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**PD37.12– Attachment 1**  
**Locality Plan**

nday, 13 August 2012

1:500





The photo below shows the current street view of 3 Betty St, taken from directly opposite:



The visual impact of the garage door will be minimal as can be seen below on the same photo including a simulation of the proposed garage door:



Proposed garage door

The side of the garage that is most visible from street frontage remains open. Garage door will be perpendicular to street and not in full view from road.

**PD37.12– Attachment 2**  
**Pictorial Representation of Carport with Garage Door**

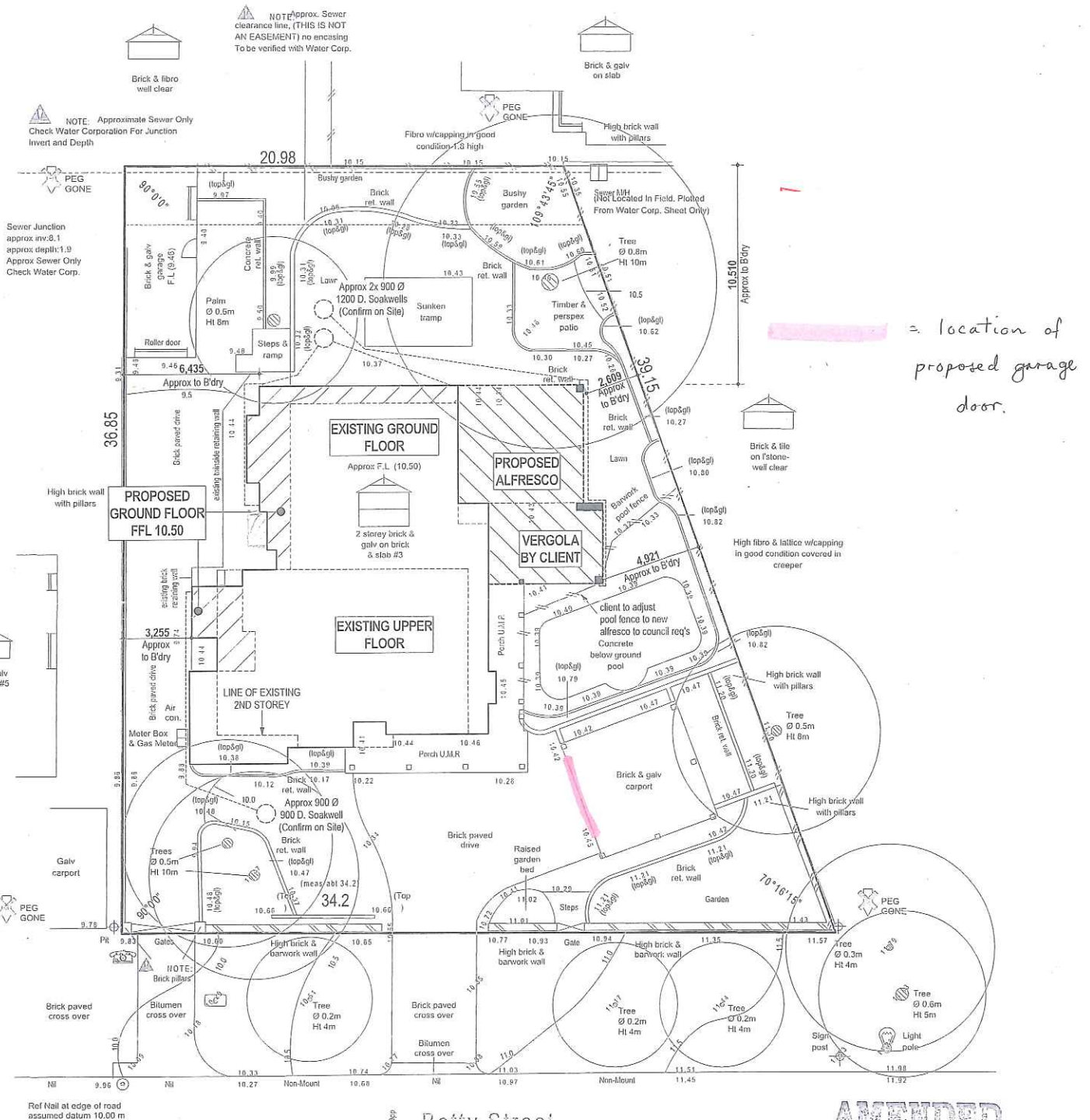
1. BUILDER TO CONNECT NEW DOWNPIPES TO SOAKWELLS AS PER COUNCIL REGULATIONS.  
 2. TREES TO BE REMOVED BY CLIENT, SHOWN AS DASHED LINE.  
 3. SOAKWELL LOCATION TO BE CONFIRMED ON SITE

LOT 2

SOIL DESCRIPTION

Sand  
 Refer to Survey

Scale 1:200



AMENDED  
 BUILDERS COPY  
 FINAL PLANS

PD37.12- Attachment 3  
 Site Plan

CLIENT:  
 LANIE & ANDY BYK  
 ADDRESS:  
 3 BETTY STREET,  
 NEDLANDS

**DALE ALCOCK HOME IMPROVEMENT**  
 A Level 2, 1 Pearson Way, Osborne Park WA 6017  
 P 9204 9000 F 9204 1860  
 W www.dahi.com.au  
 CELEBRATION NOMINEES PTY LTD ATF CELEBRATION  
 UNIT TRUST TIA DALE ALCOCK HOME IMPROVEMENT

DATE	DRN	NM	CHK	TW	DSN	WM
08.08.11						
15 APR 2012						37296
						1019

Site Plans









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### PD38.12– Attachment 1 Locality Plan





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 - 6 APR 1998  
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Amended  
 - Elevation  
 - Floor Plans  
 - Construction Details

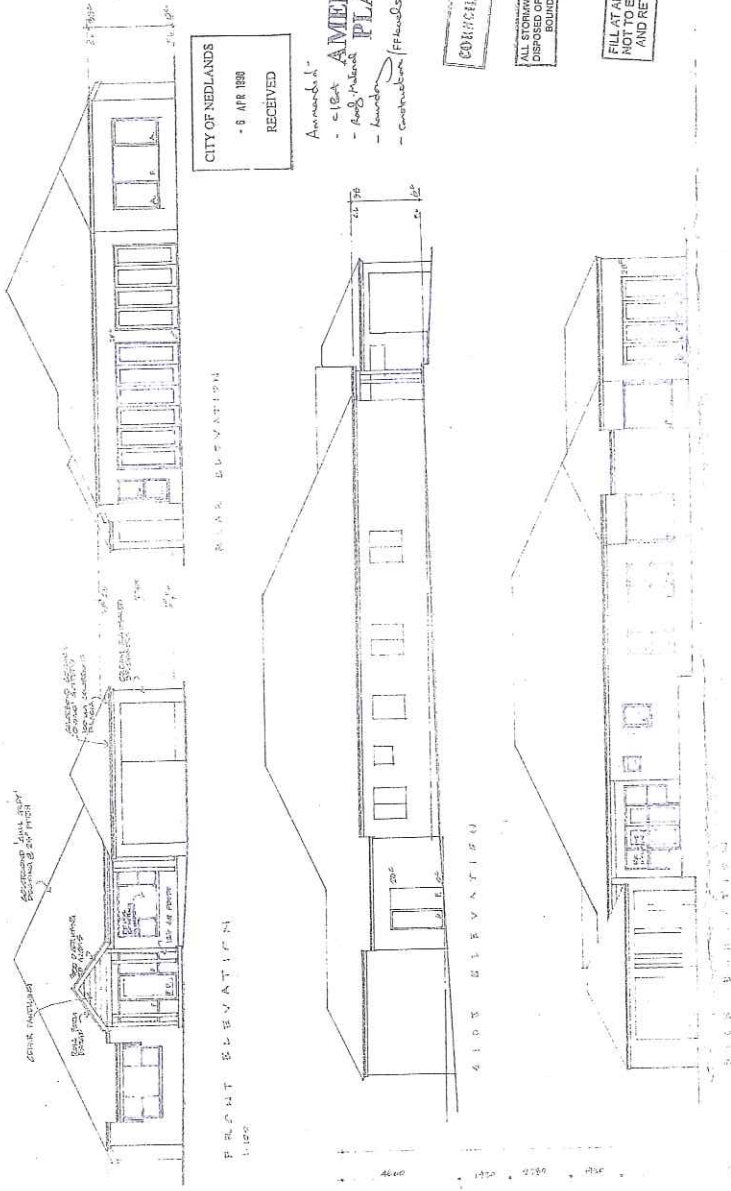
CORRECTION

ALL DIMENSIONS TO BE  
 DEPOSED OF WITHIN LOT  
 BOUNDARIES

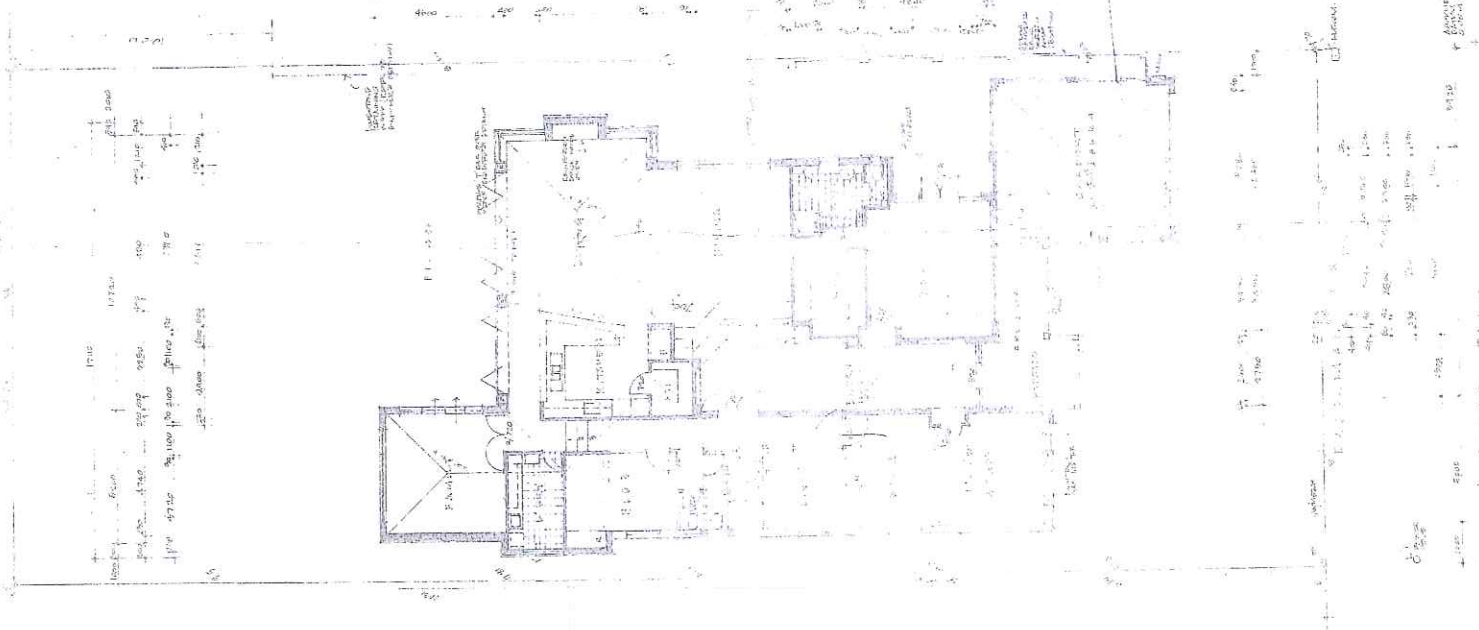
FILL AT ANY BOUNDARY  
 NOT TO EXCEED 800mm  
 AND RETAIN ALL FILL

WHILE CROSSING PLACE FOOTPATH  
 ORS AND ALTERNATIVE VERGE  
 DEVELOPMENT PROPOSALS NOT  
 INCLUDED IN THIS APPROVAL  
 SEPARATE APPLICATIONS REQUIRED  
 OR THESE WORKS

CITY OF NEDLANDS  
 DEVELOPMENT REGULATIONS  
 APPROVED  
 SUBJECT TO THE CONDITIONS HEREIN AND  
 TO ANY VARIATIONS MADE BY THE  
 FILE NO: ...  
 DATE APPROVED: ...  
 NOTE: THIS APPROVAL DOES NOT  
 CONSTITUTE A BUILDING LICENSE

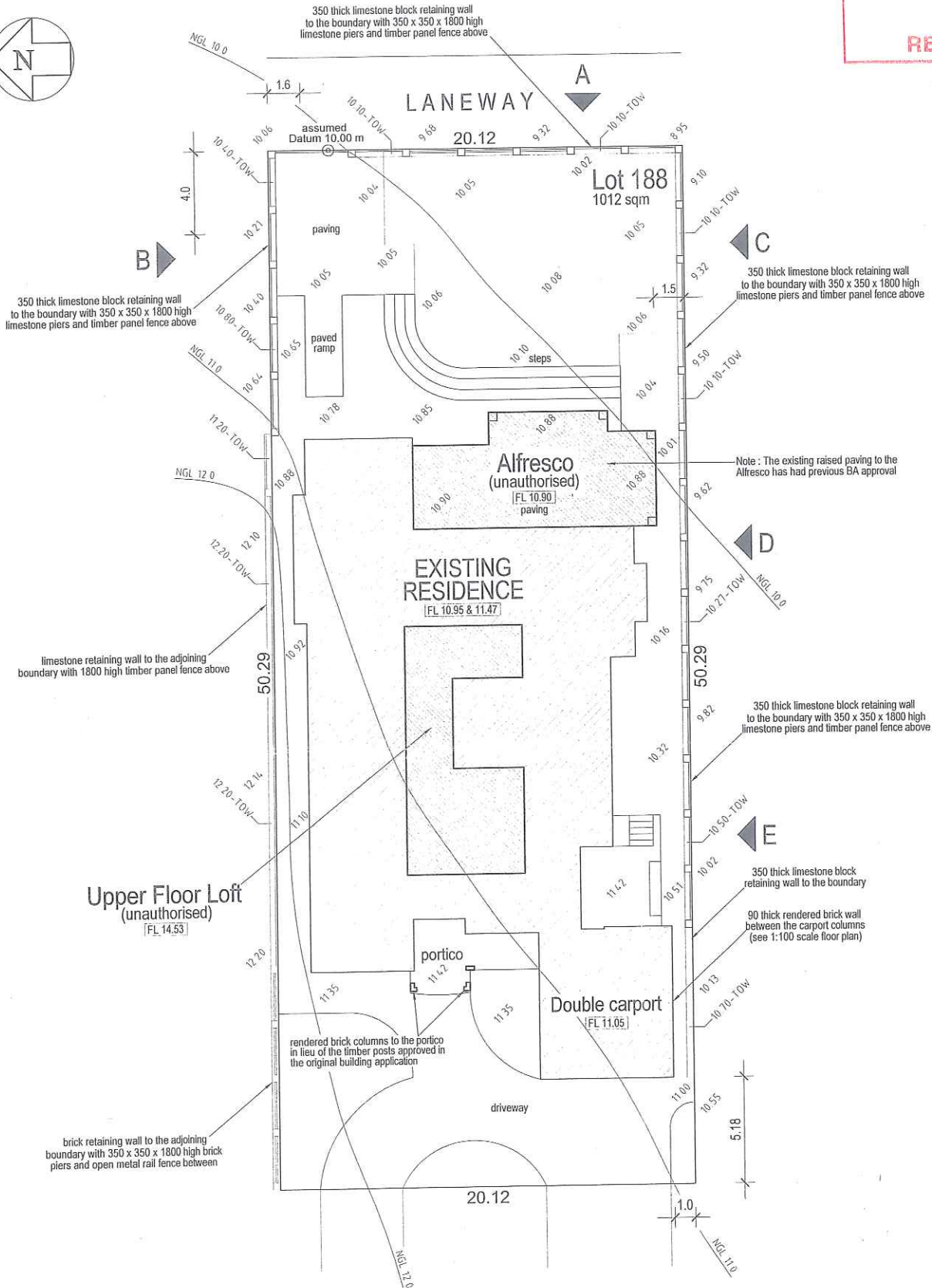


Height not to be exceeded  
 more than 50% of the perimeter.



PD38.12- Attachment 2  
 Site, Floor and Elevation Plans  
 Approved in 1998

FILE NO: ...  
 DATE APPROVED: ...  
 NOTE: THIS APPROVAL DOES NOT  
 CONSTITUTE A BUILDING LICENSE



AREAS OF THE ADDITIONS (unauthorised)  
(including walls & columns)

Upper Floor Loft : 54.0 sqm  
Alfresco : 57.8 sqm  
Total : 111.8 sqm

NOTES:  
THESE PLANS ARE PLANNING APPLICATION DRAWINGS FOR COUNCIL APPROVAL AND HAVE NOT BEEN PREPARED FOR BUILDING CONSTRUCTION.  
THE LOCATION OF ALL FEATURES AND LEVELS MUST BE CHECKED ON SITE. A SITE SURVEY BY A LICENSED SURVEYOR MAY BE REQUIRED TO VERIFY THE DETAILS.

BROCKMAN AVENUE

BLOCK PLAN : Existing  
SCALE 1 : 200 @ A3

LEVEL KEYS

10.12	EXISTING SITE LEVEL
NGL	NATURAL GROUND LEVEL
TOW	TOP OF WALL LEVEL
[FL 10.05]	EXISTING FLOOR LEVEL

PD38.12- Attachment 3  
Block Plan: Existing

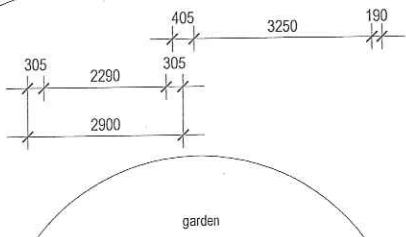
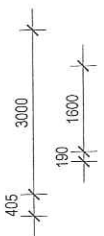
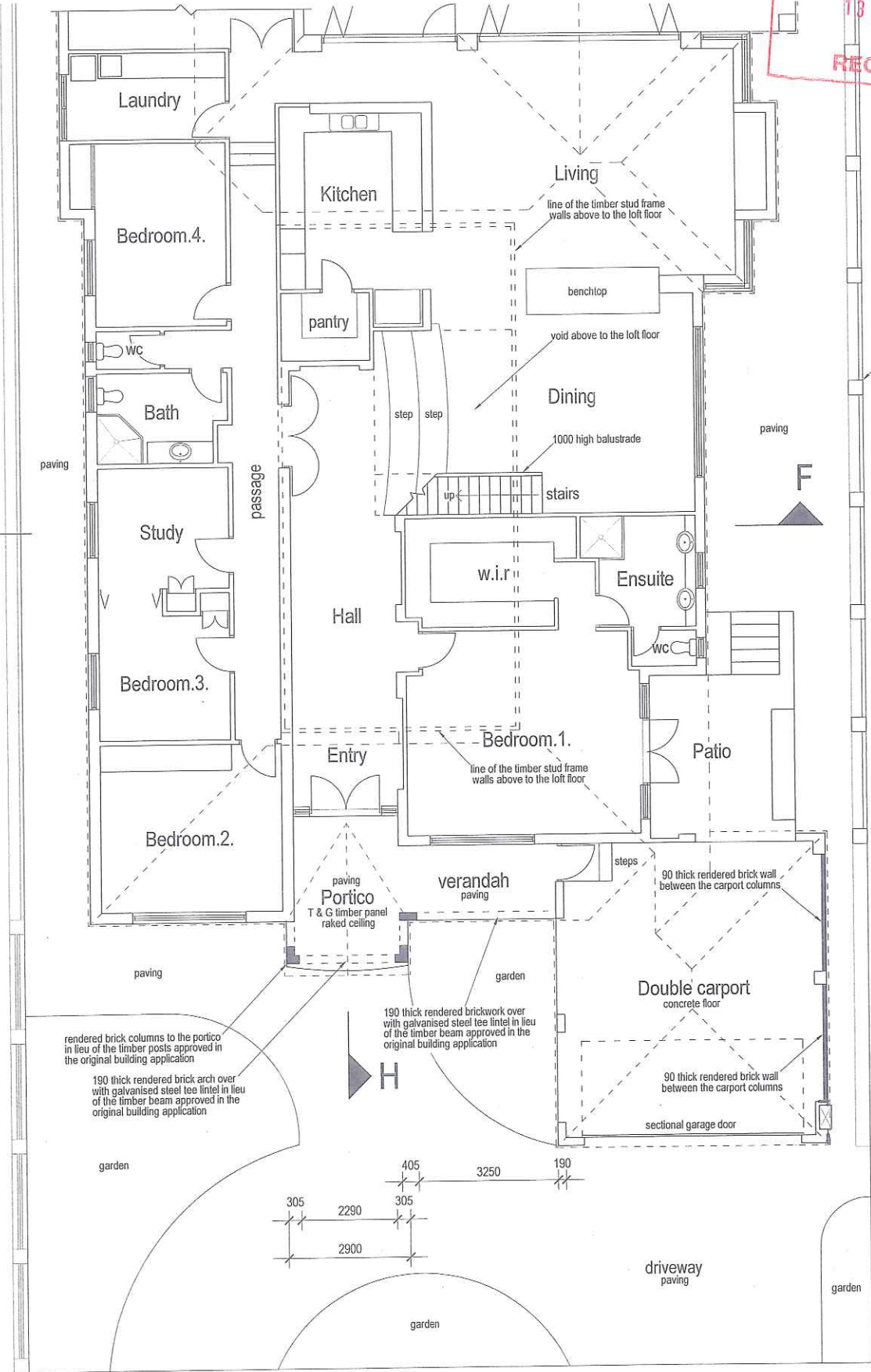
PROJECT:	BUILDING ADDITIONS	TITLE:	block plan
FOR:	MR & MRS BREEN Lot 188 (no12) Brockman Ave, Dalkeith.	DATE:	12.6.12
		NO.:	1
CREATIVE DESIGN CONCEPTS		tel 0437 155 711	







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**PLAN : Existing Residence (front)**  
SCALE 1 : 100 @ A3

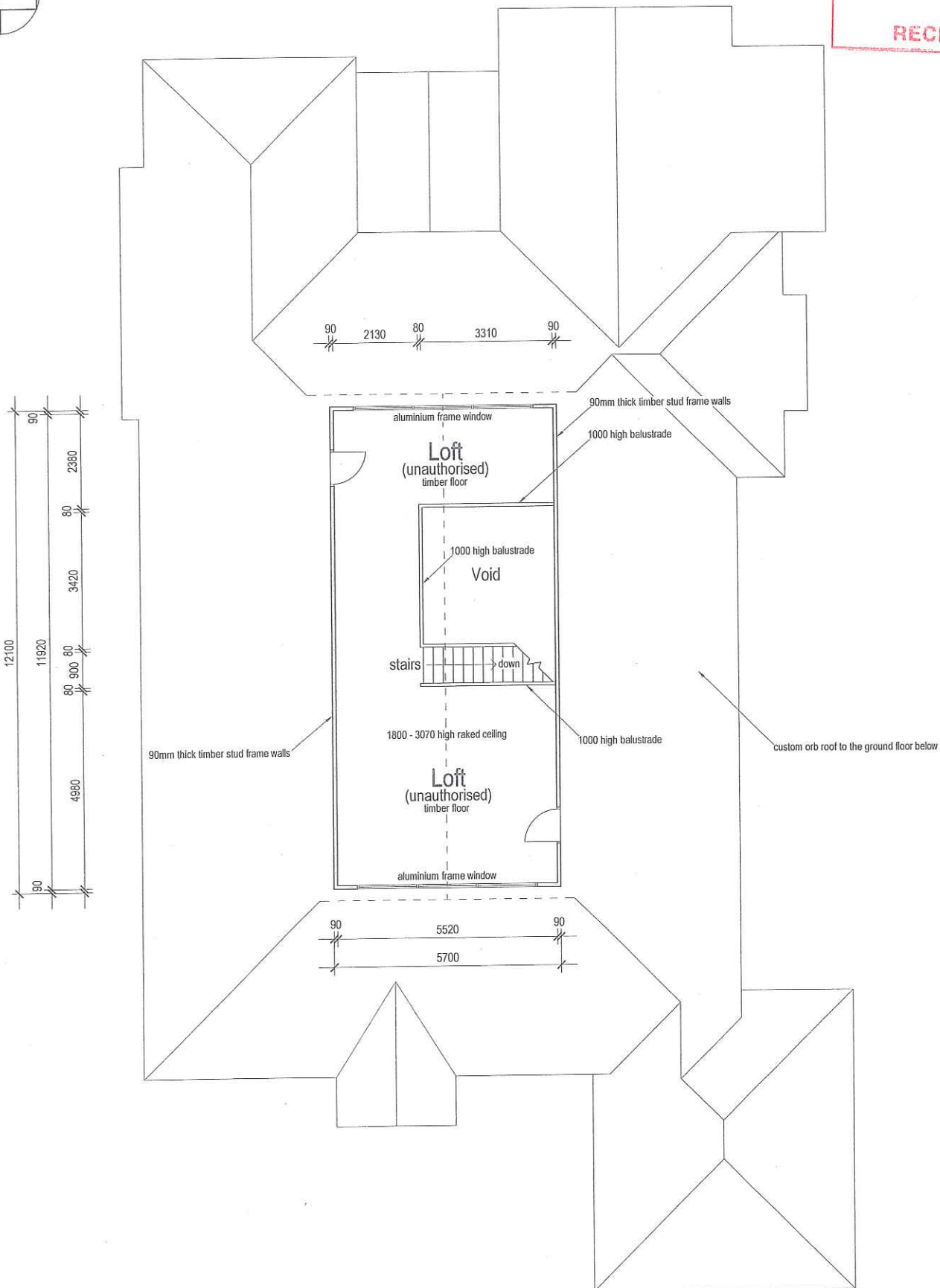
**NOTES :**  
THESE PLANS ARE PLANNING APPLICATION DRAWINGS FOR COUNCIL APPROVAL AND HAVE NOT BEEN PREPARED FOR BUILDING CONSTRUCTION.  
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**PD38.12- Attachment 5**  
**Floor Plan: Existing Residence (Front)**

PROJECT:	BUILDING ADDITIONS		TITLE:	existing plan (front)
FOR:	MR & MRS BREEN Lot 188 (no12) Brockman Ave, Dalkeith.		DATE:	26.6.12
			NO:	3
CREATIVE DESIGN CONCEPTS			tel 0437 155 711	

13 JUL 2012

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**PLAN : Upper Floor Loft**  
SCALE 1 : 100 @ A3

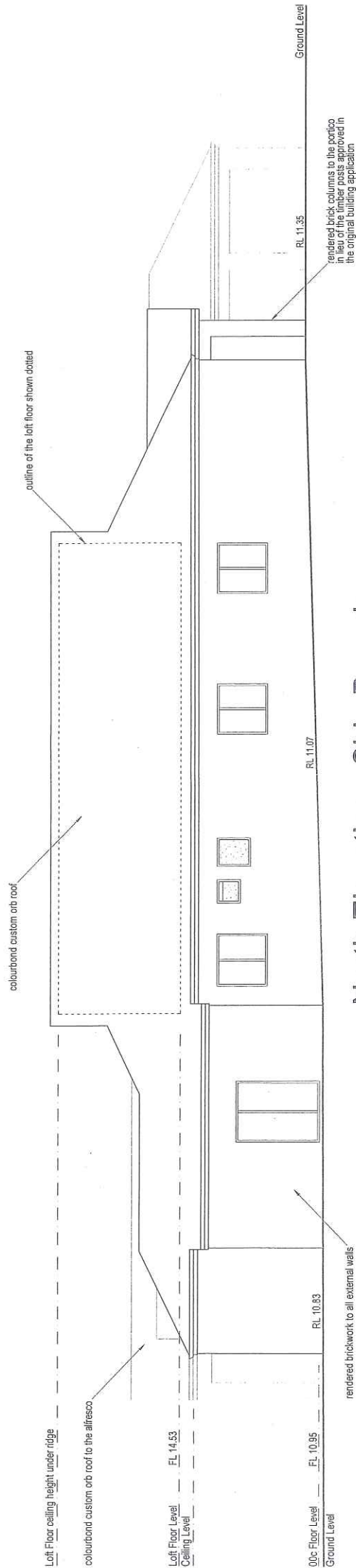
**NOTES :**  
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**PD38.12– Attachment 6**  
**Floor Plan: Upper Floor Loft**

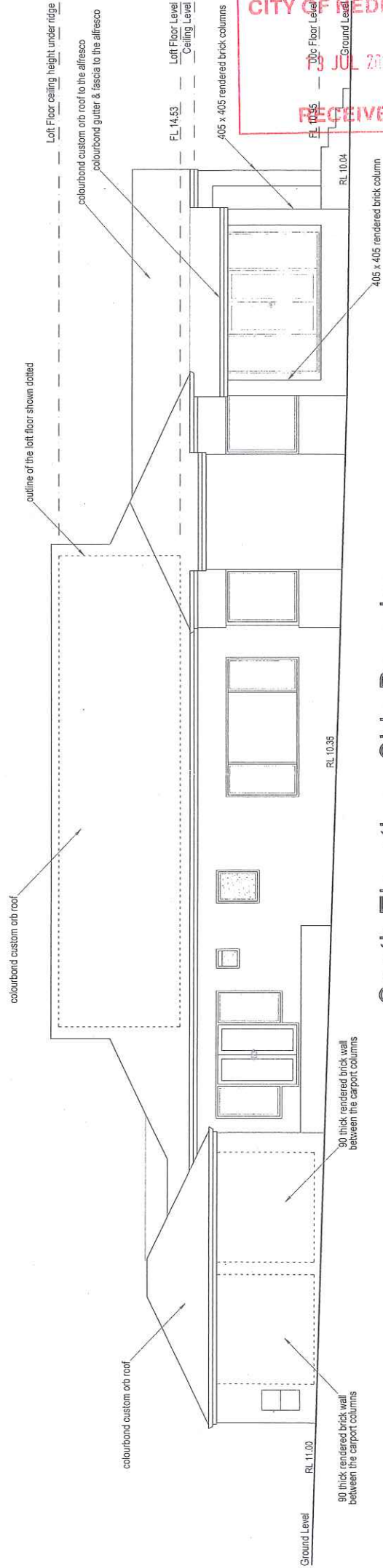
PROJECT: BUILDING ADDITIONS		TITLE: loft floor plan	
FOR: MR & MRS BREEN Lot 188 (no12) Brockman Ave, Dalkeith.		DATE: 12.6.12	NO: 4
CREATIVE DESIGN CONCEPTS		tel 0437 155 711	







**North Elevation : Side Boundary**



**South Elevation : Side Boundary**  
SCALE 1 : 100 @ A3

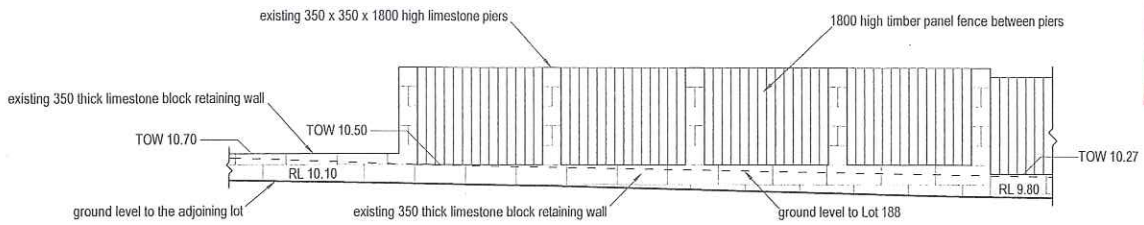
CITY OF MEDLANDS  
RECEIVED  
13 JUL 2012

PROJECT:	BUILDING ADDITIONS	TITLE:	elevations
FOR:	MR & MRS BREEN Lot 188 (no 12) Brockman Ave, Dalkeith.	DATE:	12.6.12
		NO:	6
		CREATIVE DESIGN CONCEPTS tel 0437 155 711	

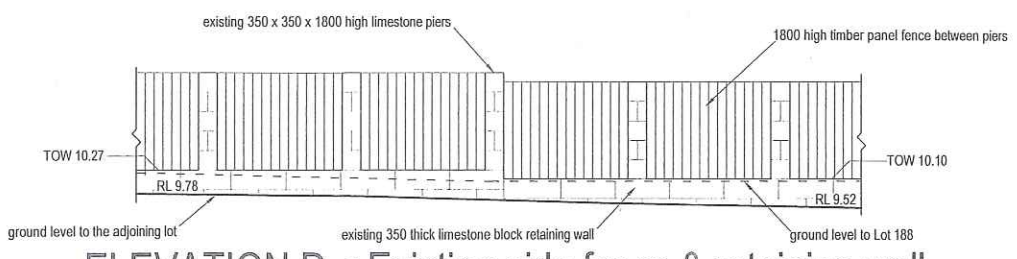
**NOTES :**  
 THESE PLANS ARE PLANNING APPLICATION DRAWINGS FOR COUNCIL APPROVAL AND HAVE NOT BEEN PREPARED FOR BUILDING CONSTRUCTION. THE LOCATION OF ALL FEATURES AND LEVELS MUST BE CHECKED ON SITE. A SITE SURVEY BY A LICENSED SURVEYOR MAY BE REQUIRED TO VERIFY THE DETAILS.



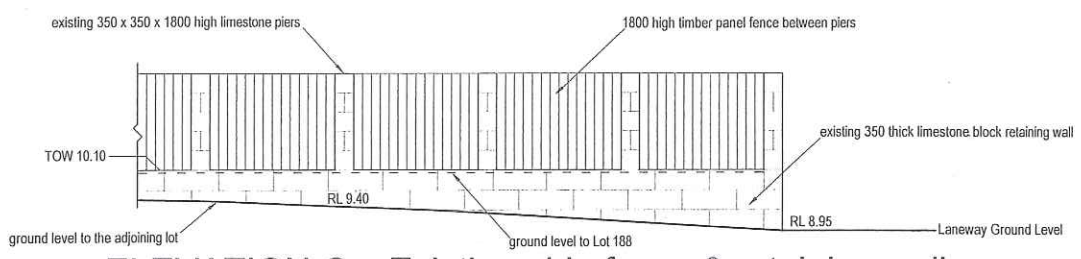
13 JUL 2017  
RECEIVED



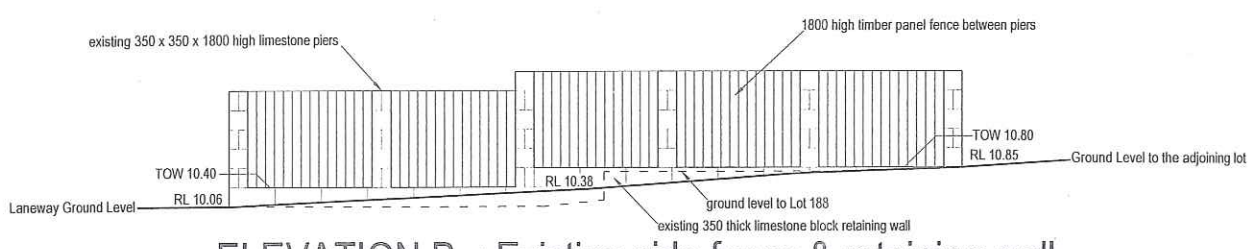
ELEVATION.E. : Existing side fence & retaining wall



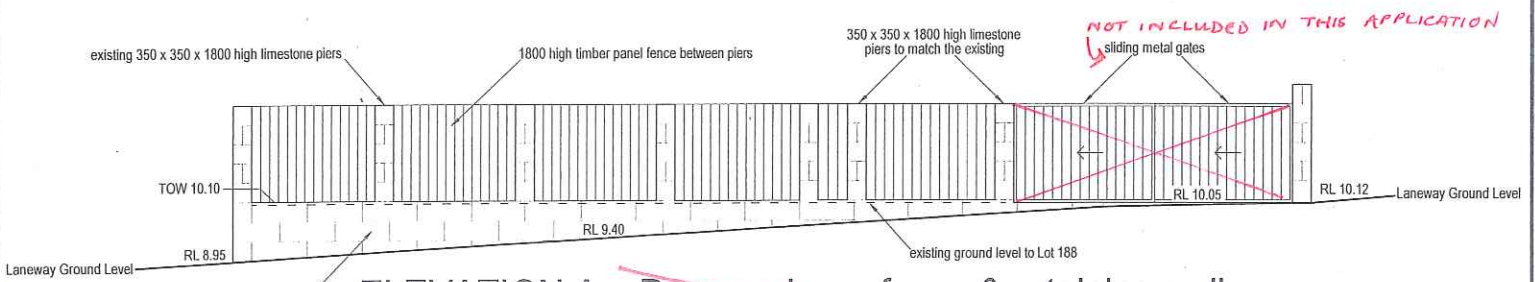
ELEVATION.D. : Existing side fence & retaining wall



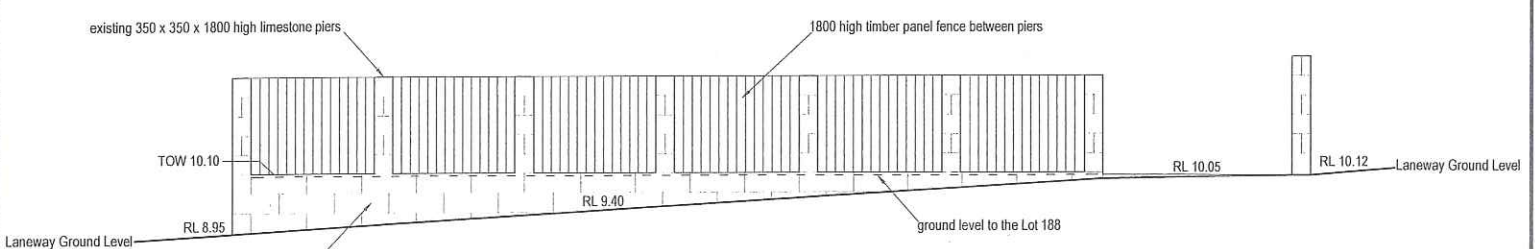
ELEVATION.C. : Existing side fence & retaining wall



ELEVATION.B. : Existing side fence & retaining wall



ELEVATION.A. : ~~Proposed~~ rear fence & retaining wall



ELEVATION.A. : Existing rear fence & retaining wall

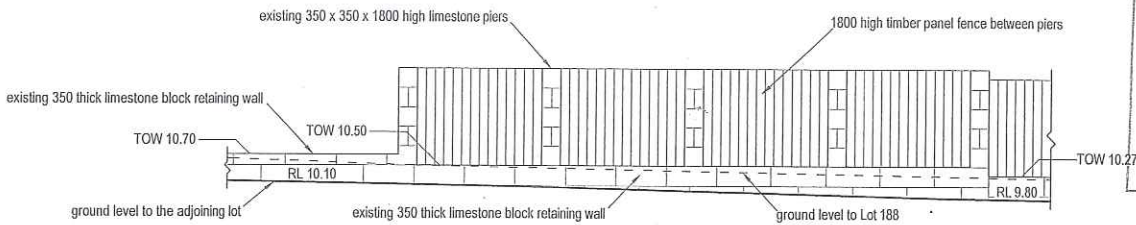
SCALE 1 : 100 @ A3

NOTES :  
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THE LOCATION OF ALL FEATURES AND LEVELS MUST BE CHECKED ON SITE. A SITE SURVEY BY A LICENSED SURVEYOR MAY BE REQUIRED TO VERIFY THE DETAILS.

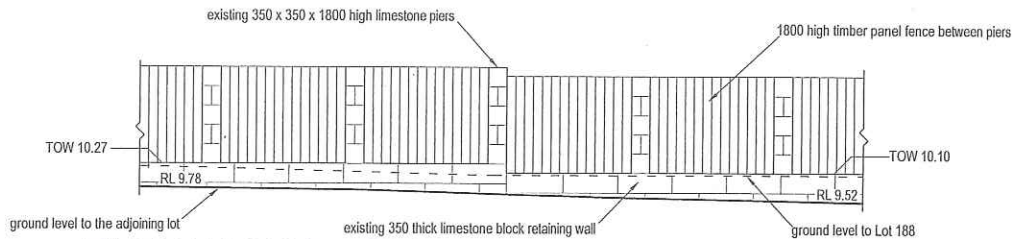
PROJECT:	BUILDING ADDITIONS	TITLE:	retaining walls
FOR:	MR & MRS BREEN Lot 188 (no12) Brockman Ave, Dalkeith.	DATE:	12.6.12
		NO:	10
CREATIVE DESIGN CONCEPTS		tel 0437 155 711	

PD38.12- Attachment 9  
Elevation Plan: Fencing & Retaining Wall

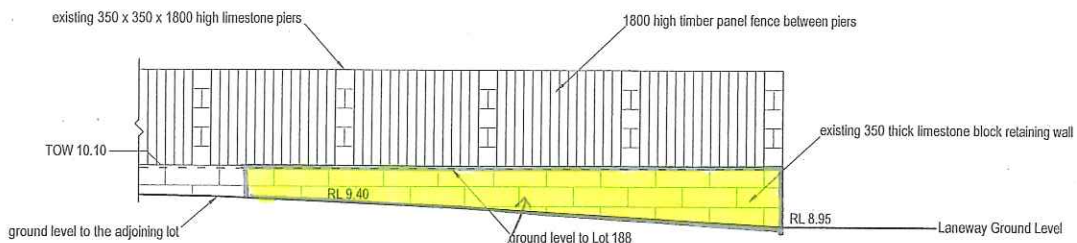
**PD38.12- Attachment 10**  
**Elevation Plan: Showing Retaining Walls**  
**(over 0.5 m high above NGL)**



**ELEVATION.E. : Existing side fence & retaining wall**

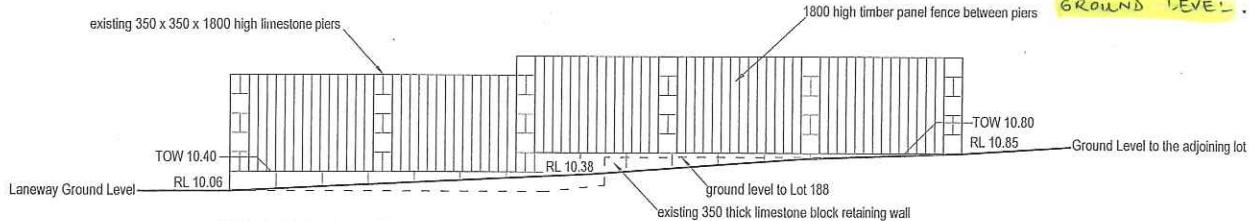


**ELEVATION.D. : Existing side fence & retaining wall**

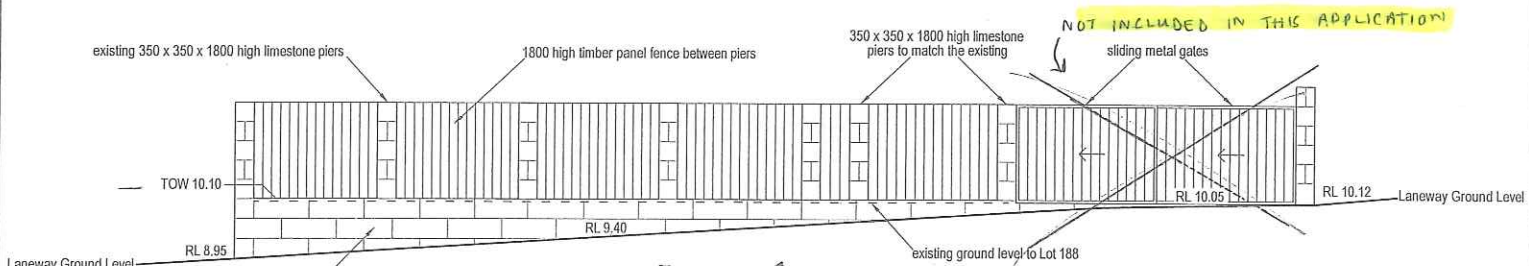


**ELEVATION.C. : Existing side fence & retaining wall**

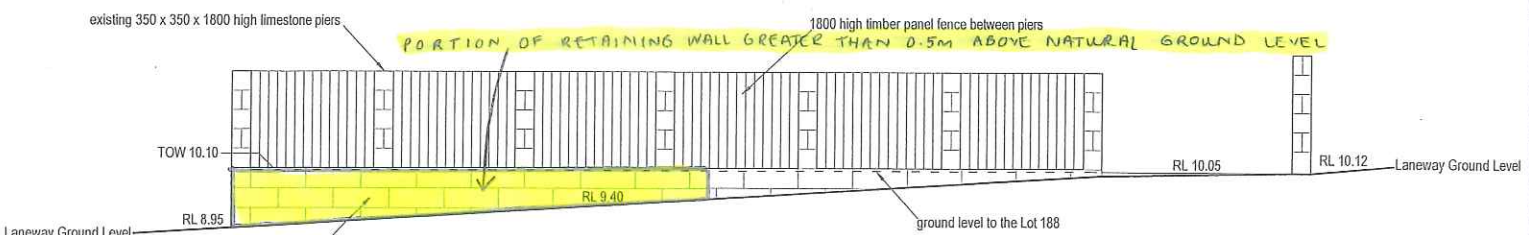
PORTION OF RETAINING WALL GREATER THAN 0.5m ABOVE NATURAL GROUND LEVEL.



**ELEVATION.B. : Existing side fence & retaining wall**



**ELEVATION.A. : Proposed rear fence & retaining wall**



**ELEVATION.A. : Existing rear fence & retaining wall**

SCALE 1 : 100 @ A3

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PROJECT:	BUILDING ADDITIONS	TITLE:	retaining walls
FOR:	MR & MRS BREEN Lot 188 (no12) Brockman Ave, Dalkeith.	DATE:	12.6.12
		NO:	10
CREATIVE DESIGN CONCEPTS		tel 0437 155 711	





### PD39.12- Attachment 1

Relevant Map - Sections of West Coast Highway from Rochdale Road to Alfred Road held on title to the State of Western Australia.