contributing to the open and spacious character of the locality.
- Assist in providing a landscaped setting for the building.
- Assist in the protection of mature trees.

When assessing the Developments Applications under Clause 6.3.2 of the RCodes, the following additional Performance Criteria are to be used in the recommendation and determination.

6.3.2

Buildings setback from the Boundary

P2 Buildings up to the boundaries other than the street boundary where it is desirable to do so in order to:

- contributed to the desired streetscape.
- maintain a sense of open space between buildings.
- assist in contributing to the open and spacious character of the locality.
- assist in providing a landscaped setting for the building.
- assist in the protection of mature trees.

Related documentation

Nil

Related Local Law/legislation

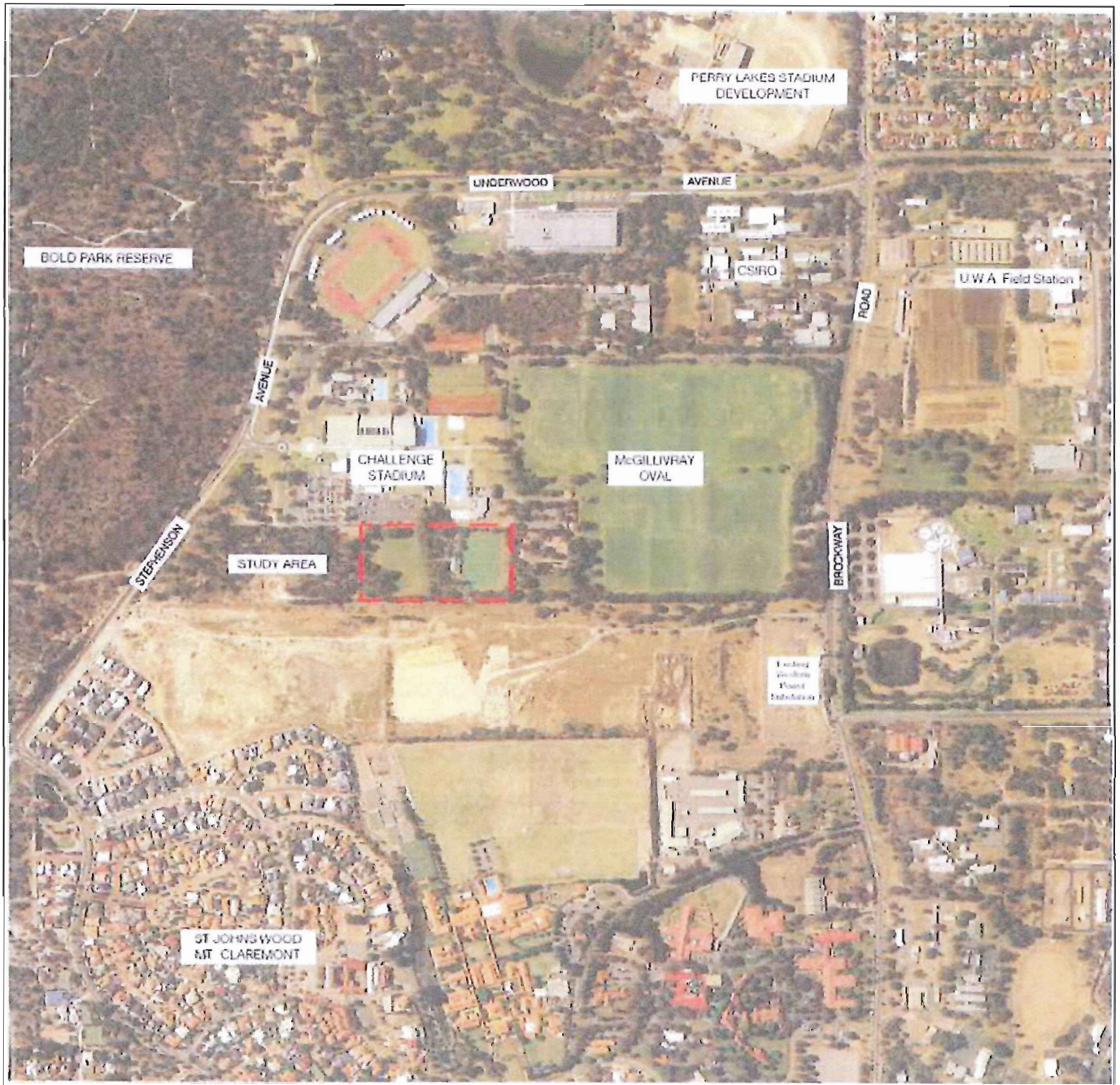
- City of Nedlands Town Planning Scheme No. 2 (TPS2)
- Residential Design Codes 2010 (RCodes)

Related delegation

- 6A Town Planning Scheme No .2 (TPS2) - Approval and Refusal of Planning Applications

Issued

TBC



Lot 2103 Brockway Road, Mt Claremont – Proposed Limited Outline Development Plan for the University of Western Australia Sports Hockey Precinct

D70.11 – Attachment 1
Aerial Photograph



D71.11 – Attachment 1
Site Plan

History	
19 August 1994	Swanbourne Hospital Conservation Area is include on the Heritage Council of Western Australia's Register of Heritage Places.
15 April 1999	Included into the City's Municipal Inventory.
8 November 2005	Town Planning Scheme Amendment No. 158 which Introduces Clause 5.15 into the Scheme (Old Swanbourne Hospital Precinct) is gazette, including reference to the Taylor Burrell Barnett Plan which at that stage had been accepted by Council following extensive public consultation.
5 September 2006	Receipt of Application for Planning Approval and ODP.
15 September 2006	Receipt of Heritage Report.
21 September 2006	City refers proposal to Heritage Council.
17 October 2006	Receipt of \$2000-00 fee for ODP.
21 November 2006	Comment received from Heritage Council officer via The Planning Group.
12 December 2006	Council resolved to allow the application to be advertised subject to a number of amendments to the plan.
January 2007	The applicant lodged an application for review to the State Administrative Tribunal, requesting that the Tribunal to determine that the proposal could be advertised without the changes resolved by Council.
February 2007 to April 2007	The matter was listed to mediation and 3 separate sessions.
23 April 2007	Receipt of revised Outline Development Plan, incorporating aspects agreed to during mediation.
8 May 2007	Council considered a confidential report and resolved to adopt tot recommendation contained within the report subject to the outline of the flats/units in the centre of the development being made more visible on the elevations and the courtyard dimensions being include in the documentation.
9 June 2007	The applicant provides a revised table to show the differences between the Taylor Burrell Plan and the proposed Outline Development Plan.
27 June 2007	Revised table proposed by the applicant was consider at a council meeting and was not adopted.
4 July 2007	Email from Applicant's Legal Counsel advising that the revised table complied with Councillor input was acceptable.
6 July 2007	Minor changes being made by the applicant and Councillor to achieve final outcome.
10 July 2007	Council considered a confidential report and resolved to adopt a revised wording of the table showing the differences between the Taylor Burrell Plan and the proposed development plan subject to the deletion of the words "a few" and 'These aspects are detailed below" in the preamble to the table.
26 July 2007	The Outline Development Plan was referred to the Western Australian Planning Commission for permission to advertise..

D71.11 – Attachment 2
History of Developments on Site

20 December 2007	Letter from Western Australian Planning Commission advising that the Outline Development Plan referred in July 2007 shall not be advertised, as it does not provide for adequate Public Open Space. According to the WAPC the minimum area required for POS is 1.056 ha plus 10 % of all land being subdivided for residential purposes, resulting in an overall requirement of 11759.5 m ² for Public Open Space. However the WAPC agrees to revised Outline Development Plan showing and area of 11840 m ² set aside as "Crown Reserve for Recreation and Public Right of Way to be vested in the City of Nedlands".
February 2008	The City objected to Circular Road being included into the area of Public Open Space, and the Commission agreed to an area of 11279 m ² for Public Open Space.
28 May 2008	Council resolved not to proceed with the Outline Development Plan.
8 July 2008	Applicant makes an application to SAT to review the City's decision.
20 November 2008	The following SAT decision is made: <i>"on the application heard before Senior Member David Parry, Member James Jordan and Senior Sectional Member Rebecca Moore on 4,5 and 6 November 2008 ordered that:</i> <ol style="list-style-type: none"> 1. <i>The application for review is dismissed.</i> 2. <i>The decision of the respondent made on 27 May 2008 not to proceed with the Outline Development Plan submitted by TPG Consultants dated 11 February 2008 in accordance with cl 3.8.7 of City of Nedlands Town Planning Scheme No. 2 is affirmed.</i>
5 May 2009	Revised Outline Development Plan submitted.
16 June 2009	City advises applicant of list of outstanding information.
August 2009	WAPC approval of subdivision applications for the northern and southern wing (WAPC 131108 and WAPC 131109).
21 May 2009	Revised Outline Development Plan submitted which address the queries raised in June 2009 and changed circumstances since the subdivision approvals.
24 August 2010	Council considered the revised Outline Development Plan and support the proposal in principle for consultation purposes subject to amendments to bring the proposal in line with the 2005 Development Plan.
1 September 2010	Council decision is referred to WAPC for consent to advertise.
8 February 2011	WAPC considers the proposal and recommends that a revised proposal which represents a compromise between the applicant's proposal and the City's amendments is advertised for public comment.
March 2011	Public consultation undertaken by City of Nedlands .
May 2011	ODP considered by Council.
July 2011	ODP considered by WAPC (SPC decision).
19 October 2011	Subdivision application to subdivide area with heritage buildings into three lots.

D71.11 – Attachment 3

Proposed Subdivision and Supporting information

Our Ref: 712-110

14 October 2011



TOWN PLANNING
AND URBAN DESIGN

The Secretary
Western Australian Planning Commission
Albert Facey House
469 Wellington Street
PERTH WA 6000

Dear Sir

PROPOSED SUBDIVISION OF PROPOSED LOT 416 ST JOHNS WOOD BOULEVARD, MOUNT CLAREMONT

Please find enclosed an application for subdivision of the above site consisting of:

- Eight copies of the plan of subdivision and supporting planning report;
- A completed Form 1A;
- A copy of the Certificate of Title; and
- A cheque in favour of the Commission for \$1,638.00.

Introduction

The application for subdivision has been prepared by TPG Town Planning and Urban Design (TPG) and commissioned by Watersun Property on behalf of the Swanbourne Estate Development Pty Ltd for the subdivision of the above mentioned property.

Subject Land

The subject site is located in Mount Claremont within the City of Nedlands. It is it is bound by Lot 415 St Johns Wood Boulevard (reserve for recreation and right of way) to the west, Abbey Gardens, Lots 403, 404, 405, 406 Johnston Rest and Lot 520 The Marlows to the north, Heritage Lane to the east and Lot 167 Heritage Lane, Lots 407, 408 and 409 Hills Mews, Lot 18 St Johns Wood Boulevard and Lot 10 Hills Mews to the south.

The site is situated to the west of John XXIII College, approximately 0.5 kilometres south of Challenge Stadium and approximately 2.5 kilometres north of Claremont town centre.

REFER TO FIGURE 1: SITE PLAN
REFER TO FIGURE 2: AERIAL

DEPARTMENT OF PLANNING	
DATE	FILE
19 OCT 2011	145074

The subject site comprises of a single lot totalling 2.48 hectares. The particulars of the site's Certificate of Title are as follows:

Lot	Street	Volume/Folio	Deposited Plan	Land Area	Landowner
12040	St Johns Wood Boulevard	2121/149	75983	2.48ha	The Swanbourne Estate Development Pty Ltd

PERTH OFFICE

Level 7, 182 St Georges Tce
Perth Western Australia 6000

PO Box 7375 Cloisters Square
Perth Western Australia 6850

Telephone +61 8 9289 8300
Facsimile +61 8 9321 4786
www.tpgwa.com.au

The Planning Group WA Pty Ltd
ABN 36 097 273 222

A copy of the Certificate of Title is contained in Appendix A.

The process to subdivide the site to remove the northern and southern portions is currently being undertaken, and has been approved by the WAPC subject to conditions. This subdivision will result in the creation of Lot 416, which is the subject of this subdivision application (and shall be referred to as the subject site from this point onwards).

The subject site is currently unused and comprises the Former Swanbourne Hospital (the hospital), which is located in the centre of the subject site and consists of an administration building, Montgomery Hall and the main hospital building (including kitchen, scullery, north block residences and south block residences), all of which have not been operational since 1987 and as a result have been subject to significant vandalism.

Proposed Subdivision

This application for subdivision is in accordance with the relevant statutory requirements and is being undertaken to facilitate the redevelopment of the hospital for community, commercial and residential purposes. The redevelopment of the site will restore the heritage buildings within the conservation precinct (see below) and enable their historic and aesthetic values to be once again enjoyed.

The subdivision will result in the administration building, main hospital building and Montgomery Hall being located on individual lots to enable redevelopment to be undertaken in a staged manner.

Lot 1 is proposed to be 3,327 in area and will contain Montgomery Hall. It is proposed that the hall will be redeveloped for a private community use such as café, meeting rooms, museum or theatre in accordance with the Outline Development Plan.

Lot 2 is proposed to be 5,632 in area and will contain the main hospital buildings, which is proposed to be redeveloped for residential purposes in accordance with the Outline Development Plan.

Lot 3 is proposed to be 7,830m² in area and will contain the administration building and forecourt area. It is proposed that the building will be redeveloped for the purpose of a medical centre or similar office/consulting use in accordance with the Outline Development Plan.

It is proposed that each of these redevelopment projects will be vested in separate entities and hence it is necessary to subdivide the subject site. It would not be appropriate for a single strata body to manage the community, residential and commercial components, which would create an overly complex system that can easily be mitigated by the proposed subdivision.

A plan of the proposed subdivision is contained in Appendix B.

DEPARTMENT OF PLANNING	
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Planning Framework

State Heritage Register and the City of Nedlands Municipal Heritage Inventory

The 'Former Swanbourne Hospital' is listed on the City of Nedlands Municipal Heritage Inventory as a Category A, which indicates that it is:

'Worthy of the highest level of protection: recommended for entry into the State Register of Heritage Places which gives legal protection; (some places in this category are already on the State Register of Heritage places); development requires consultation with the Heritage Council of WA and the local government; provide maximum encouragement to the owner under the City of Nedlands Town Planning Scheme to conserve the significance of the place. Incentives to promote heritage conservation should be considered.'

The site (precinct) and the above mentioned buildings are also listed on the Stage Heritage Register (sites 2666, 2667 and 3228). A Conservation Plan has been prepared and was considered during the preparation of the Outline Development Plan.

City of Nedlands Town Planning Scheme No. 2

Planning for the site is subject to the provisions of the City of Nedlands Town Planning Scheme No. 2. The subject site is zoned 'Development', and clause 3.8.2 of the Scheme requires an Outline Development Plan (ODP) to be prepared.

Clause 5.15 of the Scheme identifies the site as the 'Old Swanbourne Hospital Precinct', and states that 'prior to Council considering any application for subdivision and/or development on the site, a suitable and sustainable low-key adaptive re-use for Montgomery Hall shall be identified'. Council shall also require subdivision and development to be generally in accordance with Development Plan No. 03/16/12A, dated July 2005 and Local Planning Policy: Old Swanbourne Hospital Precinct.

An ODP is to be prepared in consultation with the Heritage Council, and submitted to the Council for endorsement, in accordance with clause 8.2 of the Scheme. A revised Conservation Plan and Heritage Assessment must also be completed to the satisfaction of the Heritage Council. 'Any application for subdivision and/or development shall have due regard for the revised Conservation Plan for the site and shall demonstrate the conservation of the existing heritage buildings to the satisfaction of the Heritage Council'.

Local Planning Policy: Old Swanbourne Hospital Precinct (2008)

Clause 5.15.2 of the Scheme also states that Council shall require subdivision and development to have regard to and be generally consistent with Local Planning Policy: Old Swanbourne Hospital Precinct (the LPP). The general provisions of the LPP are:

- *All heritage buildings on the site are required to be retained and conserved in situ, given their inclusion on the State Register;*
- *To ensure that the visual prominence of the Heritage Buildings is protected and retained, view corridors to and from the heritage buildings must not be interfered with, so that the profile of the buildings when viewed at close range or from a distance remains unchanged;*
- *All development is to be derived from the architectural character of the existing heritage buildings without mimicking the heritage style.*

In relation to the subdivision of the site, the following provisions apply:

- *Vacant lot subdivision shall only occur within areas identified as the North Wing and South Wing in the Development Plan;*
- *No subdivision for private ownership purposes shall be permitted on any portion of the Curtilage areas, so as to ensure that public access to and from the area remains unobstructed.*

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The Policy also contains a number of specific development provisions that will be addressed at the Development Application stage.

Old Swanbourne Hospital Precinct Outline Development Plan (2011)

An Outline Development Plan (ODP) for the subject site became operational on 26 July 2011. The ODP was prepared to:

- *Enable the sustainable and sensitive conservation of the heritage values in the Precinct;*
- *Identify appropriate new uses and establish over-arching development provisions to guide new development;*
- *Maintain the cultural and recreation importance of the precinct to the local community; and*
- *Ensure that the reuse and redevelopment of the precinct does not adversely impact the amenity of the surrounding development.*

As indicated above, the Scheme requires general consistency and due regard to the LPP and the Conservation Plan when Council is considering any application for development or subdivision. The ODP is generally consistent with the Old Swanbourne Hospital Precinct Hospital Policy, the Conservation Plan and Development Plan No. 03/16/12A. Therefore any reference to consistency with the ODP is therefore making reference to consistency with these documents and Development Plan No. 03/16/12A and clause 5.15 of the Scheme.

The ODP outlines Guiding Principles and Development Parameters for the precinct, which are summarised as follows:

- *All heritage buildings on the site are required to be retained and conserved in situ, given their inclusion on the State Register;*
- *To ensure that the visual prominence of the Heritage Buildings is protected and retained, view corridors to and from the heritage buildings must not be interfered with, so that the profile of the buildings when viewed at close range or from a distance remains unchanged;*
- *Montgomery Hall is permitted to be developed as a low key permanent and sustainable private community use;*
- *The main hospital is permitted to be developed for residential uses;*
- *The administration building is permitted to be developed for commercial purposes, including a medical centre;*
- *Residential development is to permitted to occur on the far northern (R20) and southern (R30) portions of the site;*
- *Public open space is to be located on the far western portion of the site;*
- *Pedestrian access (dual path) is to be provided throughout the site.*
- *Vehicle access is to be provided.*

Development and conservation of the heritage buildings are to be to the satisfaction of the Heritage Council of Western Australia.

Development Control Policy 1.1 Subdivision of Land

Development Control Policy 1.1 Subdivision of Land (DC1.1) outlines the general principles which will guide the WAPC in determining applications for subdivision. Importantly, the WAPC

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is to have regard to any adopted ODP when considering subdivision applications in an area covered by such a plan.

Other objectives of the policy that are relevant to the proposal include:

- *To ensure that the subdivision pattern is responsive to the characteristics of the site and the local planning context;*
- *To ensure that the subdivision is consistent with orderly and proper planning and the character of the area;*
- *To create lots that are capable of lawful development, and at the same time, ensure that existing lots or the development upon them is not rendered illegal;*
- *To facilitate development which achieves appropriate community standards of health, safety and amenity; and*
- *To facilitate appropriate access and movement systems for all modes of transport.*

Planning Assessment

There are a number of planning documents that govern the planning and development of the site, including:

- City of Nedlands Town Planning Scheme No. 3 (TPS3);
- City of Nedlands Local Planning Policy No. 3 Old Swanbourne Hospital Precinct (LPP);
- Old Swanbourne Hospital Precinct Outline Development Plan (ODP); and
- Development Control Policy 1.1 Subdivision of Land.

In addition, the site is listed on the City of Nedlands Municipal Heritage Inventory (category A) and the State Heritage Register.

It is considered that the proposed subdivision is consistent with the overarching planning framework that relates to the subject site. Due to the zoning of the site as 'Development', an Outline Development Plan has been prepared in accordance with clause 3.8.2 of the Scheme. The preparation of the ODP considered the LPP and is consistent with the objectives of this Policy.

The subdivision will facilitate the redevelopment of the heritage buildings for community, residential and commercial uses as outlined in the ODP. In accordance with the General Provision – Heritage of the ODP and clauses 4.1 to 4.3 of the LPP, the heritage buildings will remain in situ and their visual prominence and view lines will be maintained. Any development that occurs post subdivision will be sympathetic to the architectural character of the existing buildings. The subdivision will not have an adverse impact on the amenity of the heritage conservation area, with the redevelopment enhancing the historic values of the site, which has previously been neglected.

A movement network, including a dual pedestrian/cycle path, will be incorporated into the development (access is to be provided by public easement) and will enable these historic values to be enjoyed, aligned with the provisions of the General Provision – Public Access in the ODP and clauses 4.4 to 4.8 of the LPP. Similarly, vehicle movement will be provided at the development stage and will be aligned with the routes indicated on the ODP.

It is considered that the proposed subdivision is consistent with the objectives of DC1.1. The pattern of subdivision is based on the location of the existing buildings and is responsive to the characteristics of the site. The subdivision will create lots that are suitable for development.

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and will not result in the current development being considered unlawful due to the size of the lots and the location of their boundaries. Furthermore, the proposed subdivision will not involve a vacant lot subdivision on curtilage land and access to the buildings will be maintained in accordance with clauses 4.22 and 4.23 of the LPP.

In relation to the future development and use of Montgomery Hall, the Specific Provisions of the ODP that relate to Montgomery Hall state that only a low-key permanent and sustainable private community use is permissible such as café, meeting rooms, museum and theatre. The proposed redevelopment of Montgomery Hall will be aligned with ODP requirements to be a sustainable adaptive use and will be similar in nature to those uses outlined in the ODP and will not adversely impact on the amenity of the surrounding development.

The proposed redevelopment of the main hospital and the administration building is also consistent with the uses outlined in the Specific Provisions of the ODP; the main hospital is to be redeveloped for residential purposes and the administration building is to be redeveloped as a medical centre.

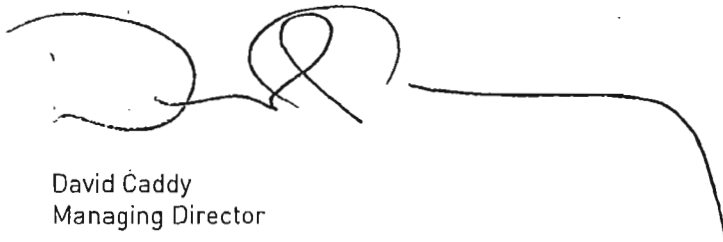
It is reiterated that the ODP is generally consistent with the Old Swanbourne Hospital Precinct Hospital Policy, the Conservation Plan and Development Plan No. 03/16/12A. Therefore any reference to consistency with the ODP is therefore making reference to consistency with these documents and clause 5.15 of the Scheme.

Conclusion

This application for subdivision is in accordance with the relevant statutory requirements and is being undertaken to facilitate the redevelopment of the subject site in accordance with the provisions of the Outline Development Plan. The proposal will restore the heritage buildings within the precinct and will not have an adverse impact on the heritage values or amenity, being aligned with orderly and proper planning and the overarching planning framework.

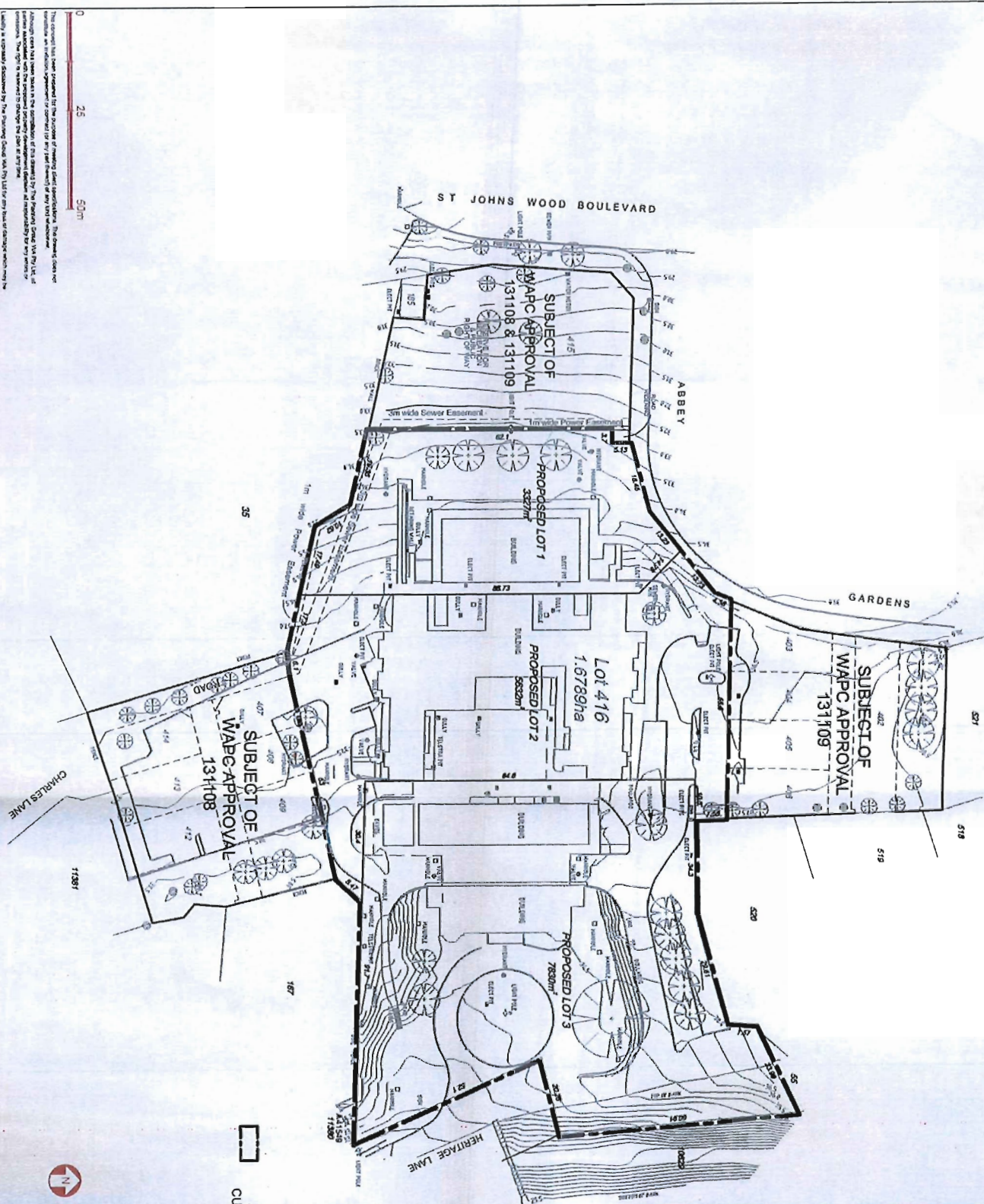
We trust the information enclosed will assist in a favourable determination of the proposal. Should you have any queries or wish to discuss any aspects of the application please do not hesitate to contact the undersigned.

Yours sincerely
TPG TOWN PLANNING AND URBAN DESIGN



David Caddy
Managing Director

DEPARTMENT OF PLANNING	
DATE	FILE
19 OCT 2011	145074



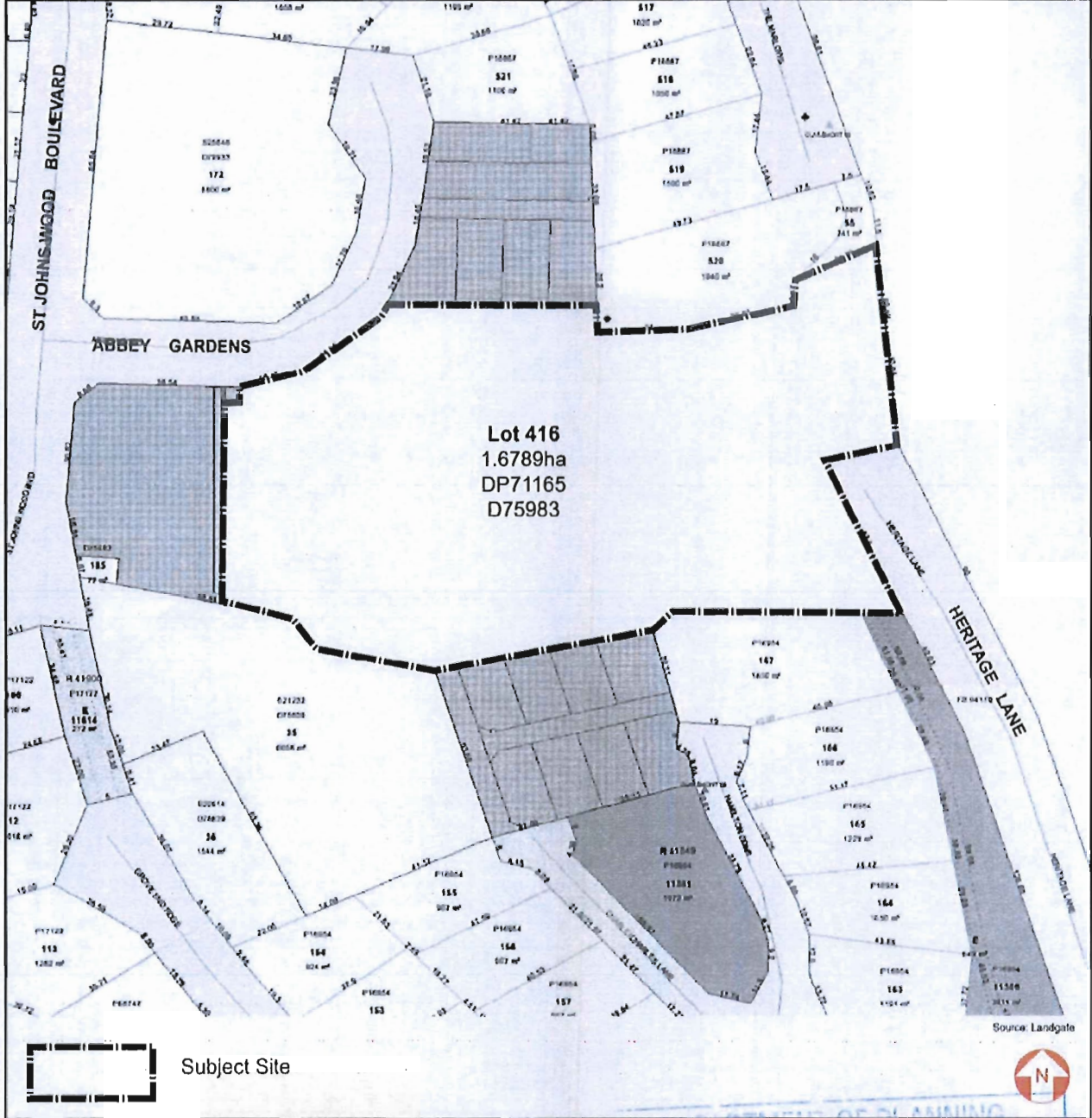
AREA SUBJECT OF
 CURRENT APPLICATION

DEPARTMENT OF PLANNING
 DATE 19 OCT 2011
 FILE 145074

Old Swanbourne Hospital
 Proposed Subdivision of Lot 416
 Abbey Gardens, Mount Claremont
 Date: 14-05-2011
 Scale: 1:500 @ A3
 Drawing No: 712310-1 S11 subdivision Dwg1



This document is the subject of a planning application. The applicant has provided information to the Department of Planning and Urban Design for the purpose of assessing the proposed subdivision. The applicant is not responsible for the accuracy of the information provided. The Department of Planning and Urban Design is not responsible for the accuracy of the information provided. The applicant is not responsible for the accuracy of the information provided.



DEPARTMENT OF PLANNING
DATE 19 OCT 2011 FILE 145074



Figure 1
SITE PLAN
Loe 12040 St Johns Wood Boulevard, Mt Claremont

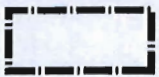
Date: 14 October 2011 Designer: RV
Scale: NTS @ A4 Drawn: PR
Drawing No: 712-110 PL1A F1-2 141011.pdf

TOWN PLANNING
AND URBAN DESIGN

This concept has been prepared for the purpose of meeting client specifications. The drawing does not constitute an invitation, agreement or contract for any part thereof of any kind whatsoever.
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Source: Nearmaps



Subject Site



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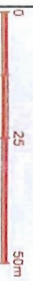
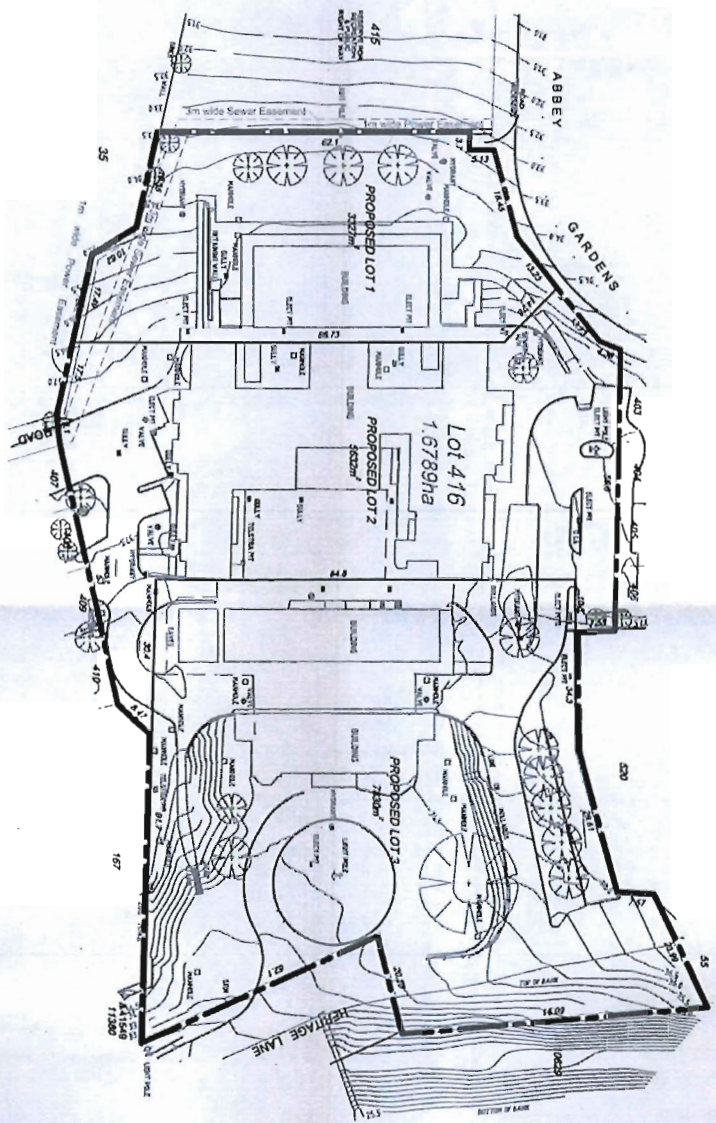


Figure 2
AERIAL PLAN
 Lot 12040 St Johns Wood Boulevard, Mt Claremont

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Date: 14 October 2011 Designer: RW
 Scale: NTS @ M4 Drawn: PR
 Drawing No. 712-110 PL1A F1-2 141011.pdf

TOWN PLANNING
 AND URBAN DESIGN



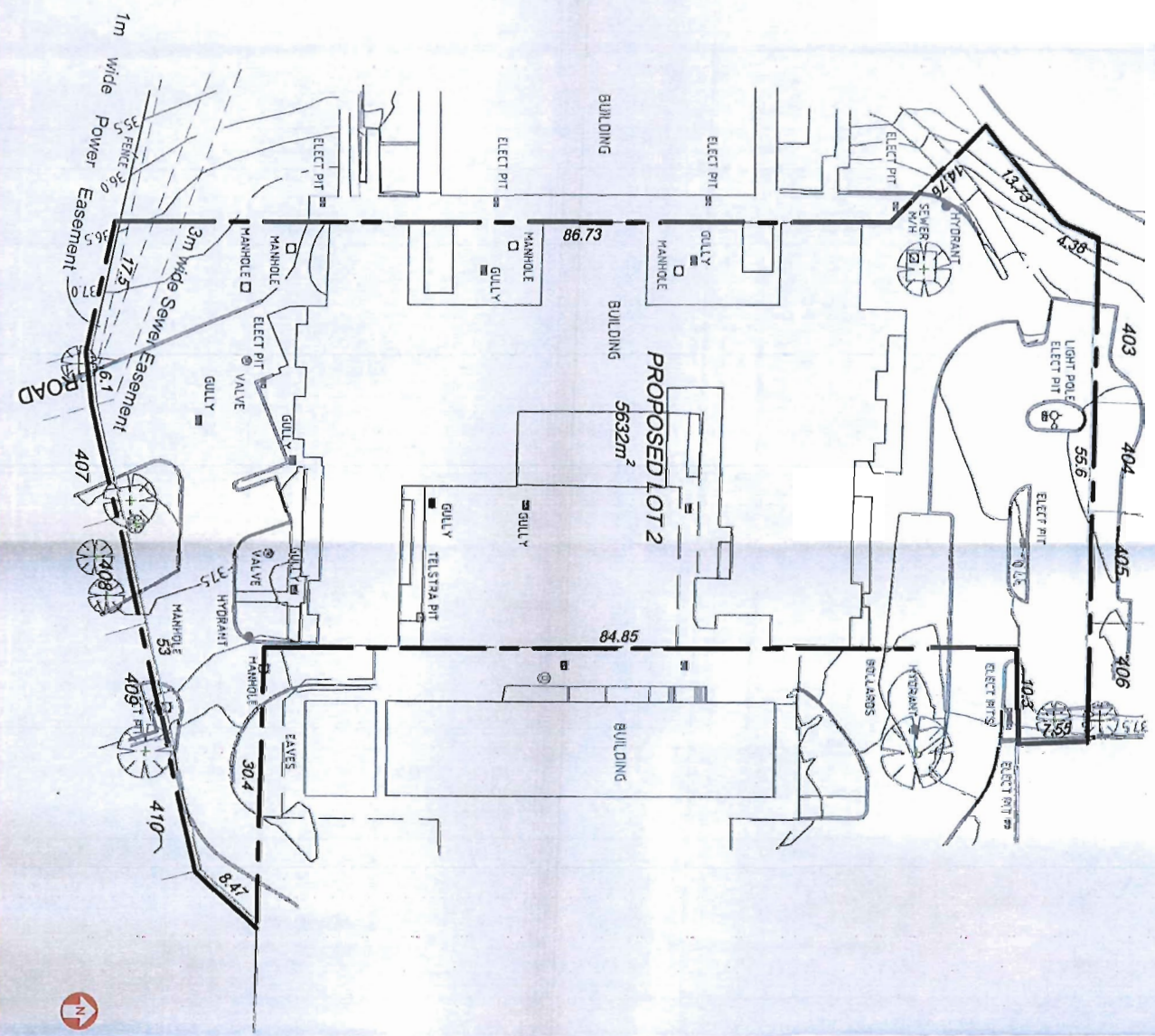
The content has been prepared by the designer at existing ground conditions. The drawing does not constitute an offer of any services or goods, and is not intended to be used for any purpose other than that for which it was prepared. The client is responsible for the accuracy of the information provided. The drawing is not to be used for any other purpose without the written consent of the designer. The client is responsible for the accuracy of the information provided. The drawing is not to be used for any other purpose without the written consent of the designer.



Old Swanbourne Hospital
 Proposed Subdivision of Lot 416
 Abbey Gardens, Mount Clarendon
 Date: 14/03/2011
 Scale: 1:500 @ A3
 Drawing No: 712-116-1 SU subdivision.dwg
 Designer: DC
 Checker: TC



This document has been prepared for the purpose of providing information. The drawings show the proposed subdivision of the land shown on the plan. The drawings are not to be used for any other purpose. The drawings are not to be used for any other purpose. The drawings are not to be used for any other purpose.



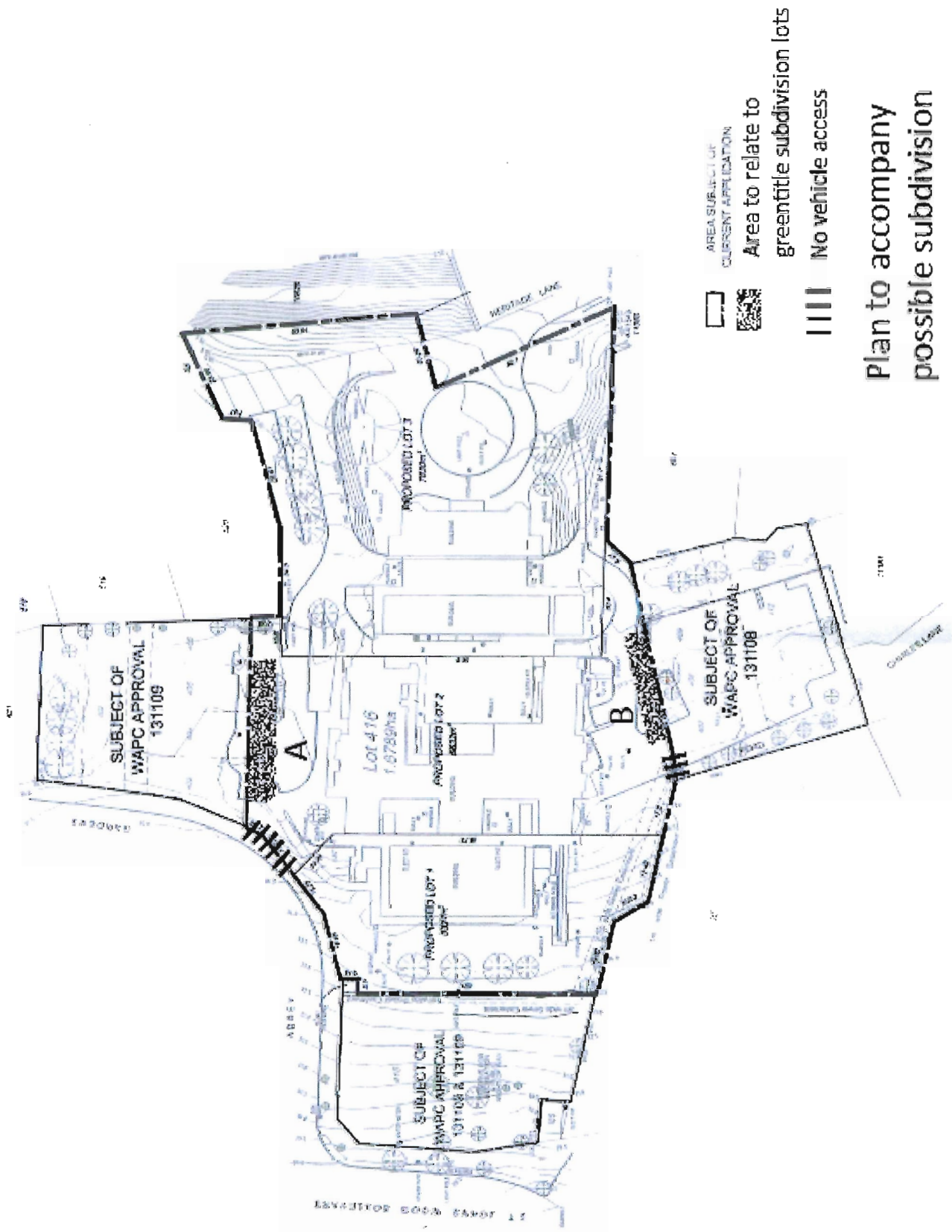
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Old Swanbourne Hospital
Proposed Subdivision of Pt Lot 416
Abbey Gardens, Mount Claremont

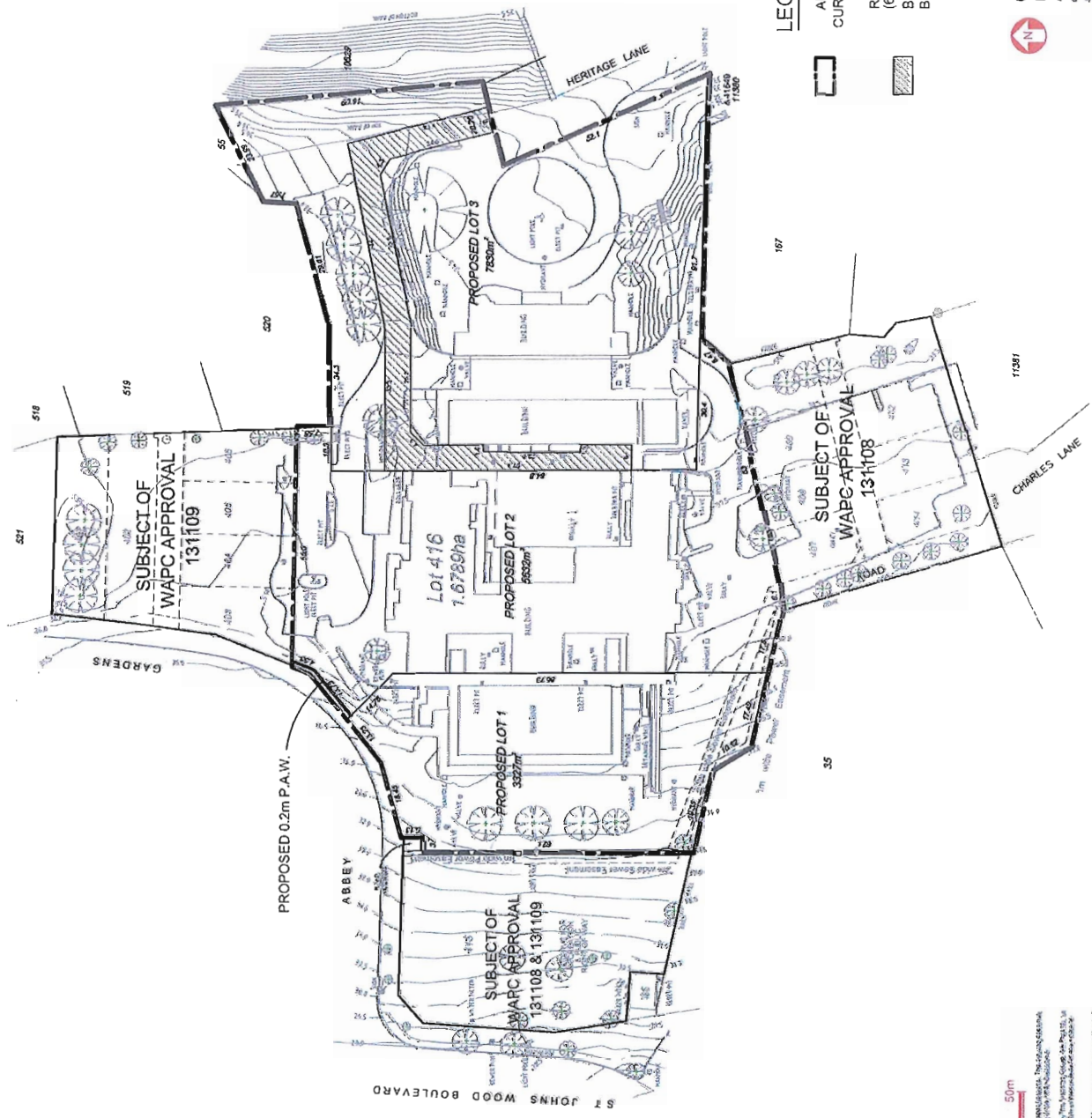


Date: 19/10/11
Scale: 1:200 @ A3
Project No: 713/1/013/013
Author: JG
Checked: TC
Drawn: JG
Town Planning
MIND YOUR OWN BUSINESS







D71.11 – Attachment 4

Map accompanying possible conditions



LEGEND

-  AREA SUBJECT OF CURRENT APPLICATION
-  RECIPROCAL RIGHTS OF CARRIAGEWAY EASEMENT (6m WIDE)
-  BENEFIT LOT 2
-  BURDEN LOT 3



Old Swanbourne Hospital
 Proposed Subdivision of Lot 416
 Abbey Gardens, Mount Claremont

DATE: 14/11/2011
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO: 7102-11-14 SU Subdivision



D71.11 – Attachment 5
 Revised proposal received
 14 November 2011

This document is a preliminary drawing and is not to be used for construction purposes. It is subject to change without notice. The client is responsible for ensuring that all necessary approvals and permits are obtained. The drawing is not to be used for any other purpose without the written consent of the architect.

