

Summary: The differences between October 2005 Development Plan and associated Local Planning Policy and proposed draft ODP approved by WAPC for advertising (March 2011) are summarized below with officer comment provided for each variation:

			Officer Comment
ODP Map	1	Proposed ODP plan (2011) shows development proposal for historic building including access ways and parking in greater detail than October 2005 development plan.	Greater certainty has been provided regarding the proposed subdivision of historic building for residential units, parking for the residential component, pedestrian / bicycle movement across the site and ownership of land, which is welcome.
	2	A Land Classification Plan has been added showing proposed ownership of land. This plan indicates which portions of land are earmarked to be private, public open space and private open space with public easement	Under the 2005 plan the proposed ownership of land was not earmarked for areas not occupied by buildings. This proposed ownership of land plan provides additional clarity which represents an improvement on the 2005 development plan.
	3	By deleting the sentence in the Development Plan October 2005 " <i>The final amount of Open Space is to be determined through negotiations with the Western Australian Planning Commission, the City of Nedlands and the landowner</i> " the draft ODP (2011) envisages that the amount of open space matter is finalised.	This provision provides the City with a role to be a party to determine the appropriate amount of public open space to be provided. Deletion of this provision represents removal of this role which is not acceptable given that it would leave the residents of Mt Claremont without a voice in this regard.
	4	The alignments of the pathways around the historic building varies from the alignment of the pathways as shown on the October 2005 plan	While it would be preferable that the pathways are located along the alignments as shown on the 2005 development plan, the alignment is secondary to the primary role of the pathways which is to provide public access throughout the site.

Public and Private Open Space	5	Total area to be dedicated for Public Open Space is proposed to be 2482 m ² . This is a reduction in the amount of Open Space previously flagged to be provided as part of the October 2005 plan.	The reduction of the Public Open Space is not acceptable. This site historically was intended to provide the shortfall in open space from the St Johns Wood subdivisions and accordingly provisions to that effect were incorporated into the 2005 development plan. Relaxing the open space requirement would have a negative impact on the amenity of the overall Mt Claremont area.
	6	The proposed provisions for the development of any private open space areas in the east wing are vague and open to not yielding the objective of retaining views from the Administration Building from the east. To strengthen the proposed clause the following words should be added:..."so that view corridors from the east to the Administration building are retained"	The provision of open space within the site other than the 2482 m ² in the western portion of the lot was intended to contribute to the amenity of the development site by helping to meet objectives such as ensuring that the historic buildings are located within a park like environment, are not being built out and retaining view corridors and remain physically accessible to the public. Accordingly the loss of these public open spaces is not acceptable.
	7	Although the proposed draft ODP (2011) requires that a landscaping plan is provided for the private open spaces in the East Wing and a general clause exists requiring " <i>High quality open space treatments are required, commensurate with the quality of the redevelopment of the heritage buildings</i> ", the previous specific requirement that development of this area be of such manner as to retain the views of the Administration Building from the east no longer applies.	The proposed provisions for the development of any private open space areas in the east wing are vague and open to not yielding the objective of retaining views from the Administration Building from the east. To strengthen the proposed clause the following words should be added:..."so that view corridors from the east to the Administration building are retained"

	8	The requirement that the public open space is to be maintained by the developer for a minimum of 2 years after completion of landscape works has been deleted.	This has been replaced with a provision that the detailed landscaping is to be implemented by the Developer to the satisfaction of the City. Although this provision is not time based, it has a similar effect as the previous provision and as such is considered to be acceptable.
Access	9	Access ways are no longer referred to as "dual use path" but as "Shared access path".	This proposed change amounts to semantics and is acceptable
	10	The Specific provision that "There shall be no link between Heritage Lane throughout the site to the North or South Wings which would enable vehicular access to or from Heritage Lane to or from any other existing public road" no longer applies.	Provisions 10-12, 14 -16 are stipulated in the City's Local Planning Policy and were included to safeguard the amenity of the surrounding area. While the draft ODP plans currently do not propose a concept that is contrary to these provisions, these provisions should be remain in force in order to prevent that any future changes not currently envisaged that would have a negative impact on the surrounding area.
	11	The requirement for "an additional vehicle access point to be provided from Heritage Lane south of Circular Drive "no longer applies.	See comment for provision 10
	12	The requirement that "there shall be no vehicle access to and from the site via St John's Wood Boulevard, Abbey Gardens, Charles Lane or Hamilton Gardens unless otherwise provided in this ODP" no longer applies.	See comment for provision 10

Circular Drive	13	The requirement that <i>"Circular Drive shall not be less than 725m2 and is to be created as a public road"</i> no longer applies.	Although Circular Drive has been earmarked to be a public road under the City's Local planning policy, the proposed draft ODP wishes to treat it as a driveway which is not acceptable.
Curtilage	14	The requirement that the curtilage areas are to be retained for the purposes of: a. <i>providing public access across the site;</i> b. <i>retaining the conservation values of the buildings;</i> c. <i>providing a visual separation between the heritage buildings and other development</i> d. <i>providing limited parking"</i> no longer applies	
	15	The requirement that <i>"No above ground structures of any type including movable furniture and equipment will be permitted in the curtilage areas unless approved as part of the landscape masterplan"</i> no longer applies.	See comment for provision 10
	16	The requirement to prevent level changes by more than 500 mm within the curtilage area calculated from existing levels no longer applies.	See comment for provision 10
	17	The provision that <i>"The full extent of the curtilage area may be given up by the Developer free of cost as a reserve for which the City has care, control and management"</i> no longer applies.	See comment for provision 10

Public Access	18	The requirement that " <i>A high level of public access within the site shall be maintained in perpetuity</i> " has been replaced with a proposal that access easements be provided over all dual access paths proposed as part of the ODP plan.	Access easements are only required because the land needed to provide the access is not in public ownership. While an easement system achieves an outcome it is cumbersome to implement and administer, and has implications that may result in the system not being implemented. To secure that public access through the site is maintained in perpetuity it is recommended that the land needed for access purposes be in public ownership.
	19	The requirement for a shared access path along the eastern side of Montgomery Hall has been deleted.	The purpose of this access way is to allow public access around the full extent of Montgomery Hall. By deleting the access way to the east of Montgomery Hall the public will no longer be able to appreciate the full historic value of Montgomery Hall.
Residential Dwellings	20	The previous restriction that a maximum of 28 residential dwellings may be developed within the historic buildings no longer applies.	As a built form outcome rather than density control is a preferred outcome for this site restricting the number of dwellings permitted on this site is not a desirable form of control.
New Building	21	A new building in the courtyard area of the historic buildings is proposed at a maximum height of approximately 10m measured from the existing natural ground level of the courtyard.	

Heritage Buildings: Montgomery Hall	22	While the future of Montgomery Hall was also not resolved in the current development parameters, the south wing was reserved to cater for the parking needs of Montgomery Hall. With the approved subdivision of the south wing, this provision has been lost.	With the loss of the south wing to accommodate possible parking needs of Montgomery Hall it is becoming more urgent that a solution for Montgomery Hall is found as part of this ODP, or alternatively, that additional provision is made elsewhere on site to cater for the future parking needs of Montgomery Hall.
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Summary of the comments received during the community consultation period from 8 March 2011 – 29 March 2011 of the "Draft ODP approved for Advertising by the WAPC"

Comments received:

A total of 157 submissions were received of which there were 84. no objections/support that the area is finally being developed, 10 no objections subject to a number of provisos, 58 objections and 1 submission was a copy of a letter forwarded to the Post Newspaper.

A further 4 submissions were received that did not indicate either support or objection for the proposal but provided valuable comments which have been included below where relevant. These submissions were received from the Water Corporation, the Mount Claremont Ratepayers Association, John 23 College, and a ratepayer.

a. Support for the proposed ODP

The provisos raised in the 10 non objections are summarized as follows:

	Issues Raised	Officers Comments
1	The proposed ODP reflects a significant shortfall in amount of public open space compared to the requirements in Town Planning Scheme No 2 through the 2005 development plan. The ODP should reflect the exact amount of public open space and location as shown on the 2005 development plan.	Agreed. In the SAT decision of 2008 the SAT confirmed that the 2005 Development Plan was not merely indicative. The 2005 Development Plan provides extensive detail in regards to the requirement and location of Public Open Space. It forms part of the City's Town Planning Scheme no 2 and therefore should be not be varied.
2	Noting that the current ODP does not adequately address the manner in which the public access through the site will be secured it is recommended that the ODP stipulates the manner in which public access to the land surrounding the Heritage building will be legally secured.	Agreed.
3	The proposed ODP should specify the proposed use of Montgomery Hall (both public and private) and its associated parking needs, noting that currently already the occasional use of Montgomery Hall raises parking concerns within the residential area.	Agreed.

4	No vehicle access/visitor parking from St John's Wood Boulevard.	Agreed. While Vehicle access/visitor parking from St John's Wood Boulevard is currently not proposed including this requirement into a proposed draft ODP would be appropriate to provide assurances into the future.
5	The profile of the Heritage Buildings to remain unspoilt.	Agreed. Including a provision into the proposed draft ODP in this regard will provide assurances into the future.
6	That the Charles Lane extension remains blocked off as shown on the ODP Map approved by the WAPC for advertising in February 2011 plan so that vehicle access to the historic buildings cannot be obtained from Charles Lane.	Agreed. There is a discrepancy between the ODP Map approved by the WAPC for Advertising in February 2011 and the Land Classification Plan and it would be appropriate that the Land Classification Plan is amended to reflect the same information as is shown on the ODP Map.
7	Height of proposed new building in the courtyard is to be more specific and be limited to not exceed the height of the historic buildings.	Do not agree. The height of any new building in the courtyard at approximately 10m was prescribed by the SAT decision. The current provision regarding height for any central building is therefore deemed to be acceptable.
8	There should be no demolition of any heritage buildings.	Agreed, but a provision to this effect is provided within the proposed draft ODP which states that " <i>Existing Heritage Buildings are to be retained</i> ".
9	The importance of the proposed ODP once adopted should be elevated to "dictate" rather than "inform" future development.	Do not agree, because the nature of an ODP is to provide a measure of flexibility and elevating its status as proposed would be contrary to its nature.

b. Objection to the proposed ODP:

Fundamental to many of the 58 objections are

	Issues Raised	Officers Comments
1	The ODP's disregard for the views of the community and existing agreed outcomes for the site which underpin the tender document that resulted in the sale of the land and are incorporated into legislation such as the City of Nedlands Town Planning Scheme No 2 is unacceptable.	Noted
2	That subdivision approval was granted by the WAPC for the north and south wing prior to the ODP over the entire site having been finalized is unacceptable.	Noted

Other specific matters mentioned as reasons for objection are summarized as follows:

	Issues Raised	Officers Comments
3	The proposed ODP reflects a significant shortfall in amount of public open space compared to the requirements in Town Planning Scheme No 2 through the 2005 development plan which is unacceptable.	Refer to comment above at A.1.
4	The proposal represents the developer's interest at the expense of amenity of the existing residential area.	Noted
5	The proposed ODP lacks essential detail which should have been resolved by this time.	Noted
6	Vehicle access to the site is of concern in particular: Access from Charles Lane for the majority of the newly created lots in the southern subdivision wing is unacceptable. The load should have been spread over Charles Lane and Heritage Lane.	As the subdivision has been approved in its current configuration there is no scope to amend the subdivision layout to provide additional access points to the south wing.

	<p>Potential negative impact on the traffic flow of the area particularly St John's Wood Boulevard once a use for Montgomery Hall and associated parking needs becomes a reality.</p> <p>The access ways that service the new subdivisions from Charles Street and Abbey Gardens are too narrow to cope with large vehicles such as waste management trucks, construction vehicles or furniture delivery vehicles.</p> <p>Additional traffic along Mooro Drive particularly construction vehicles and trucks over the development period.</p>	<p>Refer to comment above at a.3</p> <p>As the subdivision has been approved in its current configuration there is no scope to amend the subdivision layout to provide wider access ways in the north and south wing subdivisions.</p> <p>Not relevant concern. The impact on Mooro Drive is minimal given its size and alignment and given its location within the residential area it is likely to be affected by any development at the hospital site.</p>
7	The height limit for the courtyard building should be a fixed amount and not an approximate.	Refer to comment above at A.7.
8	Lack of clear use for Montgomery Hall and the other historic buildings and associated visitor parking needs for the development and future use of Montgomery hall needs to be finalized at this stage.	Refer to comment above at A.3.
9	The current ODP does not adequately address public access through the site and to the historic buildings or how such access will be legally secured.	Refer to comment above at A.2.
10	Demolition of any part of the historic buildings is not acceptable. In one of the submission an objection is also to the "demolition of heritage buildings to be replaced by high rise buildings".	Refer to comment above at A.8. This comment has no merit as the ODP does not propose the demolition of the historic buildings for the construction of high rise buildings.

11	There are no guarantees incorporated within the ODP to oblige the development of the historic buildings.	Agreed and recommended that a provision to this effect be included in the proposed draft ODP to provide assurances for the historic buildings into the future.
12	The pathway linking the existing pedestrian network at the end of the Marlows with a path continuing down Heritage Lane shown on the 2005 Development Plan has been deleted from the proposed ODP.	Agreed. Amendment of the proposed draft ODP maps to align with the 2005 Development Plan is required.

c. Further useful comments received from the public consultation period:

	Issues Raised	Officers Comments
1	That a manned crosswalk be created along Heritage Lane to allow pedestrian movement to John 23 via the subject site.	Noted
2	Traffic management to slow traffic down should be placed in Charles Lane and Abbey Gardens.	Noted
3	The paper bark trees at the head of the existing Charles Lane should not be removed.	Noted
4	The existing hammerhead turnaround alignment of Charles Lane is required to be modified as Charles Lane is no longer a cul-de-sac.	Noted
4	<p>The ODP contains the following factual errors which need to be corrected:</p> <p>It is misleading to state that the area is well serviced by public open as there is in fact a shortfall in POS when compared the norm.</p> <p>Access to public transport is overstated as in reality exclusive reliance on public transport in Mt Claremont is not practical.</p>	Noted

	John 23 college is not located approximately 1 km to the east from the site, but borders onto the subject site	
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Summary

A number of the fundamental issues were identified by the public. Notably many of these are common to the submitters irrespective of their position to support or oppose the proposed ODP. The issues are summarized as follows:

1. Public Open Space

The amount and location of Public Open Space, with the general view that the proposed draft ODP provides a significant shortfall in public open space compared to the amount of public open space in the 2005 development plan. There is also a growing concern that portions of the proposed POS in the western portion of the site may be used for parking purposes to meet the needs of Montgomery Hall in the long term...

2. Pedestrian Access

Securing public pedestrian access through the site in perpetuity has been identified to be a particular concern.

3. Montgomery Hall

The future of Montgomery Hall and catering for its future needs has been flagged as a major concern given that the southern wing has now been subdivided and the land is no longer available to accommodate car parking.

4. Access from St John's Wood Boulevard

The concern in this regard is primarily to prevent that there will be vehicle access from St John's Wood Boulevard to cater for Montgomery Hall the existing road network.

5. Guarantees required for the development of historic buildings

There is a real concern that there is no connection between the sale of the newly created lots in the north and south wing and the restoration of the historic buildings.

6. Amendments to ODP maps

The following additional information is required to be included in the ODP maps:

- a. The Land Classification Plan is amended so that the area to the north of Charles Lane Extension is shown as open space and not road reserve.
- b. A shared access path is to be provided to link The Marlows and Heritage Lane Access.

D37.11	Adoption of Proposed Outline Development Plan for complex formerly known as Swanbourne Hospital for the Insane: Lot 12040 Heritage Lane Mt Claremont
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Committee	10 May 2011
Council	24 May 2011

Applicant	The Planning Group
Owner	Swanbourne Estate Developments Pty Ltd
Officer	Gabriela Poczyn - Manager Strategic Planning
Director	Carlie Eldridge - Director Development Services
Director Signature	
File ref	TPN/104 -14
Previous Item No's	D99-06 – 12 December 2006 D18.1 – 8 May 2007 D22.08 – 27 May 2008 D58.10 – 10 August 2010
Disclosure of Interest	No officer involved in the preparation of this report had any interest which required it to be declared in accordance with the provisions of the <i>Local Government Act (1995)</i> .

Disclosure of Interest

Councillor Smyth disclosed an impartiality interest in Report D37.11 - Adoption of Proposed Outline Development Plan for complex formerly known as Swanbourne Hospital for the Insane: Lot 12040 Heritage Lane Mt Claremont. She disclosed that she and her husband own property in the vicinity of the Old Swanbourne Hospital, and as a consequence, there may be a perception that her impartiality on the matter may be affected. She declared that she would consider this matter on its merits and vote accordingly.

Regulation 11(da) - Not applicable – Recommendation adopted.

Moved – Councillor Negus
Seconded – Councillor Tan

That the Committee Recommendation is adopted.
(Printed below for ease of reference)

CARRIED 10/2
(Against: Crs. Hipkins & Tyson)

Council Resolution / Committee Recommendation

Council

1. Approves the Outline Development Plan (ODP) approved for advertising by the Western Australian Planning Commission (WAPC) for the Old Swanbourne Hospital Site, Lot 12040 Heritage Lane Mt Claremont, pursuant to Clause 3.8.7 of the City's Town Planning Scheme No. 2 (TPS2), subject to the following conditions:
 - i. An additional amount of 7441 m² public open space be provided on site ideally in the location as shown on the 2005 development plan or in a configuration as agreed with the City, so that the total amount of Public Open Space on the site is 9923 m² as shown in the 2005 development plan and required under Town Planning Scheme No. 2 (TPS2) and flagged in advice notes 1 attached to subdivision approvals WAPC131108 and WAPC131109 dated 24 February 2010.
 - ii. A provision be included in the final ODP to ensure that the City retains a role in the negotiation process to determine public open space on the site.
 - iii. Provisions are incorporated into the ODP to impose a relationship between the development of the historic buildings following the sale of the vacant blocks in the north and south wing so that the developer is legally bound to link the sale of the north and south wings to the development of the historic building and in this way guarantees are put in place to ensure that the historic buildings will be developed within an agreed timeframe.
 - iv. The land needed for dual use access purposes through the site be in public ownership so as to ensure that public access through the site is maintained in perpetuity.
 - v. The ODP addresses the question of a future use for Montgomery Hall and provides for the future parking needs for this use on site or alternatively provides an area on site where future parking needs of Montgomery Hall could be accommodated.
 - vi. A pedestrian access way along the eastern side of Montgomery Hall be provided so that full public access to the exterior of the building remains.
 - vii. The following correction are made to the ODP Maps:

- a) The Land Classification Plan is amended so that the area to the north of Charles Lane Extension is shown as open space and not road reserve.
 - b) A shared access path is provided to link The Marlows and Heritage Lane.
- viii. The following provisions are included in the text of the ODP to provide safeguards for minor changes to the ODP in the future:
- a) There shall be no link between Heritage Lane throughout the site to the North or South Wings which would enable vehicular access to or from Heritage Lane to or from any other existing public road;
 - b) An additional vehicle access point can be provided from Heritage Lane south of Circular Drive;
 - c) There shall be no vehicle access to and from the site via St John's Wood Boulevard, Abbey Gardens, Charles Lane or Hamilton Gardens unless otherwise provided in this ODP;
 - d) The curtilage areas are to be retained for the purposes of:
 - 1. providing public access throughout the site;
 - 2. retaining the conservation values of the buildings;
 - 3. providing a visual separation between the heritage buildings and other development; and
 - 4. providing limited parking.
 - e) No above ground structures of any type including movable furniture and equipment will be permitted in the curtilage areas unless approved as part of the landscape masterplan.
 - f) The levels within all curtilage areas shall not be altered by more than 500 mm calculated from the Natural Ground Level shown on the Development Plan.
 - g) The full extent of the curtilage area may be given up by the Developer free of cost as a reserve for which the City has care, control and management.

- h) Circular Drive remain accessible to the public at all time and shall not be gated.
- i) The following words “so that view corridors to and from the historic building from all sides are retained” are added to the sentence in the ODP “High quality open space treatments are required, commensurate with the quality of the redevelopment of the heritage buildings”.

2. The document text be amended to reflect the following:

- a) It is misleading to state that the area is well serviced by public open space as there is in fact a shortfall in POS when compared with the 10% required by State legislation and policy.
- b) Access to public transport is overstated as in reality exclusive reliance on public transport in Mt Claremont is not practical as the area is poorly serviced with limited bus services.
- c) John XXIII College is not located approximately 1km to the east from the site, but borders onto the subject site

3. The City takes notice of the following matters and addressed them appropriately and will:

- i. refer the following proposals to the City’s Traffic Management Committee to evaluate implementation feasibility:
 - a) Install a manned crosswalk along Heritage Lane to allow pedestrian movement to John 23 College from the subject site via Heritage Lane;
 - b) Install traffic management devices in Charles Lane and Abbey Gardens in order to slow the traffic down in these local roads.
 - c) Modify the existing hammerhead turnaround alignment of Charles Lane as Charles Lane is no longer a cul-de-sac in consultation with existing residents of Charles Lane.
- ii. ensure that the existing three paper bark trees at the head of the existing Charles Lane are not removed and are protected in the redesign works of Charles Lane.



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 Enquiries: Catherine Beamish (Ph 655 19424)

Chief Executive Officer
 City of Nedlands
 PO Box 9
 NEDLANDS WA 6909

Dear Sir/Madam,

OLD SWANBOURNE HOSPITAL OUTLINE DEVELOPMENT PLAN

The Western Australian Planning Commission resolved on 27 March 2012 to endorse the Old Swanbourne Hospital Outline Development Plan dated March 2012 in accordance with the amended Schedule of Modifications.

We now return one copy of the Outline Development Plan, duly endorsed, and an electronic copy of the enclosed CD.

Should you wish to discuss this matter further, please contact the assigned planning officer listed above.

Yours faithfully,

Neil Thomson
 Secretary
 Western Australian Planning Commission

4 April 2012

cc: TPG Town Planning & Urban Design

- Enclosure: 1. Certified copy of Old Swanbourne Hospital Outline Development Plan
 2. CD copy

OLD SWANBOURNE HOSPITAL PRECINCT

OUTLINE DEVELOPMENT PLAN

MARCH 2012

**OLD SWANBOURNE HOSPITAL
OUTLINE DEVELOPMENT PLAN**

*This Outline Development Plan is prepared under the provisions of
Clause 3.8 of the City of Nedlands Town Planning Scheme No. 2*

CERTIFICATION OF OUTLINE DEVELOPMENT PLAN

*Certified that this Outline Development Plan was adopted by
resolution of the Western Australian Planning Commission on 26
July 2011 and endorsed on 27 March 2012*

.....
*being an officer of the Commission duly authorised by the
Commission pursuant to section 24 of the Planning and
Development Act 2005.*

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EXECUTIVE SUMMARY

This Outline Development Plan (ODP) is a revised document that incorporates the decision of the Western Australian Planning Commission (WAPC) made on 26 July 2011 from the ODP that has been prepared by TPG Town Planning & Urban Design on behalf of the Swanbourne Estate Development Pty Ltd to enable the redevelopment of the Old Swanbourne Hospital Precinct (the Precinct).

The ODP sets out appropriate guidelines for the future development and subdivision of the Precinct. It aims to facilitate high quality infill development that remains cognisant of existing heritage values on a landmark site. The ODP also makes provision for Public Open Space, indicative residential densities, vehicular and pedestrian access and general development parameters.

The ODP contains general development provisions that are intended to inform a set of Detailed Area Plans (DAPs) which are to be created for three (3) character areas; the Northern Subdivision Wing, the Southern Subdivision Wing and the Heritage Buildings.

These DAPs incorporate detailed design and development parameters for each individual area which will assist in the assessment of future development applications in the Precinct.

The ODP has been prepared in consultation with:

- Advice from the Heritage Council of Western Australia (HCWA) and the City of Nedlands;
- The City of Nedlands Town Planning Scheme No. 2; (TPS2)
- The Taylor Burrell Barnett Town Planning & Design (TBB) Development Plan 03/016/012A dated October 2005;
- The Local Planning Policy: Old Swanbourne Hospital Precinct (May 2008);
- The revised Conservation Plan and Heritage Agreement pertaining to the Precinct.

PART 1: STATUTORY PLANNING

OUTLINE DEVELOPMENT PLAN AREA

This ODP relates to the Old Swanbourne Hospital Precinct as depicted in Figure 1 – Structure Plan Area. The study area is hereafter referred to as the Precinct.

REFER TO FIGURE 1: ODP AREA

The Old Swanbourne Hospital Precinct comprises the former Swanbourne Hospital estate in Mount Claremont in the City of Nedlands. The Precinct is found 7 kilometres from the Perth City Centre and 3 kilometres from the coastline.

John XXIII College borders the site to the east, and Graylands Hospital and the Industrial Rehabilitation Division are found approximately one kilometre east of the site. The site is approximately 700 metres from the Mount Claremont shopping centre and is well-serviced by local public open space including Hamilton Park, Mooroo Park, Pine Tree Park and Mount Claremont Oval. Lake Claremont and the Lake Claremont Golf Course are also located two kilometres south of the site whilst the Cottesloe Golf Club is located a similar distance to the west.

REFER TO FIGURE 2: AERIAL PHOTOGRAPH ODP AREA

RELATIONSHIP WITH THE SCHEME

As provided for under the provisions of the City of Nedlands Town Planning Scheme No. 2 (TPS2), Part 1 of the ODP has the same force and effect as a provision, standard or requirement of TPS2. In the event of any inconsistency or conflict between the provisions, standards and requirements of TPS2 and the provisions, standards and requirements of this ODP, then those contained within TPS2 shall prevail.

INTERPRETATION

The words and expressions used in this ODP shall have the respective meanings given to them in TPS2, or where not defined in TPS2, as set out hereunder. The context of the use of any term will be given weight in interpreting its meaning.

OPERATION DATE

In accordance with Clause 3.8.7 of TPS2, this ODP shall come into operation when it is fully endorsed by the Town Planning Board, now the Western Australian Planning Commission (WAPC).

FIGURE 1 - ODP AREA

FIGURE 1 - ODP AREA

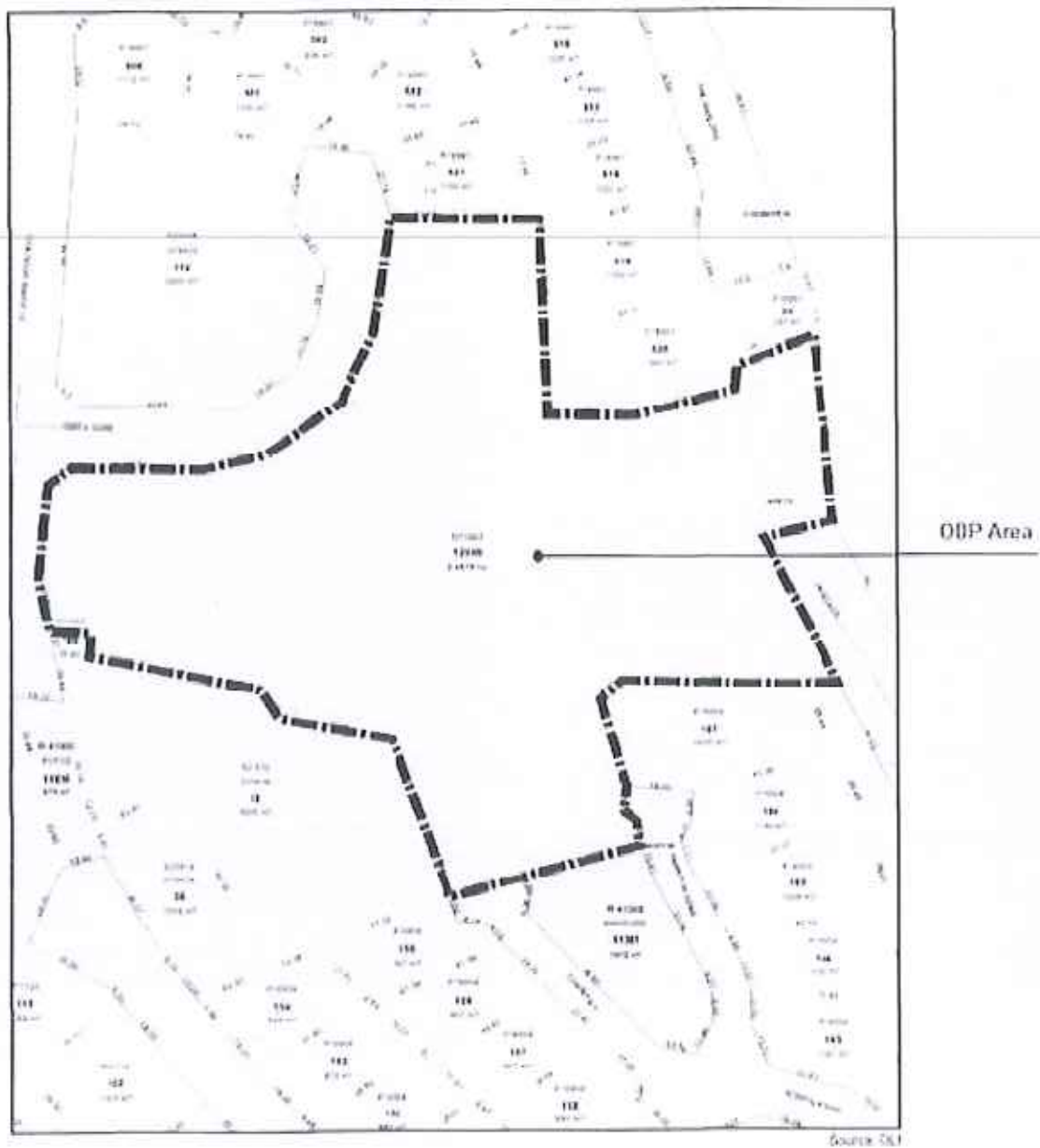


FIGURE 2 - AERIAL PHOTOGRAPH ODP AREA

FIGURE 2 - AERIAL PHOTOGRAPH ODP AREA



Subject Site

Source: DJJ

GENERAL PROVISIONS

The ODP (Figure 3) details the future pattern of development intended for the Precinct. It sets out indicative land uses, residential densities and general development parameters for the Precinct as well as the allocation of Public Open Space (POS), and makes provision for pedestrian and vehicular access. Development is to be carried out in accordance with the principles detailed in this document, and the ODP.

REFER TO FIGURE 3: SWANBOURNE HOSPITAL PRECINCT ODP AND APPENDIX B

DETAILED AREA PLANS

The Precinct has been divided into three (3) distinct character areas for which individual agreed Detailed Area Plans (DAP) are to be prepared in order to ensure co-ordinated and orderly planning and development.

These character areas are defined as the Northern Subdivision Wing, the Southern Subdivision Wing and the Heritage Buildings. The Heritage Buildings is the largest of the character areas and is located between the subdivision wings.

Development of the character areas should be carried out in accordance with a DAP.

The agreed DAPs will include detailed design guidelines for the assessment of future development applications, however a DAP may modify the application of any statutory part of the ODP where the modification is in keeping with the general intent of the explanatory section of the ODP.

The DAPs for the Northern and Southern Subdivision Wings are to be submitted for Council's consideration as part of the conditions of subdivision approval imposed by the Western Australian Planning Commission (WAPC) on 24 February 2010.

The DAP for the Heritage Buildings is to be prepared to the satisfaction of the WAPC on the advice of the City of Nedlands and the Heritage Council of WA.

GUIDING PRINCIPLES AND DEVELOPMENT PARAMETERS

The ODP incorporates the following guiding principles and general development parameters for the Precinct.

GENERAL PROVISIONS

Land Uses	No public or affordable housing is to be provided.
Built Form	Existing Heritage Buildings are to be retained. The style of new development is to respect the existing heritage building character but not mimic the heritage style.
Heritage	<p>The Council and Department for Planning are to have regard to the Revised Conservation Plan, Heritage Agreement and advice from the Heritage Council of Western Australia when assessing proposed DAPs and development or subdivision applications.</p> <p>All existing heritage buildings on the site are required to be retained and conserved in situ, given their inclusion on the State Register.</p> <p>To ensure that the visual prominence of the Heritage Buildings is protected and retained, view corridors to and from the heritage buildings must not be interfered with, so that the profile of the buildings when viewed at close range or from a distance remains unchanged.</p> <p>Circular Drive and the tree to the immediate north along with the trees along the northern boundary and along Heritage Lane have been identified as having heritage significance and are required to be retained. The detailed landscaping plan is required to identify these trees on site and any other existing trees that will be retained, and indicate measures to protect these trees during and after construction.</p> <p>The development and conservation of the heritage buildings are to be to the satisfaction of the Heritage Council of Western Australia.</p>
Public and Private Open Space	<p>A total contribution of 2482 m² of Public Open Space is to be provided as part of the subdivision approvals granted in 2010 for the northern and southern subdivision wings.</p> <p>All Public Open Space shall be ceded free of cost to the Crown under Section 152 of the <i>Planning and Development Act 2005</i> with the intention that the land will become a reserve for which the City will have care, control and management.</p> <p>All Public Open space must be landscaped to a high standard to protect and enhance the profile of Montgomery Hall and existing view corridors in accordance with plans approved by the City.</p> <p>The Public Open Space is to provide for pedestrian/cycle access and landscaping, lighting and public art and may incorporate things such as a playground.</p> <p>No parking shall be permitted in this area.</p> <p>A landscape plan for the Heritage Buildings area including the Public Open Space located to the west of Montgomery Hall must be prepared in consultation with the City and the Heritage Council of WA as part of the Detailed Area Plan stage. The landscaping plan is to be prepared to the satisfaction of the WAPC. The approved</p>

detailed landscaping plan is to be implemented by the Developer to the satisfaction of the City as a condition of development approval.

The landscape plan must indicate what treatments (i.e. plantings, "hard" landscaping) are proposed for the curtilage areas, any private open space areas within the site, and for road verges bounding the site. The verge planting for Abbey Gardens must be such that it prevents parking within the road verge.

High quality open space treatments are required, commensurate with the quality of the redevelopment of the heritage buildings. An indication of the type of landscaping considered appropriate to elements of the site are included overleaf.

REFER FIGURE 4 – PUBLIC OPEN SPACE WEST OF MONTGOMERY HALL

FIGURE 4, 5 & 6

FIGURE 4 - PUBLIC OPEN SPACE WEST OF MONTGOMERY HALL



FIGURE 5 - PRIVATE OPEN SPACE: NORTH EAST WING

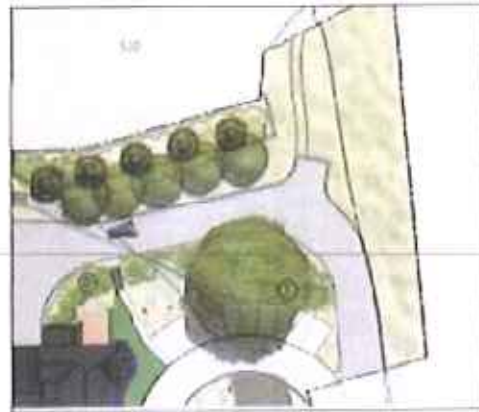
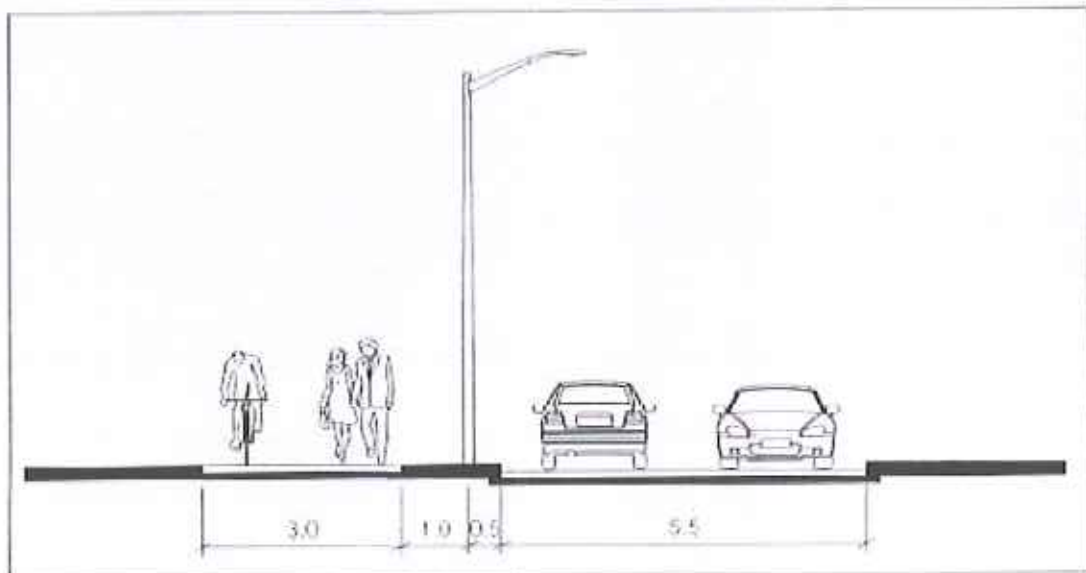
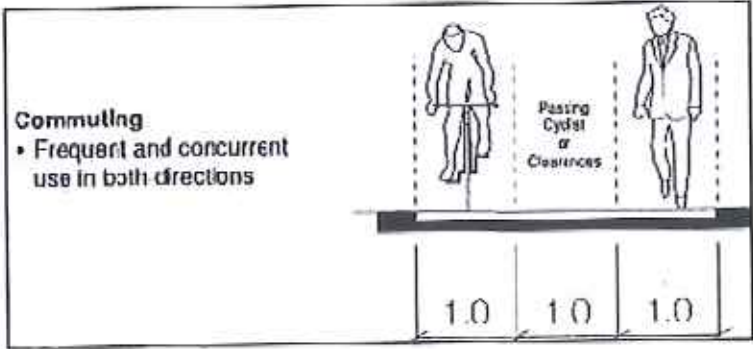


FIGURE 6 - INDICATIVE CROSS STREET SECTION



<p>Vehicle Movement</p>	<p>Vehicle access is to be provided across the Precinct along the routes shown on the ODP.</p> <p>Carriageways are to maintain a minimum width of 6.0 m.</p> <p>REFER TO FIGURE 6 – INDICATIVE CROSS STREET SECTION</p> <p>The road reserves located within the Northern and Southern Subdivision Wings will be created as dedicated road reserves with a width of 6.0 m.</p> <p>Principal vehicle access to the Precinct is to be provided along Heritage Lane.</p> <p>Service vehicles servicing Montgomery Hall may use Abbey Gardens to access only Montgomery Hall. Service vehicle parking bays may be provided adjacent to Montgomery Hall. The use of these bays is to be regulated.</p> <p>Vehicle Access to the Subdivision Wings</p> <p>Vehicle access to the Northern Subdivision Wing is to be provided via Abbey Gardens.</p> <p>Vehicle access to the Southern Subdivision Wing is to be provided via Charles Lane and Hamilton Gardens. Access to Lot 6 will be provided by Hamilton Gardens whilst access to the remaining lots will be provided via Charles Lane and the 6.0 m road reserve.</p> <p>Vehicle access to the Northern and Southern Subdivision Wings will ensure that the majority of the subdivision lots can be rear loaded. This means that where possible, future dwellings can be oriented towards the heritage buildings and curtilage, without the interference of garages and carports. This arrangement provides an opportunity for passive surveillance of the curtilage and reduces the potential for vehicle congestion and vehicles and pedestrian conflict.</p>
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Circular Drive	<p>Views to and from the Administration Building are to be protected. The design is to be sensitive to the heritage character of the building i.e. coloured pavement, minimal carriageway width and landscaping.</p> <p>Visitor parking is located on the outer edge of the Circular Drive.</p>
Parking	<p>All car parking requirements for all future residents and their visitors shall be provided on the site. As far as possible parking shall be provided out of sight such as undercroft parking or at-grade, under the covered way adjacent to the Stores and around the Circular Drive.</p> <p>At-grade parking shall not be covered unless it is provided in an area where roof cover has already been provided.</p> <p>Parking demand will need to be calculated at the development application stage once the proposed use and design has been finalised.</p>
Curtilage	<p>As indicated on the ODP, the curtilage is to maintain a width of 23 m between the Northern Subdivision Wing and the existing heritage buildings, and a width of 20 m between the Southern Subdivision Wing and the existing heritage buildings. The treatment of the curtilage will be addressed via development and landscaping plans at the development application stage.</p> <p>The curtilage is to include a 3.0 m wide shared access path. – Refer to FIGURE 7-SHARED ACCESS PATH CROSS SECTION.</p> <div data-bbox="411 1055 1235 1503" style="border: 1px solid black; padding: 10px; margin: 10px 0;"> <p style="text-align: center;">FIGURE 7 - INDICATIVE DUAL USE PATH CROSS SECTION</p>  <p style="text-align: center;">1.0 1.0 1.0</p> </div>
Public Access	<p>Pedestrian and cyclist access will be provided across the Precinct generally along the routes shown on the ODP. The pathways will be created via an easement for public access or the creation of a Public Access Way (PAW).</p> <p>The shared paths should provide for pedestrian and cyclist access through the site and to allow public enjoyment of the heritage buildings.</p> <p>Shared-access paths should be constructed in coloured aggregate to blend into the heritage character of the site and soften the visual impact of the paths. The developer will be required to landscape the access ways and include street furniture in appropriate locations.</p> <p>All shared access paths on site must be separate from vehicle access and shall integrate with the existing pedestrian network.</p>

	<p>The detailed design and placement of the shared access paths will be addressed as part of the detailed landscaping plan required as part of the Detailed Area Plan (DAP) for the Heritage Buildings area.</p>
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SPECIFIC PROVISIONS

The ODP incorporates the following specific principles and development parameters for the individual character areas.

DAPs are also required for each area prior to the approval of individual development applications.

The DAPs for the Northern and Southern Subdivision Wings will take the form of Design Guidelines. The Design Guidelines are required as a condition of subdivision approval as imposed by the WAPC on 24 February 2010 and have been supported by the City of Nedlands at its meeting of 22 June 2010 as shown below:

SECTION 1: INTRODUCTION

Located in one of Perth's most attractive and established suburbs, the Old Swanbourne Hospital in Mount Claremont offers a unique opportunity for an exceptional residential community. These design guidelines have been carefully prepared to maximise the benefits for future residents.

Context

Three components make up the Old Swanbourne Hospital site; the existing hospital buildings and grounds at the centre of the site, and the Northern and Southern subdivision wings. Each component is subject to the preparation of a Detailed Area Plan (DAP). These design guidelines support the DAPs prepared for the Northern and Southern Subdivision wings. A copy of the DAPs for the Northern and Southern Subdivision wings are attached to these design guidelines.

The lots subject to these guidelines form an integral part of the overall development of the Swanbourne Hospital Precincts redevelopment, which incorporated the existing hospital buildings, and the Northern and Southern Subdivision wings which are to be subdivided into six (6) and eight (8) lots residential lots respectively.

The existing hospital building and grounds have recognised heritage values. The redevelopment of the central Swanbourne of the site will be guided by the Swanbourne Hospital Conservation Area Conservation Plan dated October 2005 (the Conservation Plan) and by discussion with the City of Nedlands and the Heritage Council of Western Australia (HCWA).

Relationship to the City of Nedlands Town Planning Scheme No. 2

Part Five of the General Provisions of the City of Nedlands Town Planning Scheme No. 2 (TPS2) enables the Council to prepare and implement policies specific to land identified in the scheme map.

These guidelines support the Outline Development Plan (ODP) and DAPs prepared for the Old Swanbourne Hospital and have been prepared having regard to the Development Plan and the City of Nedlands' Local Planning Policy for the Old Swanbourne Hospital site.

In determining application for planning approval, the council will utilise these guidelines as the primary assessment criteria to be exercised in conjunction with the provisions of TPS2 and Residential Design Codes. The provisions of TPS2 and Residential Design Codes will apply where these design guidelines are silent. All development should comply with these design guidelines and any departures from these provisions will require full and substantial justification.

Planning Approval Process

TPS2 requires that an Outline Development Plan must be approved for these lots before the City can grant Planning Approval. In the absence of an Outline Development Plan having been approved, these lots cannot be developed.

TPS2 requires that planning approval be obtained from the City of Nedlands prior to development occurring on the individual lots. Architectural drawings (plans and elevations) or any proposed development should be submitted to the City of Nedlands with an application for Planning Approval.

The usual Local Government Planning, Building and health By-laws remain in force and any required licences must be obtained from the City of Nedlands.

It is strongly recommended that the prospective landowners and / or their architect or designer, liaise with the city of Nedlands at the earliest stage of design development to discuss proposals. Purchasers are also encouraged to liaise with neighbouring property owners prior to submitting an application for Planning Approval having particular regard to potential impact associated with parapet walls, boundary fencing, location of private open space and balconies should be discussed. Proposed designs may be submitted to the developer for endorsement of the design intent prior to lodging an application for Planning Approval with the City of Nedlands.

The City of Nedlands will assess each application on its merit having regard to the relevant provision of these guidelines, TPS2, R-Codes and local planning policies. Applications for Planning Approval will also be referred to the heritage Council for comment to ensure compliance with the Heritage Agreement and the Conservation Plan which relate to the site. Non compliant applications may be approved if in the opinion of Council, the application satisfied the objectives of the design guidelines, TPS2, R-Codes or relevant Local Planning Policy.

Planning applications are to be submitted in the format as required by the City of Nedlands. All costs associated with applications for Planning Approval will be borne by the applicant.

SECTION 2: OBJECTIVES

These design guidelines aim to establish best practice parameters within which quality housing may be developed. Future development will sit comfortably amongst the existing surrounding residences, having due respect for the heritage values of the Swanbourne Hospital buildings and grounds. Indicative elevations of future developments in the Northern and Southern Subdivision Wings are attached to this document.

SECTION 3: SPECIFIC DEVELOPMENT REQUIREMENTS

(i) Northern subdivision wing design guidelines (6 lot residential subdivision)

The provisions of the R-Codes apply to the development of the Northern Subdivision Wing unless otherwise varied by these design guidelines.

Dwelling Type Permitted:	Single House
Residential Coding:	R20
Open Space Requirement:	40 %
Site Coverage:	60 %
Minimum Outdoor Living:	30 m ²
Relative Lot Levels:	As per the Northern Subdivision Wing Detailed Area Plan.
Minimum Setbacks:	
Front Setback:	4 m pursuant to the R-Codes.
Rear Setback:	As per R codes
Side Setback:	A nil setback is permitted and encouraged along the site boundary as indicated on the Northern Subdivision Wing Detailed Area Plan. Nil setbacks are to be measured in accordance with R-Codes. All other setbacks are to be in accordance with R-Codes.
Garage/Carport	To be located along common lot boundaries, and as per the Northern Subdivision Wing Detailed Area Plan. Garage/carport to be set back 1.5 m from road reserve.
Vehicle Access:	For Lots 3 to 7 vehicle access to garages and carports are to be accessed by the 6.0m road reserve. Vehicle access to Lot 2 is provided from Abbey Gardens and the provisions of the RCodes relating to garages and carports apply.

Orientation: Lots 2 & 3 shall address Abbey Gardens as the primary frontage. Lots 4 to 7 shall address the heritage buildings as primary frontage.

Lot 4 shall also address Abbey Gardens as the secondary frontage whereby the same architectural treatment to the front façade (windows, awnings, gables, materials) is to be used within the first 4 m of the secondary frontage.

(ii) Southern subdivision wing design guidelines (8 lot residential subdivision)

Dwelling Type Permitted:	Single House
Residential Coding:	R30
Open Space Requirement:	40 %
Site Coverage:	60 %
Minimum Outdoor Living:	30 m ²
Relative Lot Levels:	As per the Southern Subdivision Wing Detailed Area Plan.
Minimum Setbacks:	
Front Setback:	4 m pursuant to the RCodes.
Rear Setback:	As per RCodes
Side Setback:	A nil setback is permitted and encouraged along the site boundary as indicated on the Southern Subdivision Wing Detailed Area Plan. Nil setbacks are to be measured in accordance with RCodes. All other setbacks are to be in accordance with RCodes.
Garage/Carport:	To be located along common lot boundaries, and as per the Southern Subdivision Detailed Area Plan. Garage/carport to be set back 1.5 m from road reserve.
Vehicle access:	All lots are to be rear loaded. Garages and carports to be accessed by the 6.0 m wide access way.
Orientation:	Lots 2 to 5 shall address the heritage buildings as primary frontage. Lots 6, 7 and 8 shall address the Public Open Space. Lot 9 shall address Charles Lane.

SECTION 4: GENERAL DESIGN REQUIREMENTS: MANDATORY PROVISIONS

Site planning:	Amalgamation or subdivision of lots is not permitted. Setbacks shall be in accordance with the RCodes unless otherwise specified elsewhere in this document. Where a front fence, letterbox and gate are provided by the Developer, houses should be designed to allow convenient access to the front door from this gate. Relocation or amendment of the front fence or gate will not be permitted.
Dwelling type:	A single residential dwelling and associated outbuildings is permitted on each Lot.
Eave requirements:	A minimum eave requirement of at least 750 mm also applies.
Lot levels:	Lot levels shall not to be altered except in relation to the finished floor level of the ground floor slab which shall not be increased by more than 300 mm from the relative lot levels depicted on the respective detailed area plan.

Building height:	Building height shall be in accordance with the City's Town Planning Scheme except for the Northern Lots 4,5,6 & 7 and Southern Lots 2,3,4 & 5 where the building height shall be two storeys.
Building form:	<p>Min roof pitch of 30° and max roof pitch of 34°. Roof pitch on Northern Lots 4,5,6 & 7 and Southern Lots 2,3,4 & 5 shall be 35°.</p> <p>Tinted or reflective glazing will not be permitted along the front and rear elevations of dwellings.</p> <p>Minimum 2 covered car bays provided per lot.</p>
Roofscape:	<p>It is intended that the principal portion of the roof shall be pitched to a central ridgeline. The roof must have a minimum pitch of 30° and a maximum pitch of 34°. The use of appropriately proportioned dormer windows, chimneys and skylights may be used to add further interest and to break down the perceived bulk of the dwelling.</p> <p>The use of verandas, loggia and pergola elements is encouraged for climate control appropriate to the West Australian environment.</p> <p>Roofs may be constructed of:</p> <ul style="list-style-type: none"> • Terracotta tiles; • Colorbond finished corrugated metal roof sheet (colours: Jasper, Paperbark, Dune, Shale Grey, Windspray Woodland Grey, Bushland or Ironstone) or similar approved; or • Zinalume finish roof sheeting will not be permitted unless applicants can demonstrate that their development will not cause problems with glare and reflectivity impacting on neighbouring lots.
Overshadowing:	All development shall comply with the overshadowing requirements of the R-Codes.
Visual Privacy:	<p>All development shall comply with the visual privacy requirements of the R-Codes.</p> <p>It is recommended that a minimum of two courtyard spaces be provided for each lot with a minimum depth of 4 m, and clothes drying.</p>
Materials:	<p>The materials and colours of a dwelling shall convey a contemporary aesthetic, whilst acknowledging the existing palette established by the Old Swanbourne Hospital buildings and the surrounding residences. Architectural richness is encouraged through the use of a variety of high quality materials and colours such as:</p> <ul style="list-style-type: none"> • Painted rendered masonry Pre-cast or in-situ concrete. • Feature stone as approved. • Feature brickwork as approved. • Maxi-sized (i.e. Austral Double Decker) or limestone coloured bricks. Concrete blocks as approved. • Recycled, plantation or sustainable harvested timber. • Steel elements and details. <p>The use of alternative materials will be considered on their</p>

merits for each individual application.

All visible areas of parapet walls must be finished to the standard of the remainder of the house. Particular attention shall be paid to areas of wall that will be visible to neighbouring properties.

Windows:

Tinted or reflective glass is not permitted in areas facing publicly accessible areas. Windows shall have a vertical proportion and strongly expressed mullions providing visual interest. Expressed sills and lintels are encouraged.

Fences:

Fences, letterboxes and gates fronting the Old Swanbourne Hospital buildings will be provided by the Developer and are not to be altered.

The developer shall provide open style fencing on all boundaries facing the heritage building, and abutting areas of public open space, unless otherwise specified in these guidelines. The maximum height of these fences shall be in accordance with the requirements for front fences as specified in the R-Codes. The maximum height of the solid portion of the fences and any other structure (letterbox etc) shall not exceed 500 mm.

All rear fences shall be 1.8 m maximum height. Rear fencing shall be setback 1.5 m from the road reserve boundary adjacent to the bin pad location as depicted for each property on the detailed area plans.

Side and rear fencing shall be constructed in materials, colours and style to match and complement the dwelling.

Vehicle Accommodation:

A carport or garage capable of housing two vehicles is required to be constructed for each dwelling. With the exception of Lot 2 in the Northern Subdivision Wing, all vehicle accommodation is to be accessed from the road reserves with a 1.5 m setback to allow for adequate manoeuvring space. Garages are to be fitted with approved garage doors with a maximum width of 6.25 m.

Services:

All air conditioners, pipes, conduits, clothes drying areas, hot water storage tanks and such items shall be concealed on the lot, and shall not be visible from publicly accessible areas.

TV antennae, satellite dishes and radio masts shall not be seen from a Primary Street. These items should be located where they are not visible from publicly accessible areas.

Waste management:

A 1.5 m x 1.5 m bin pad shall be constructed at the location depicted for each lot on the detailed area plans. The bin pad shall be constructed in the same materials as the pavement adjacent to the bin pad. Bins are to be placed on the designated bin pad for collection as depicted for each lot on the respective detailed area plans. Provision shall be made for the storage of green waste, recycling and general waste bins to be stored on non-collection days on-site and out of view of any public place.

SECTION 5: GENERAL DESIGN REQUIREMENTS: ADVICE NOTES

Site Planning:	Particular care should be taken in the design of each dwelling to ensure that visually sensitive areas of adjoining properties (as part of this subdivision and existing adjacent) are not overlooked. This can be achieved through the careful location and design of openings and outdoor living areas to upper floor levels.
Architectural Character:	<p>The scale of dwellings should not compete with the bulk of the Old Swanbourne Hospital buildings, but rather should take their cues from adjacent residences.</p> <p>Housing forms should be of a domestic nature with simple but well proportioned façade elements. Specifically, façade elements should have a strong relationship to each other through common proportions and common horizontal and vertical alignments without becoming too repetitive and symmetrical.</p> <p>The dwelling should be articulated through sills and lintels and through projecting and recessed sections of facade. Balconies should be open and lightweight but preferably not sheet glass. Tinted or reflective glass is not permitted on any visible elevation.</p> <p>The intent is to reflect aspects of contemporary Australian housing styles and lifestyles incorporating design features that sit comfortably within the existing streetscape and heritage context.</p> <p>Examples of appropriate housing design intended to guide the design of new dwellings are attached to these design guidelines.</p> <p>Contextual and design aspects to be taken into consideration include:</p> <ul style="list-style-type: none"> • The heritage buildings; • The parkland setting; • Topography; • Microclimate; • Views and vistas; • Orientation and ability to provide "eyes on the street" for passive surveillance of publicly accessible areas; and • Access by pedestrians and vehicles. <p>Houses should have features such as verandahs, pergolas, balconies etc. to improve their energy efficiency and to provide visual interest to facades.</p> <p>Entries shall be oriented to the primary boundary towards the Swanbourne Hospital buildings, Abbey Gardens or Public Open Space and Charles Lane as applicable.</p> <p>Houses should be designed with habitable rooms oriented towards publicly accessible areas to provide passive surveillance. Corner lots are assumed to have dual frontage and will be required to present a high standard of façade treatment to address both these boundaries.</p>
Elevations:	Dwellings shall be designed such that all visible frontages are

formally addressed. Elevations facing the Old Swanbourne Hospital shall be of the quality of the dwelling's major elevations. "Back of house" elements such as air conditioners and clothes drying areas should not be visible from publicly accessible areas.

Front Gardens:

Front gardens should be simple, featuring low level water-wise plants and turf. Small deciduous trees are encouraged to ameliorate the harsh summer sun and allow winter sun to access living rooms and private open space.

Internal Open Space:

The West Australian climate allows for outdoor living areas to be utilised almost year-round, making it essential that these spaces are functional and relate well to the dwelling and have appropriate daylight access and privacy.

Solar Access and Energy Efficient Design:

Solar access and energy efficient design is encouraged. The planning configuration of individual houses, relationship to open space and design of the various building elements should respond to solar access and control considerations by allowing direct sun penetration to main living areas in winter months whilst controlling sun penetration over the summer period. Cross ventilation to passively cool the dwelling and reduce reliance on mechanical cooling should be achieved by the considered location of openings and internal flow paths.

The relevant provisions of the RCodes apply in respect of designing for climate requirements.

Building elements such as roof overhangs, awnings and canopies, verandas, pergola structures, external blinds and the orientation and siting of openings should be effectively utilised to achieve Building Code of Australian requirements. The use of landscape elements such as the placement of deciduous trees and shrubs may also contribute significantly to solar efficiency.

If a solar hot water system is installed, it should be located to receive sufficient solar gain, preferably on a north facing roof or a secondary west facing roof. Where the preferred north or secondary west facing roof is visible from the public domain, a split solar hot water system should be installed, with the storage tank located on the ground or within the roof space i.e. not visible from the public domain. The solar panels should integrate with the roof, be frameless and mounted flush with the roof.

Major household appliances should achieve a minimum 4 star rating and mechanical heating and cooling a 5 star rating.

Water management:

It is important to consider the water permeability of the landscape on your Lot, in light of the 60 % allowable site coverage. Segmented or permeable pavers and open decking shall be installed in outdoor living areas to allow water to be absorbed on site.

The impact on the local water table depth, salinity of the soil can be minimised including predominantly indigenous or native species of plant in your garden. These plants minimise watering and feeding and, together with mulching, soil conditioning and appropriate waterwise irrigation (sub-surface drip irrigation or

similar), moisture and nutrients in the soil can be retained and water conserved.

A minimum 2500 litre rainwater tank is encouraged to capture runoff from dwelling rooves and associated outbuildings. Tanks should not be visible from publicly accessible areas.

Treated grey water may be used to assist with the irrigation of any planting in outdoor areas, subject to the approval of the City of Nedlands.

Owners are encouraged to install water efficient fixtures (for example taps, shower heads and toilets) that have achieved a minimum AAA rating.

<u>Heritage Buildings</u>	<i>(a) Montgomery Hall</i>
Land Use	<p>Montgomery Hall may be used for a private community use such as real tennis, café, meeting rooms, museum or rhythmic gymnastics, subject to sufficient parking being available on site.</p> <p>Any future use or development of Montgomery Hall must be considered in the context of other uses proposed for the site with particular regard to parking and traffic volumes, hours of use, noise levels and the heritage values of the building.</p> <p>The land immediately south and north of Montgomery Hall may be used as a courtyard for uses associated with Montgomery Hall, provided full public access to these areas and to the exterior of the building remains unobstructed.</p> <p>Public access to the exterior of the Montgomery Hall building shall be maintained.</p> <p>Montgomery Hall shall not be used for residential purposes.</p> <p>The interior volume of the hall is of considerable significance and should not be subdivided into smaller spaces.</p> <p>All parking for and vehicular access to Montgomery Hall must be provided within the site.</p> <p>The undercroft of the building may be utilised for service vehicle parking or other compatible uses (such as meeting rooms, cafe, etc).</p>
Maintenance	<p>The ongoing costs of maintaining Montgomery Hall will be managed by the Residents Association, which will include the future strata owners and freehold landowners. Members of the Resident's Association will contribute a nominal levy into a sinking fund that will be set aside for the ongoing maintenance and upkeep of Montgomery Hall. This requirement is proposed to be integrated into the strata company by laws and the title of each subsequent lot in the precinct shall be endorsed to the effect that each owner is aware of the ongoing obligation for the continual upkeep of Montgomery Hall.</p>
	<i>(b) Existing hospital Buildings</i>
Land Use	<p>The existing Heritage buildings are to be converted for use as residential or retirement housing, or an assisted care facility. The reuse of the buildings may under certain circumstances also accommodate a possible café, art/community</p>

	<p>uses, as long as amenity and car parking considerations are addressed adequately.</p> <p>Possible reuse of the Administration Building and Covered Way may include residential, retirement housing, home-based business, commercial, mixed use, consulting rooms and professional offices. The Covered Way may be used for vehicle parking or courtyard space.</p> <p>Development of the Stores Building needs to be sensitive to the heritage values of the building, with to retaining the volume of the space.</p> <p>Development of the 'covered way' area will need to be handled sensitively from a heritage perspective.</p>
Residential Dwellings	The number of dwellings to be accommodated in the existing heritage buildings will be determined at the development application stage.
New Courtyard Building	A new building may be constructed in the heritage buildings courtyard limited in height so that the building should not be visible over the roofline of the existing heritage building from any point on the perimeter of the site. The scale of the buildings should be consistent with the scale of the existing heritage buildings that form the courtyard. The design of the new courtyard building is to be to the satisfaction of the heritage Council of Western Australia in consultation with the City of Nedlands.

PART 2: EXPLANATORY REPORT

INTRODUCTION

TPG Town Planning and Urban Design (TPG) were commissioned by the Swanbourne Estate Development Pty Ltd to prepare an Outline Development Plan (ODP) to guide the future redevelopment and subdivision in the Old Swanbourne Hospital Precinct (the Precinct).

The ODP supports the high quality redevelopment of the Precinct that respects the existing heritage buildings. This section of the report provides information as required under clause 3.8 of the City of Nedlands Town Planning Scheme No. 2 (TPS2).

The ODP has been prepared to:

- Enable the sustainable and sensitive conservation of the heritage values in the Precinct;
- Identify appropriate new uses and establish over-arching development provisions to guide new development;
- Maintain the cultural and recreation importance of the precinct to the local community; and
- Ensure that the reuse and redevelopment of the Precinct does not adversely impact the amenity of the surrounding development.

The ODP is informed by the advice from the Heritage Council of Western Australia, the provisions of the City of Nedlands Town Planning Scheme No. 2 (TPS2), the Taylor Burrell Barnett Development Plan 03/06/012A dated October 2005 and the Local Planning Policy: Old Swanbourne Hospital Precinct (May 2008), in addition to the revised Conservation Plan and Heritage Agreement.

BACKGROUND

Historically, the Precinct accommodated the Claremont Hospital for the Insane which subsequently became the Swanbourne Hospital for the mentally ill. In 1986 the hospital was closed and in 1987 the surrounding land was subdivided for residential purposes. The Precinct remained vacant and unused since its closure and the ongoing vacancy has contributed to extensive vandalism.

In 1991, the State Government elected to dispose of the site in accordance with the Government Heritage Property Disposal process since neither the State Government nor the City of Nedlands was interested in retaining the site for public purposes.

In 2003, the Department of Housing and Works appointed Taylor Burrell Barnett (TBB) to undertake a study of the Precinct that included public consultation. The study produced a development plan (03/016/012A dated October 2005), which indicated the future land use and development potential for the site. The study also produced draft design guidelines and precinct policy provisions, which were to be adopted as a local planning policy for the Precinct. The development plan, draft policy provisions and design guidelines were used to support Amendment No. 158 which rezoned the Precinct for future redevelopment.

The amendment was gazetted in October 2005 and the site was sold through a tender process in January 2006 to the current landowner.

SITE DESCRIPTION AND LOCATION

LOCATION

The Old Swanbourne Hospital Precinct comprises the former Swanbourne Hospital estate in Mount Claremont in the City of Nedlands. The Precinct is found 7 kilometres from the Perth City Centre and 3 kilometres from the coastline.

John XXIII College, Graylands Hospital and the Industrial Rehabilitation Division are found approximately one kilometre east of the site. The site is approximately 700 metres from the Mount Claremont shopping centre and is well-serviced by local public open space including Hamilton Park, Mooro Park, Pine Tree Park and Mount Claremont Oval. Lake Claremont and the Lake Claremont

Golf Course are also located two kilometres south of the site whilst the Cottesloe Golf Club is located a similar distance to the west.

Refer to figure 8: location plan

THE SUBJECT LAND

The Precinct is bounded by Lot 35 St Johns Wood Boulevard, St Johns Wood Boulevard and Abbey Gardens to the west, Charles Lane, Lot 11381 (Reserve R41549) to the south, Lot 167, Heritage Lane, Lot 520, Lot 519 and The Marlows to the east, and Lot 521 to the north.

REFER TO FIGURE 9: SITE PLAN

SITE CONTEXT

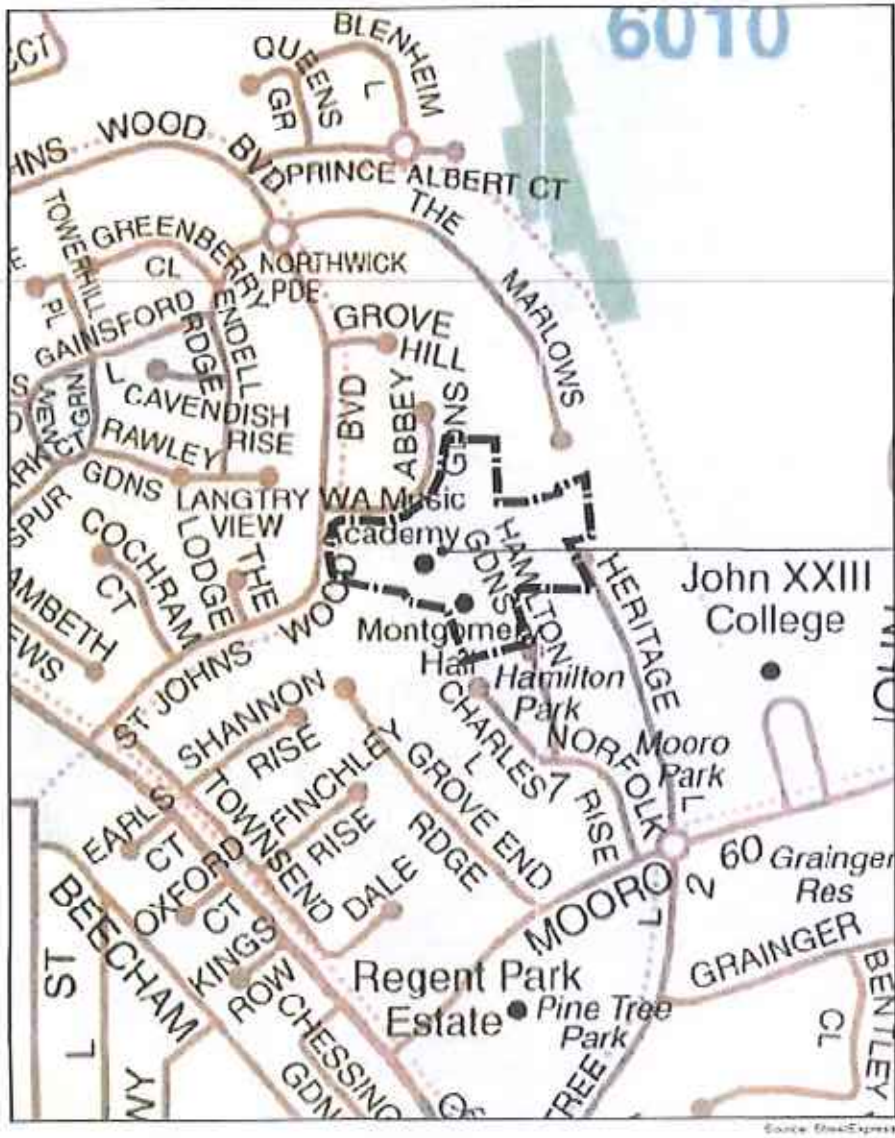
The hospital buildings represent the structural elements of the Precinct and are regarded as having significant cultural heritage value. The buildings include the Administration Building, the Stores, the Female and Male Attendants Blocks, the Kitchen, Montgomery Hall, the Covered Way and the Courtyard.

REFER TO FIGURE 10: HOSPITAL BUILDINGS

The buildings are located at the core of the Precinct and are surrounded by an expansive area of open space being the former hospital grounds and Montgomery Hall, which is paved and grassed. The Precinct is also bound by the Circular Drive and Formal Entrance on the eastern extent of the site. The Northern and Southern Subdivision Wings surround the hospital buildings to the north and south and are currently vacant.

FIGURE 8

FIGURE 8 - LOCATION PLAN



Subject Site

Source: EmapExpress

FIGURE 9

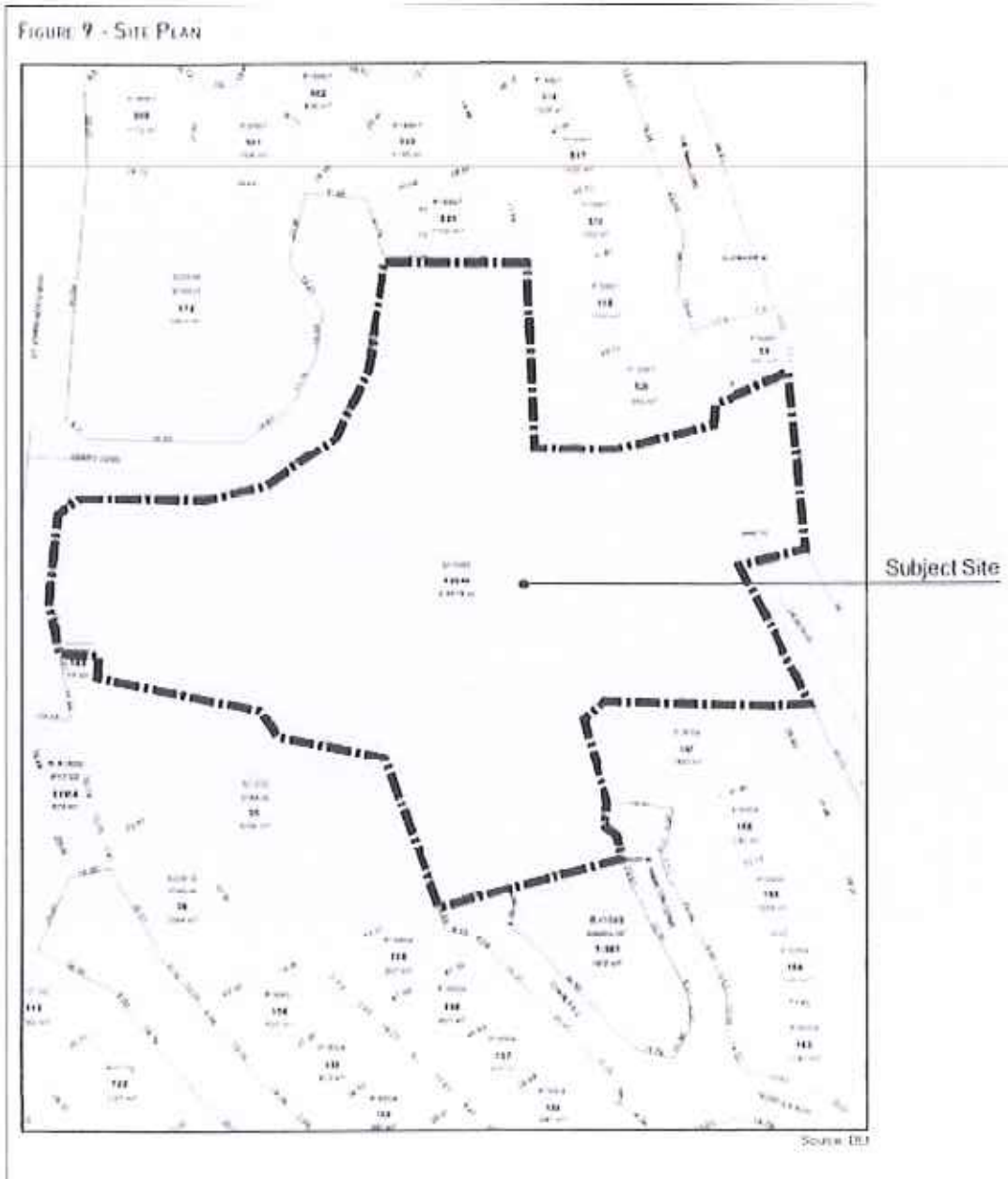
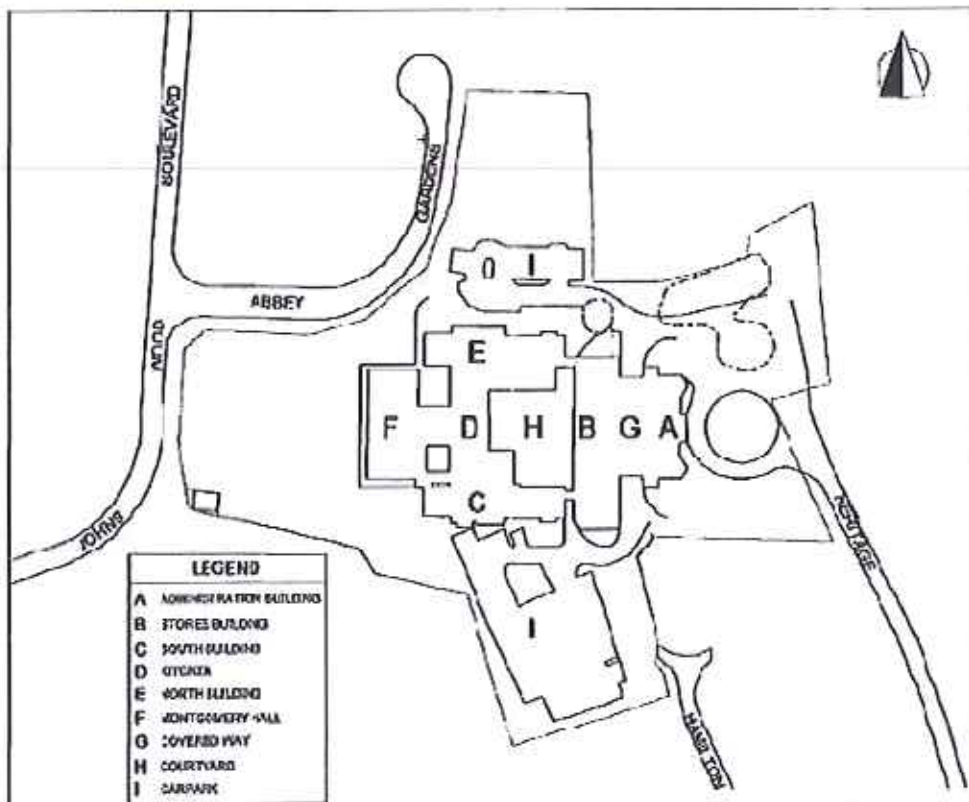


FIGURE 10

FIGURE 10 - HOSPITAL BUILDINGS



- Notwithstanding the provisions of Table 1: Use Class Table and in accordance with the Development Plan referred to in 5.15(a), the following uses are 'AA' or discretionary uses:
 - Caretakers Dwelling
 - Home business
 - Car park
 - Home occupation
 - Civic Building
 - Medical Centre
 - Club Premises
 - Office: General
 - Consulting room(s)
 - Office: Professional
 - Dwelling House: Single
 - Recreation: Private
 - Dwelling House: Grouped
 - Recreation: Public
 - Dwelling House: Multiple
 - Residential Building
 - Educational Establishment
 - Restaurant

All other uses are 'X' or not permitted uses.

- Prior to Council considering any application for subdivision and/or development onsite, in accordance with clause 3.8 of the Scheme, the applicant shall submit an Outline Development Plan (ODP) for the approval of the Council, in consultation with the HCWA;

SITE DETAILS

The Precinct comprises Lot 12040 which is owned by The Swanbourne Estate Development Pty Ltd as trustee for The Swanbourne Estate Development Joint Venture. Lot 12040 includes the Northern and Southern Subdivision Wings, the hospital buildings and the surrounding open space. The following table provides the property details of the subject land.

Lot	Street	Volume or Folio	Diagram No.	Land Area	Landowner
12040	St Johns Wood Boulevard	2121/149	75983	2.48ha	The Swanbourne Estate Development Pty Ltd

A copy of the Certificate of Title is included as Appendix A.

Lot 12040 is affected by a memorial in accordance with the *Heritage of Western Australia Act 1990*. The memorial was lodged by HCWA in 1994 whereby the land described as the Swanbourne Hospital Conservation Area (formerly Lot 171 on Diagram 75983, now Lot 12040) was entered onto the Register of Heritage Places, pursuant to Division 2 of Part 5 of the *Heritage of Western Australia Act 1990*.

The Administration Building, Montgomery Hall, the Male Attendants Block, Female Attendants Block, Kitchen and Store are regarded as being of cultural heritage significance since they represent the remnant core of the original Claremont Hospital for the Insane (subsequently known as Swanbourne Hospital). The hospital buildings were the State's largest institution for the care of mentally ill throughout most of the twentieth century.

SURROUNDING LAND USES

The Precinct is set contextually within a broader residential area to the west, north and south. Existing residential development ranges in style from a majority of single lot development that has a mix of one and two storey houses to duplex style and retirement residences.

PLANNING FRAMEWORK

METROPOLITAN REGION SCHEME

The land is zoned 'Urban under the Metropolitan Region Scheme (MRS).

Refer to figure 11: MRS map

CITY OF NEDLANDS TOWN PLANNING SCHEME NO. 2 (TPS2)

The Precinct is located within the City of Nedlands and zoned 'Development' under TPS2. It is considered a place of natural beauty and entered as item 3 in Appendix II of TPS2 "Conservation and Preservation of Place of Natural Beauty and Historic Buildings and Objects of Historic or Scientific Interest."

Refer to figure 12 - TPS2 map

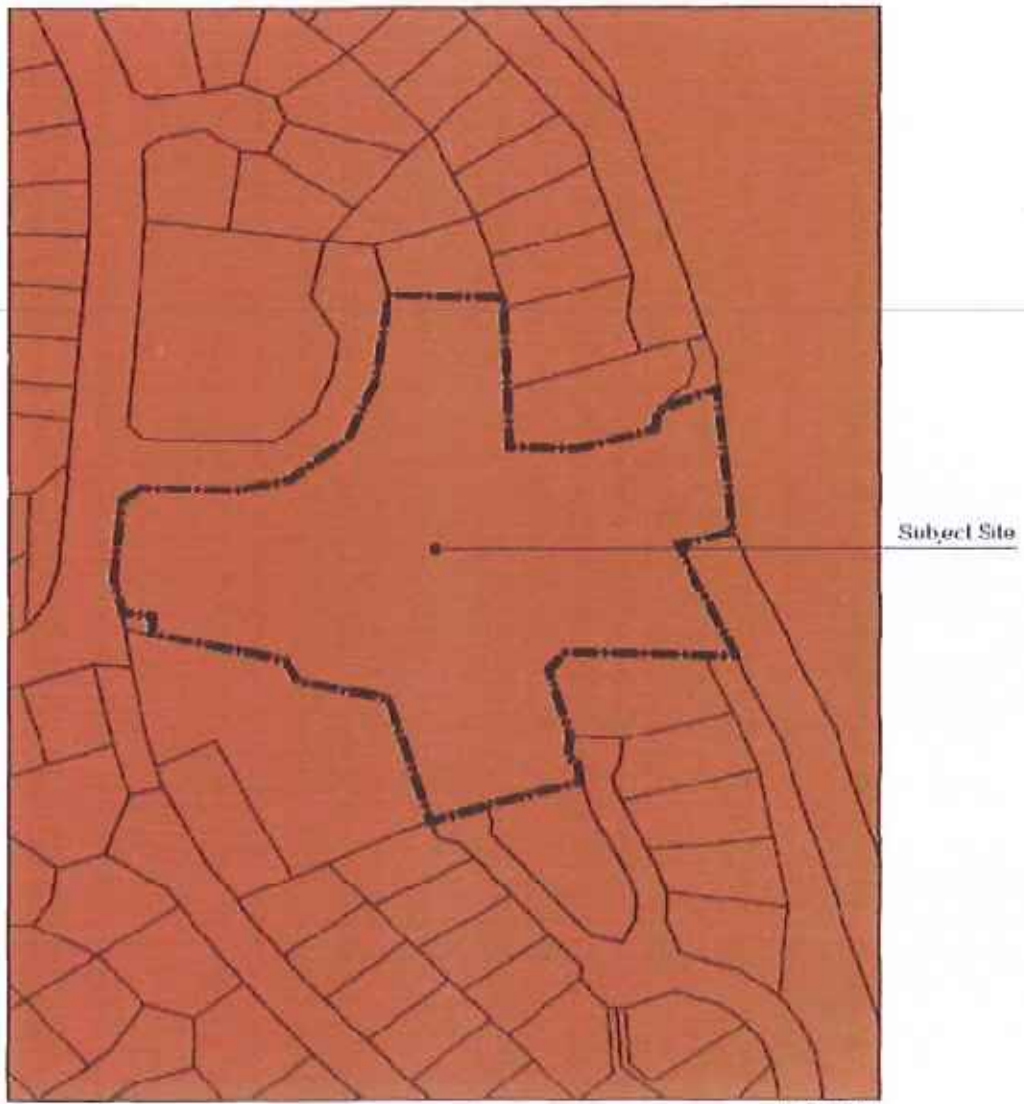
Clause 5.15 of TPS2 specifies the requirements affecting the development of the Precinct including:

- Prior to Council considering any application for subdivision and/or development of the site, a suitable and sustainable low key adaptive use for Montgomery Hall shall be identified;
- Council shall require subdivision and development to be generally in accordance with the Development Plan No. 03/16/12A dated July 2005, annexed to Local Planning Policy: Old Swanbourne Hospital Precinct;
- Council shall require subdivision and development to have regard to and be generally consistent with Local Planning Policy: Old Swanbourne Hospital Precinct;

- Prior to Council considering any application for subdivision and/or development on the site, a revised Conservation Plan for the site shall be completed to the satisfaction of the HCWA in accordance with the Government Heritage Property Disposal Process; and
 - Any application for subdivision and/or development shall have due regard for the revised Conservation Plan for the site and shall demonstrate the conservation of the existing heritage buildings to the satisfaction of the HCWA.
-

FIGURE 11

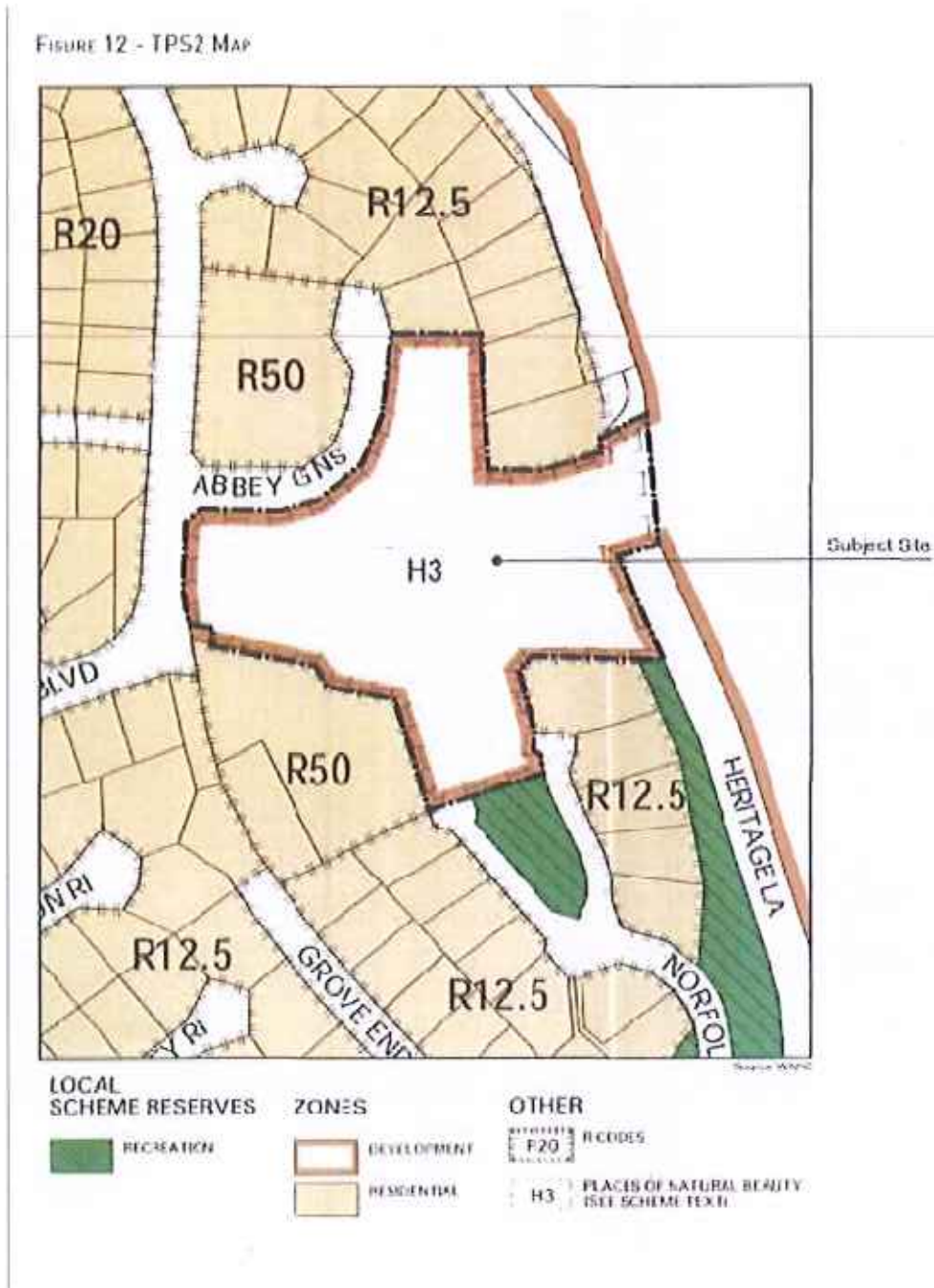
FIGURE 11 - MRS MAP



Legend
Urban

Source: Landgate

FIGURE 12



Clause 3.8 of TPS2 deals with land that is zoned "Development" on the Scheme Map. Subclause 3.8.2 requires that development of land that is zoned "Development" shall make application to the Council for approval in accordance with Part 6 and shall submit with the application, an overall concept plan for the land in the Development Zone or such part thereof as the Council shall require.

The Outline Development Plan shall show:

- The topography of the area;
- The existing major road systems;
- The location and width of proposed roads;
- The approximate location and quantity of shopping, civic and public facilities proposed;
- The approximate location of the recreation and open space area proposed;
- The population and residential densities proposed including the spatial location of appropriate Residential Planning Code densities;
- The basic layout of a sewerage system;
- The layout of comprehensive drainage, both land and stormwater;
- Landholdings adjacent to or in the vicinity of the area the subject of the application;
- The development proposed, the method of carrying out the development and the projected times of completion of each stage of development; and
- Such other information as shall be required by the Council.

Under subclauses 3.8.3 to 3.8.7 of TPS2, if the ODP is approved by Council in principle it is to be submitted to the Town Planning Board (the Board). If the Board also approves the plan in principle, it is to be advertised for a minimum period of 21 days for public comment. Submissions received during advertising are to be considered by Council and after consultation with the applicant, the ODP may be amended.

Council may decide not to proceed with the ODP or may submit it to the Board together with objections and a request that the Board adopt the plan as the basis for the approval of subdivision and development applications for the area covered by the plan.

STATE PLANNING POLICIES

The ODP is cognisant of a number of key State planning policies and strategies.

STATE PLANNING STRATEGY

The State Planning Strategy incorporates the following key principles relevant to the redevelopment of the Precinct:

- To protect and enhance the key natural and cultural assets of the State and deliver to all Western Australians a high quality of life which is based on sound environmentally sustainable principles;
- To respond to social changes and facilitate the creation of vibrant, accessible, safe and self-reliant communities; and
- To facilitate strategic development by ensuring land use, transport and public utilities are mutually supportive.

The ODP will implement strategic development objectives by establishing new uses for the Precinct that will enable the conservation of significant heritage values. The ODP will facilitate development that provides diverse residential and a limited number of non residential options in proximity to the coast and other community assets that will improve the local amenity.

NETWORK CITY: COMMUNITY PLANNING STRATEGY (WAPC)

Network City is a strategy prepared to guide the future form and function of the Perth Metropolitan and Peel Regions. It embodies a metropolitan land use and transport strategy through a whole-of-

Government approach to the provision of services and a commitment to partnership with local government in planning with communities.

The key elements of Network City relevant to the LSP include:

- Consolidating residential development in existing areas and directing urban expansion into designated growth areas which are, or will be, well serviced by employment and public transport;
- Giving priority to infill development in established urban areas, particularly through urban regeneration and intensification of development on under-utilised urban land, whilst respecting neighbourhood character;
- Locating higher residential densities in locations accessible to transport and services, such as in and around the CBD, regional and district centres and activity corridors; and
- Developing an integrated land use and transport network which reduces car dependence and broadens travel options, makes it easier for people to use public transport or walk/cycle to their destinations.

The ODP will serve to implement the strategies and objectives of Network City by encouraging more effective use of urban land by revitalising under utilised urban land whilst respecting the neighbourhood character.

LIVEABLE NEIGHBOURHOODS (2007)

The Liveable Neighbourhoods principles apply to the preparation and review of regional, district and local structure plans for new urban areas, local structure plans for new subdivisions and in planning for the revitalisation or redevelopment of existing areas.

These principles include:

- A sense of community, strong local identity and sense of place in neighbourhoods and towns;
- Active street frontages with buildings facing streets to improve personal safety through increased surveillance and activity;
- A variety of lot sizes and housing types to cater for the diverse housing needs of the community at a density that can ultimately support the provision of local services;
- Subdivision and housing types which can adapt to changing needs and accommodate gradual intensification; and
- The protection of key environmental areas and the incorporation of significant cultural and environmental features of a site into the design of an area with an integrated approach to the design of open space and urban water management.

The proposed ODP serves to implement the above requirements of Liveable Neighbourhoods 2007 by particularly establishing an overarching framework for future development subdivision on the site.

SPP 3.5 HISTORIC HERITAGE CONSERVATION (2007)

The policy notes that heritage conservation and sustainable economic development should be seen as complementary rather than conflicting objectives. Adaptation of buildings for new uses is seen as the key to conservation of heritage places that no longer serve their original function, and will often require imagination and flexibility. Exercising effective controls over land use, density and plot ratios through town planning schemes and other planning controls is an important practical way to attain heritage conservation outcomes.

Development control principles should be applied to planning applications concerning places that are entered in a heritage list, a place or area entered in the state register or a heritage area designated pursuant to a local planning scheme. The weight given to heritage as a consideration will vary depending on the degree of significance of a place or area, and relevant economic, social or environmental factors that may apply.

In regard to alterations, extensions or change of use affecting a heritage place, development should involve the least possible change to the significant fabric. Alterations and additions should not detract from the significance of a heritage place and should be compatible with the siting, scale, architectural style and form, materials and external finishes of the place. Compatibility requires additions or alterations to sit well with the original fabric rather than simply copying or mimicking it. Sympathetic adaptation and change of use should be supported where the conservation and protection of a heritage place requires a change of use to ensure a reasonable beneficial use. Development should accord with local planning policies relating to heritage.

Demolition of a State heritage place is rarely appropriate and should require the strongest justification. It is noted however that there will be circumstances where demolition is justified although the onus rests with the applicant to provide a clear justification for this. Consideration of a demolition proposal should be based on the significance of the building or place, the feasibility of restoring or adapting it, or incorporating it into new development, the extent to which the community would benefit from the proposed redevelopment and any local planning policies relating to the demolition of heritage places.

Development within a heritage area should complement the heritage significance of the area as identified in a local planning policy. Respectful design should give special consideration to the siting, scale, architectural style, and form, materials and finishes of the proposed development in relation to its neighbours without copying historic detailing or decoration. Buildings that make positive contributions should be retained and any new buildings erected in heritage areas should be designed and sited in a way that respects and complements the heritage significance of the area. New construction that is imaginative, well designed and harmonious should not be discouraged.

LOCAL PLANNING POLICIES AND STRATEGIES

TAYLOR BURRELL BARNETT STUDY

In 2003 TBB was appointed by the Department of Housing and Works (DHW) to undertake a study of the former Swanbourne Hospital site. The study resulted in the preparation of the 2005 TBB Development Plan, which indicated future land use and development of the site. The plan was created to support an application to rezone the site under Amendment No. 158 and give greater development certainty to a future purchaser of the site.

The Study also produced draft policy provisions and design guidelines. The draft policy provisions were created as general provisions and specific provisions relating to the existing hospital buildings, Montgomery Hall, Administration Buildings, West Wing, East Wing, Northern Wing and Southern Wing. The draft provisions were later revised in 2008 and adopted as the Local Planning Policy: Old Swanbourne Hospital Precinct.

LOCAL PLANNING POLICY: OLD SWANBOURNE HOSPITAL PRECINCT

Under clause 5.15.3 of TPS2, all development is to have regard to and be generally consistent with Local Planning Policy: Old Swanbourne Hospital Precinct. The latest version of the Local Planning Policy was adopted by the Council in May 2008 and is based on the recommended draft policy provisions prepared as part of the earlier TBB Study.

The Local Planning Policy for the Precinct include a set of general provisions that deal with the heritage buildings, public access, vehicular access, parking, agreements, landscaping, subdivision, public open space, curtilage and other elements.

The Local Planning Policy also sets out specific provisions that concern the use and development, landscaping, parking and curtilage and new building issues for the existing buildings, as well as the use, landscaping parking and public access for Montgomery Hall. Specific provisions also deal with the use, curtilage and covered way for the Administration Building, and well as the use, landscaping, public access, and other issues related to the east and west wings. Specific provisions have also been prepared for the north and south wing in respect of use, public access, parking, height and levels, fencing, landscaping and agreements.

The general and specific requirements of the Local Planning Policy have been incorporated into the proposed ODP.

CONTEXT AND ANALYSIS

TOPOGRAPHY

The Precinct has an undulating topography. It rises from 29 metres on the western site boundary to 40 metres at the Administration Building. In the east, the topography rises steeply from Heritage Lane towards the Circular Drive, as well as both north and south of the roundabout at the eastern entrance. The Northern Subdivision Wing has a gentle northerly rise of approximately 1.5 metres. The Southern Subdivision Wing falls gently to the west by 2.5 metres.

EXISTING VEHICLE ACCESS

Vehicles access to the site can be taken from Heritage Lane, Abbey Gardens, Hamilton Gardens and Charles Lane. Heritage Lane provides access to the formal entrance on the eastern side of the Precinct and under the TBB Development Plan, Heritage Lane is to be retained as the principle means of vehicle access. Abbey Gardens is to provide access to Montgomery Hall.

SOCIAL INTEGRATION

The Precinct exists as an important piece of infrastructure in the local community. Aside from its historical significance as the State's principle hospital for the mentally ill, the site has important recreation values for the surrounding residential area. Since being vacated in the late 1980s, the Precinct has gradually deteriorated through constant vandalism. Set in a primarily residential environment, the redevelopment and conservation of the heritage buildings will revitalise and inject new life into the Precinct. Redevelopment will also contribute to a stronger community identity and through design strategies, create an interactive neighbourhood space.

PHYSICAL CONNECTIONS

The built structures on the site have a significant cultural and social history and future development needs to respect and respond appropriately to the heritage integrity of the Site. Heritage considerations for future development are outlined below.

HERITAGE CONSIDERATIONS

OLD SWANBOURNE HOSPITAL CONSERVATION PLAN OR HERITAGE AGREEMENT

The Precinct is listed on the State Register of Heritage Places as the Old Swanbourne Hospital Conservation Area, whereby aside from the buildings, the roads, trees and spaces between the buildings are also protected.

The former Swanbourne Hospital is considered significant for the following reasons:

- The buildings that remain on the Swanbourne Hospital site are the remnant core of the Claremont Hospital for the Insane constructed in 1904;
- The hospital was Western Australia's largest institution for the care of the mentally ill throughout most of the 20th century;
- The buildings have a landmark quality, occupying a prominent site and are visually dominant from the surrounding areas including the formal grandeur of the Administration Building on the eastern side of the site, with its limestone and brick façade and Donnybrook stone portico; and
- The site contains the following elements of considerable significance: the Administration Building (1904), Montgomery Hall (1904), Male Attendant's Block (1904), Female Attendant's Block (1904 and 1912), Kitchen (1904), Store (1904), Covered Way (1906) between the Administration Building and the Store, and the formal space to the east of the Administration

Building including the circular drive, circular planted bed, the Eucalyptus Clodocalyx and Port Jackson Fig on the northern side of the site.

TPS2 requires development to be in accordance with a Government Heritage Property Disposal Process which includes the requirement for a Conservation Plan and Heritage Agreement for the site, prior to the commencement of development. All development applications are also required to be referred to the HCWA for consideration as part of the statutory approval process.

A Conservation Plan for the site was completed in 1994 and an updated schedule of works was completed in 2001. A Heritage Agreement was signed in 2005 and the Conservation Plan was updated in 2005. The Conservation Plan identifies the following 'Future Use' and 'Physical Conservation' policies:

Future Use and Development:	<ul style="list-style-type: none"> • Future uses that do not require major adaptation of significant buildings and site area are appropriate. These could include commercial, residential or community uses; and • Montgomery Hall should be used for a purpose that allows some public access. Use as a theatre or other entertainment or performance venue, or for meetings is desirable.
Plantings and Landscape Features:	<ul style="list-style-type: none"> • Significant buildings on the Swanbourne Hospital Conservation Area site should be retained and conserved in accordance with the place specific policies included in the Conservation Plan; • The significant buildings in the Swanbourne Hospital Conservation Area should not be extended; • The open areas of the Administration Building and west of Montgomery Hall should be retained and no new buildings should be constructed in these spaces; • Views of Montgomery Hall from the west and the Administration Building from the east should not be obstructed; • Generally surface treatments including bitumen and concrete pavers are not of particular heritage significance and may be retained or altered as required. Bitumen adjacent to the Administration Building requires repair. Although not of particular heritage significance, concrete slabs suit the scale of the former institutional buildings and are appropriate for pathways around the building; • Where they remain extant, the original stone edging to planted beds should be retained. In some areas stone edging has been reinstated (south of the South Block) and is appropriate to the significance of the place. Where concrete edging has been used this may be retained or replaced with stone. Consider in particular replacing the concrete edging to the circular bed east of the Administration Building with stone; and • Where possible, mature trees associated with the original Claremont Hospital for the Insane should be retained. In particular retain the mature Port Jackson Fig and Eucalyptus Clodocalyx north of the Administration Building.

Courtyard:	<ul style="list-style-type: none"> • The Courtyard should be retained as open space. If new structures are required, these should comprise shelters or pavilions only and should be relatively small structures no larger than the former meat store, no longer extant but shown on 1904 plans of the area. The Courtyard could be landscaped provided the landscape treatment was designed in a manner compatible with the heritage value of the adjacent buildings; and • The remnant Covered Ways between the Store and the South and North Blocks could be retained or photographed and removed.
Retaining Walls and Steps:	<ul style="list-style-type: none"> • Retain and conserve without alteration the limestone retaining walls south and north of the Administration Building. The concrete steps immediately north of the Administration Building are also original and should be retained and conserved;
	<ul style="list-style-type: none"> • Limestone walls adjacent to Montgomery Hall are recent and may be retained, removed, or replaced as required. While not of heritage significance, they are appropriate to the site. Any new walls should be of similar limestone construction; • Other than the steps north of the Administration Building, steps may be retained removed or replaced as required; and • Brick retaining walls may be retained or replaced as required.
Covered Walkway:	<ul style="list-style-type: none"> • The steel framed awning over the covered walkway east of Montgomery Hall dates from the 1950s refurbishment. It is recommended that it be removed and left either open or replaced with a covered walkway reflecting the detail of the original walkways of the site. Alternatively a contemporary awning that interprets the form of the original walkway may be considered; • The Covered Walkway between the Administration Building and the Store is original and should be retained and conserved. Any timbers that require replacement should be replaced with material of the same dimensions and species and finished to match the remainder of the structure. The wired glass is original. Replace broken sections with clear laminated glass and retain a section of the original wired lass for interpretative purposes. Contemporary wired glass is not the same quality as the original and need not be used in the restoration of the roof. The detail of the gable ends at the north and south of the structure should be retained and the structure should not be extended; and • If the roof sheeting requires replacement, short sheets of galvanised iron should be used.
Toilet Blocks:	<ul style="list-style-type: none"> • The two brick toilet blocks east of Montgomery Hall may be retained or removed. If they are removed the courtyard areas in which they are located should be landscaped. Consideration should be given to creating herb gardens in these areas as they were originally associated with the Kitchen.
Lights:	<ul style="list-style-type: none"> • Floodlighting of the building is not of heritage significance, but enhances the buildings at night it is recommended that floodlights be retained in any redevelopment of the site if possible.
Roads and Car parks:	<ul style="list-style-type: none"> • Access to the Swanbourne Hospital Conservation Area site from Heritage Lane should be retained as the primary access to the place in any future adaptive reuse or redevelopment of the place; and

- | | |
|--|--|
| | <ul style="list-style-type: none">• The circular driveway and circular planted bed east of the Administration Building should be retained and conserved in any redevelopment of the place. |
|--|--|

OUTLINE DEVELOPMENT PLAN OUTLINE

The ODP includes the whole of Lot 12040, which can be characterised as three distinct areas; the Northern Subdivision Wing, the Southern Subdivision Wing and the Existing Heritage Buildings. Whilst this ODP sets out the general development provisions for the ODP area, detailed development parameters will be provided via a set of DAPs including design guidelines, which address each of the character areas. The DAPs are to be approved prior to the approval of development applications. The DAP for the Northern and Southern Subdivision Wing is to be approved as a condition of a subdivision approval imposed by the WAPC on the 24 February 2010.

The key aspects of the ODP area discussed below in detail.

PUBLIC OPEN SPACE

The ODP cedes a minimum of 10 % of the site area as Public Open Space. The land ceded as Public Open Space is to be vested in the City of Nedlands.

MOVEMENT SYSTEMS

VEHICLE ACCESS

Vehicle access is provided generally in a manner that is consistent with the TBB Development Plan. Primary vehicular access to the Precinct is provided via Heritage Lane with service access to Montgomery Hall from Abbey Gardens. Access to the Northern Subdivision Wing is provided via Abbey Gardens and the 6.0 m road reserve. Access to the Southern Subdivision Wing is provided via Hamilton Gardens for Lot 6, and from the 6.0 m road reserve via Charles Lane for remaining lots. The road reserves created within the subdivision wings are to be dedicated road reserves.

PEDESTRIAN ACCESS

Pedestrian access is provided generally in a manner that is consistent with the TBB Development Plan. It may be facilitated via a three (3) metre wide shared access path that will provide a high level of public access through the site.

The shared access path will provide a link from Heritage Lane to the Northern Subdivision Wing, Montgomery Hall, the Southern Subdivision Wing and the circular driveway. The shared access path will also connect to the existing residential area on St Johns Boulevard and Abbey Gardens, Charles Lane, Heritage Lane and the adjoining land to the north east.

The proposed shared access path is to be constructed in coloured aggregate to blend into the heritage character of the site and soften the visual impact

Private pedestrian access is also to be maintained through the 'Covered Way' which may be utilized as car parking that remains sensitive to the heritage values of the Covered Way.

PUBLIC TRANSPORT

Bus services (Route: 27 between East Perth - Claremont Train Station and Route: 28 between East Perth - Claremont Station deviating at Floreat Forum Shopping Centre) provide public transport access to the surrounding centres (Claremont and Floreat Shopping Centre and Claremont Train Station which provides links to Fremantle, Subiaco and Perth). These bus routes also provide access to Swanbourne Beach. The bus stops are accessed from The Marlows located to the north west of the Precinct.

LAND USE

The land uses proposed for the Precinct are consistent with the provisions of the TBB Development Plan.

Montgomery Hall is to be utilised for a sustainable, low key private community use which will enable the Southern Subdivision Wing to be developed for residential uses.

The Existing Hospital Buildings may be converted into residential or retirement housing or an assisted care facility. They may also incorporate a possible café or arts/community facility as well as consulting rooms and a hospital medical facility. A new building may be located in the existing courtyard.

The Administration Building and Covered Way may be redeveloped for residential, retirement housing, home based business, commercial, mixed use, consulting rooms and professional offices with parking or courtyards along the Covered Way.

The Northern and Southern Subdivision Wings may be developed for residential purposes to a density of R20 and R30 in accordance with the approved subdivision plans.

A portion of the site as evidenced on the ODP is to be ceded as Public Open Space and vested in the City of Nedlands.

RELATIONSHIP TO ADJOINING LAND

The redevelopment of the Precinct is to respond appropriately to its mainly residential surrounds. The proposed densities represent a median position between the existing R50 and R12.5 densities that abut the site. The uses proposed for the adaptation of the existing buildings are complementary to the residential character of the locality. The proposed pedestrian and vehicle access makes use of existing road connections and provides a high level of connectivity throughout the site.

URBAN DESIGN

Details of the ultimate design of the Precinct are to be determined through DAPs for the Northern and Southern Subdivision Wings and the heritage buildings. The DAPs which are to be informed by the general principles embodied in this ODP, are to be adopted prior to the approval of development applications and are to respect the heritage character and qualities of the Precinct. The DAPs will include specific guidelines that articulate the development requirements appropriate to each character area.

The layout of the subdivision wings have nevertheless been indicatively designed to address the heritage buildings at the core of the Precinct. This orientation towards the heritage buildings and their visual curtilage will create an interactive, intimate space which fosters a sense of community and residential neighbourhood.

CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN (CPTED)

Whilst the Precinct appears reasonably attractive, safe and well utilised for recreation by surrounding properties, the Precinct has been a constant target for vandalism. Given the extended period of vacancy and relative deterioration of the heritage buildings the site could become a host to antisocial behaviour.

The proposed ODP reinforces CPTED principles since it creates well defined legible and visible public spaces and maintains a capacity to separate areas for pedestrian and vehicle access. The orientation of lots in the Northern and Southern Subdivision Wings which addresses the heritage buildings, ensures good passive surveillance and interaction between the different character areas.

CONCLUSION

TPG was commissioned to prepare an ODP to guide the future redevelopment and subdivision in the Old Swanbourne Hospital Precinct.

The ODP supports the high quality redevelopment of the Precinct in line with clause 3.8 of the City of Nedlands TPS2.

The ODP sets out the broad development parameters based on heritage advice, the revised conservation plan, the recommendations resulting from the TBB study and TPS2 provisions. In acknowledging the work undertaken in regard to the site, this ODP seeks to conserve the cultural and recreation amenity of the Precinct to the local community whilst establishing a way forward for sustainable adaptation.

APPENDIX A: CERTIFICATE OF TITLE

1041
 Page 1 (of 2 pages) 2121-149
 Simareaded - Cani for Claret
 149

WESTERN



AUSTRALIA

2121/149 (1/1000)	
12040/D75983	
FREEHOLD EDITION	INTERESTS/NOTICES
N/A	N/A

RECORD OF CERTIFICATE OF TITLE
 UNDER THE TRANSFER OF LAND ACT 1893

VOLUME 2121 PAGE 149

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limits contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.

RS Roberts
 REG'STRAR OF TITLES

LAND DESCRIPTION:

LOT 12040 ON DIAGRAM 75983

REGISTERED PROPRIETOR:
 (FIRST SCHEDULE)

SWANBOURNH ESTAYB DEVELOPMENT PTY LTD OF 461 SCARBOROUGH BEACH ROAD, OSBORN PARK (T 3699620) REGISTERED 12 APRIL 2006

LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS:
 (SECOND SCHEDULE)

- *G667946 MEMORIAL, HERITAGE OF WESTERN AUSTRALIA ACT 1997, LODGED 18.12.1997.
- *J699622 MEMORIAL, HERITAGE OF WESTERN AUSTRALIA ACT 1997, LODGED 12.1.2006.
- *J699621 MORTGAGE TO AUSTRALIA & NEW ZEALAND BANKING GROUP LTD REGISTERED 12.4.2006.

Warning: A current search of the sketch of the land should be obtained where details of position, dimensions or area of the lot is required.
 * Any entries preceded by an asterisk may not appear on the current edition of the duplicate certificate of title.
 Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF TITLE-----

STATEMENTS:

The statements set out to one are not intended to be used should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND: 2121-149.
 PREVIOUS TITLE: This Title.
 PROPERTY STREET ADDRESS: LOT 12040 ST JOHNS WOOD BYD, MOUNT CLAREMONT.
 LOCAL GOVERNMENT AREA: CITY OF NEELANDS.

- NOTE 1: A000001A LAND PARCEL IDENTIFIER OF SWAN LOCATION 12040 (OR THE PART THEREOF) ON SUPERSEDED PAPER CERTIFICATE OF TITLE CHANGED TO LOT 12040 ON FREEHOLD TITLE DIAGRAM 75983 ON 28-SEP-02 TO ENABLE ISSUE OF A DIGITAL CERTIFICATE OF TITLE.
 NOTE 2: THE ABOVE NOTE MAY NOT BE SHOWN ON THE SUPERSEDED PAPER CERTIFICATE OF TITLE OR ON THE CURRENT EDITION OF DUPLICATE CERTIFICATE OF TITLE.
 NOTE 3: DUPLICATE CERTIFICATE OF TITLE NOT ISSUED AS REQUESTED BY DEALING 3699621

DL1 COPY OF ORIGINAL NOT TO SCALE Mon Aug 28 17:25:04 2006 JOB 26309380

FOR ENCUMBRANCES AND OTHER MATTERS AFFECTING THE LAND SEE SECOND SCHEDULE

DL1 COPY OF ORIGINAL NOT TO SCALE Mon Aug 28 12:25:03 2006 JOB 26309380

PERSONS ARE CAUTIONED AGAINST ATTEMPTING TO TAKE THIS CERTIFICATE OR ANY NOTIFICATION

Page 2 (of 2 pages)

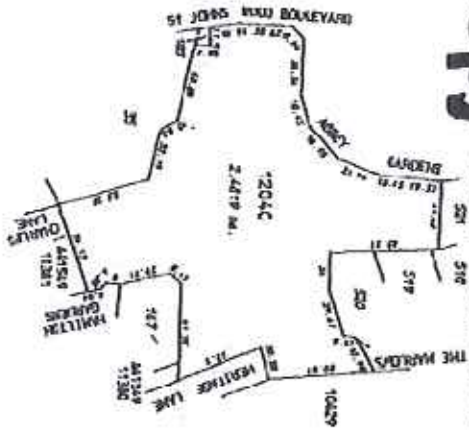
SUPERSEDED - Copy for Sketch Only

Any other measurements on this Plan
between any points of fixed set & fixed line
shall prevail in case of any discrepancy.

Scale: 1:2000

Drawn: LEO DALRYMPLE

Chk: ANTHONY

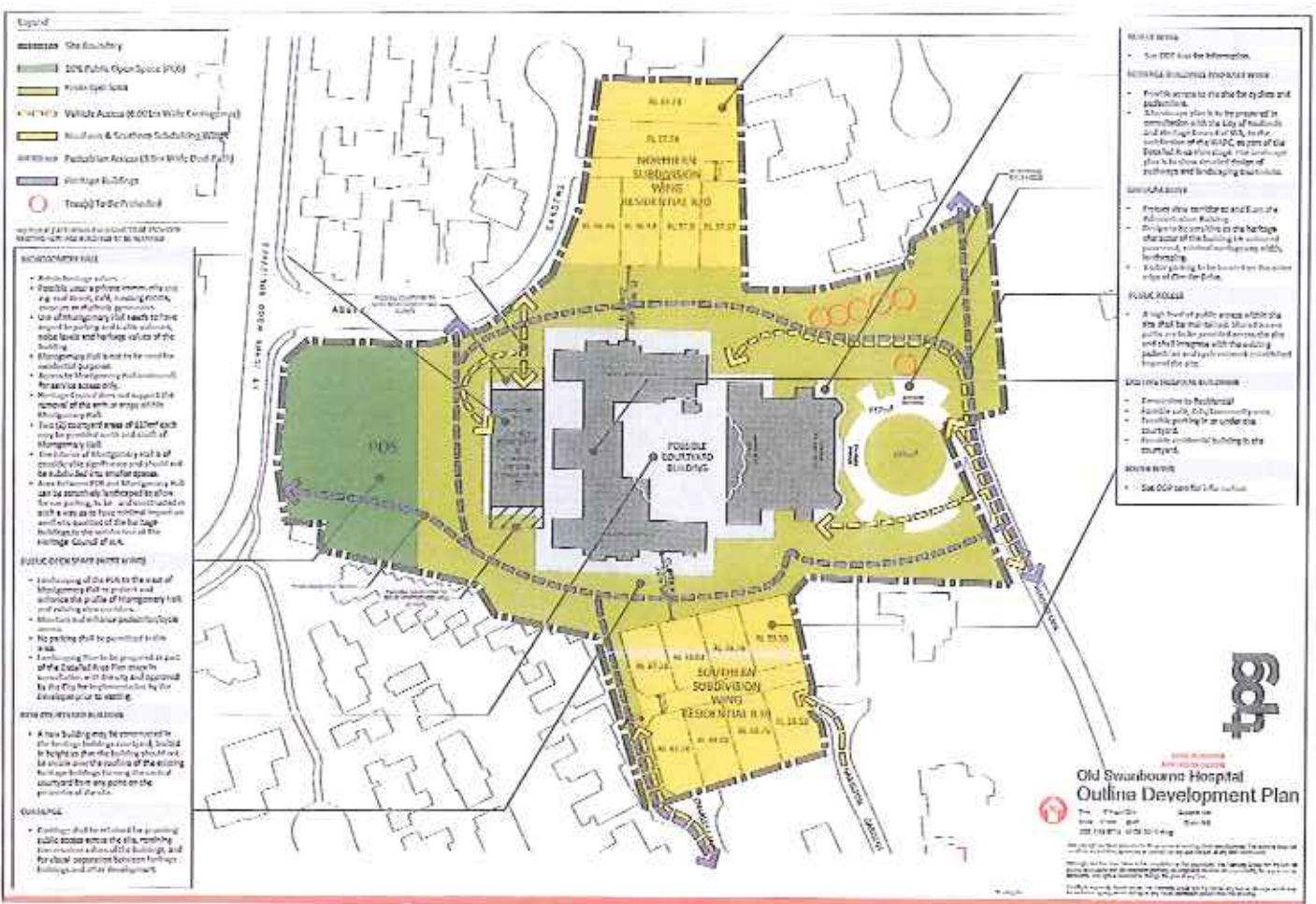


NOTE: SEALING THROUGH AND SEALING WITH THE OFFICE SEAL INDICATES THAT AN ENTRY NO LONGER HAS EFFECT.
ENTRIES NOT SEALED THROUGH MAY BE APPLIED BY SUBSEQUENT ENCROACHMENTS.

SECOND SCHEDULE		PARTICULARS									
MEMORIAL	SECTION	REGISTERED	THE	SOIL	DETAILS	CANCELLATION	NUMBER	REGISTERED	SEAL	INITIALS	
NO.								OR			
								LOANED			
Memorial	6667946										
	Part of Western Australia Act 1980. Lodged 18.12.97 at 15.25 HTS.										

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APPENDIX B: OUTLINE DEVELOPMENT PLAN



- Legend**
- The boundary
 - 100% Public Open Space (POS)
 - Public Open Space
 - Vehicle Access (000 to Wide Carriageway)
 - Mailbox & Services Subdividing Wall
 - Heritage Area (E to W of Road Path)
 - Heritage Buildings
 - To be Detailed

- NOTES**
1. All heritage values...
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- NOTES**
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