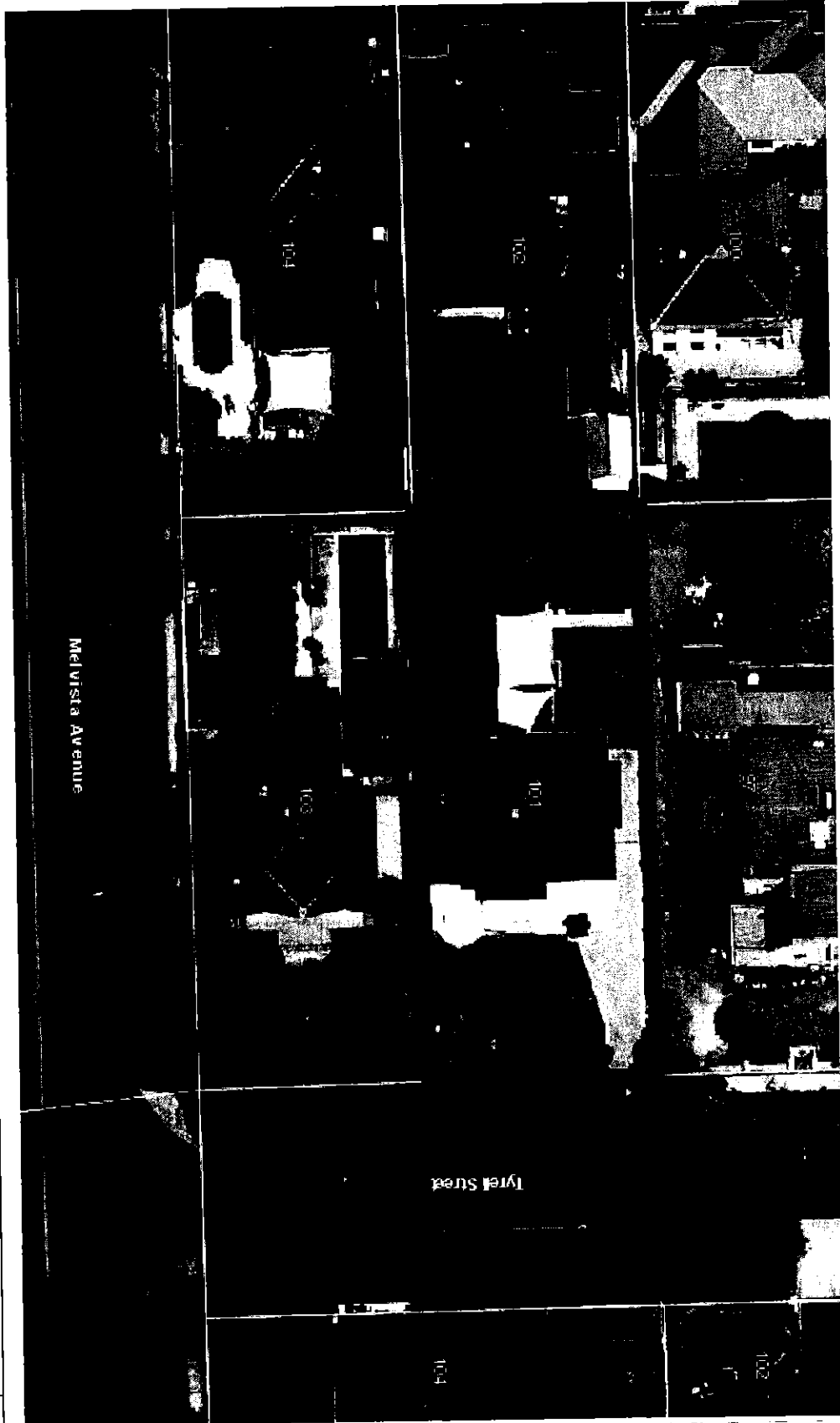


City of Nedlands



The City of Nedlands accepts no responsibility for the accuracy of this image or the results of any actions taken when using this image



LOCALITY PLAN

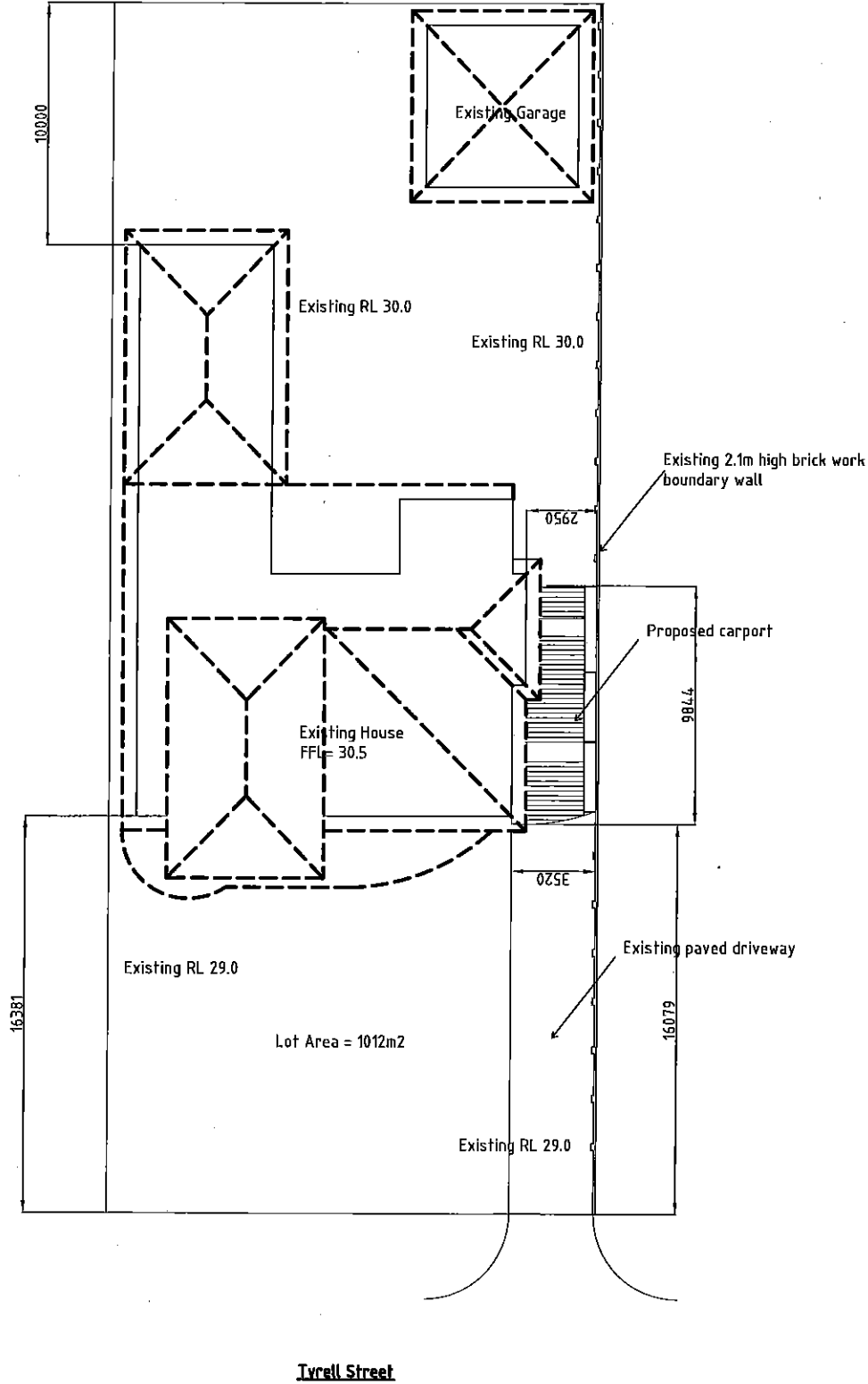
1:523





North

CITY OF NEDLANDS  
RECEIVED  
- 9 FEB 2011



# D27.11 – Attachment 2 Site Plan

Randall Oates

REVISION	DESCRIPTION	DATE	APPROVED	DATE
B	Roof sheets cut back 500mm from bdy, posts supported on footings	25.05.10	GD	GD
A	Planning/Building license	28.02.10	GD	GD

**Donne Design and Construct**

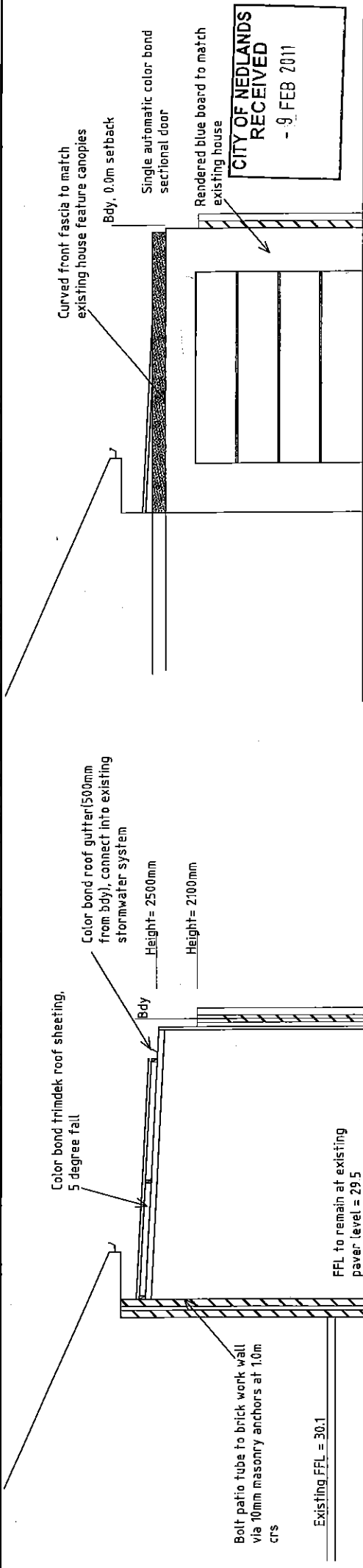
A.L.N. 126724534  
40 Parkinson Place  
Hillarys Western Australia 6025  
Phone 08 94037782  
mob 0437 436 907  
Email: gavin.dcc@inef.net.au

THIS IS ISSUED FOR:  
 INFORMATION  
 COMMENT  
 APPROVAL  
 TENDER  
 CONSTRUCTION  
 DO NOT USE FOR ANY PURPOSE OTHER THAN THAT INDICATED

SCALE: 1:200  
DATE: A3

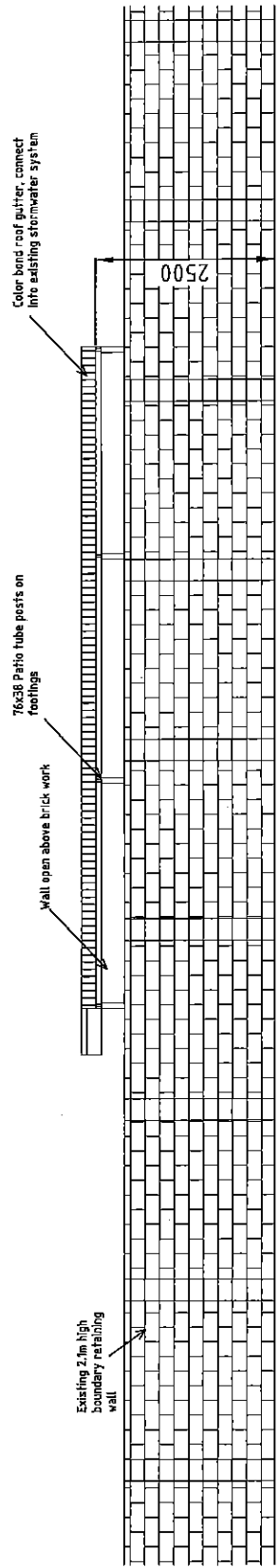
ALL DIMENSIONS IN MILLIMETRES  
DO NOT SCALE

PROJECT: PROPOSED CARPORT EXTENSION, 101 TYRELL ST, NEDLANDS, WA  
 DRAWING NUMBER: 1051-A01  
 REVISION: B



**FRONT ELEVATION**

**SECTION A-A**



**NORTH ELEVATION**

**D27.11 – Attachment 3  
Elevation Plan**

REVISION	DESCRIPTION	DESIGN	DRAWN	CHECKED	APPROVED	DATE
B	Roof sheets cut back 500mm from bdy, posts supported on footings	GD	GD	GD	GD	25.05.10
A	Planning/Building license	GD	GD	GD	GD	28.02.10

**THIS IS ISSUED FOR**

INFORMATION  
COMMENT  
APPROVAL  
TENDER  
CONSTRUCTION

DO NOT USE FOR ANY PURPOSE OTHER THAN THAT INDICATED

**SCALE** 1:100  
**SHEET NO.** A3

**DATE**

**CLIENT** Randall Oates

**PROJECT** PROPOSED CARPORT EXTENSION, 101 TYRELL ST, NEDLANDS, WA

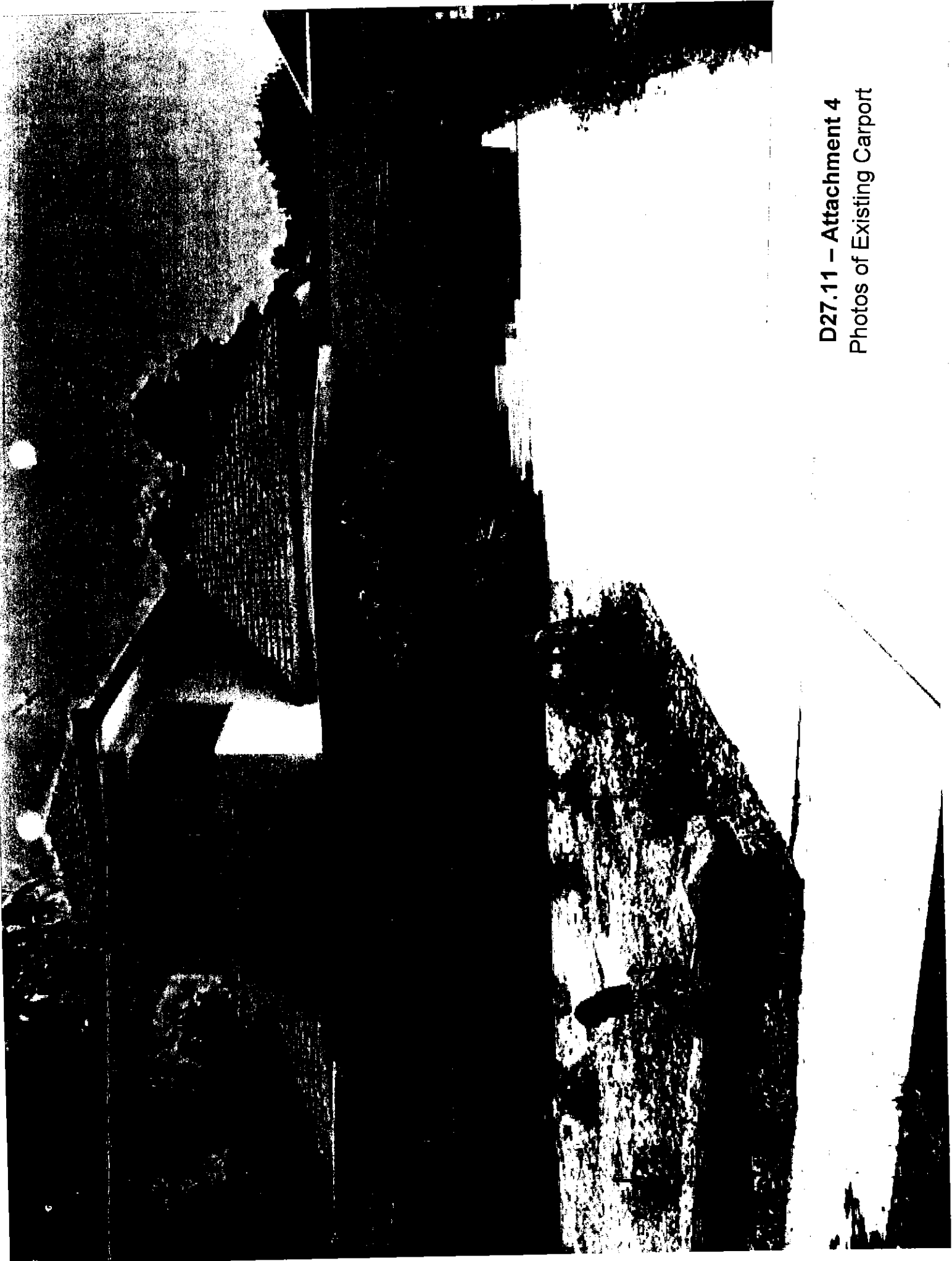
**TITLE** ARCHITECTURAL SECTIONS AND ELEVATIONS

**DRAWING NUMBER** 1002-A02

**REVISION** B

**Donne Design Construct**

Donne Design Construct  
A.C.N. 26724534  
4, Parkinson Place  
Hillarys Australia 6025  
Phone 08 94037782  
mob 0437 496 907  
Email govind.dcc@inet.net.au

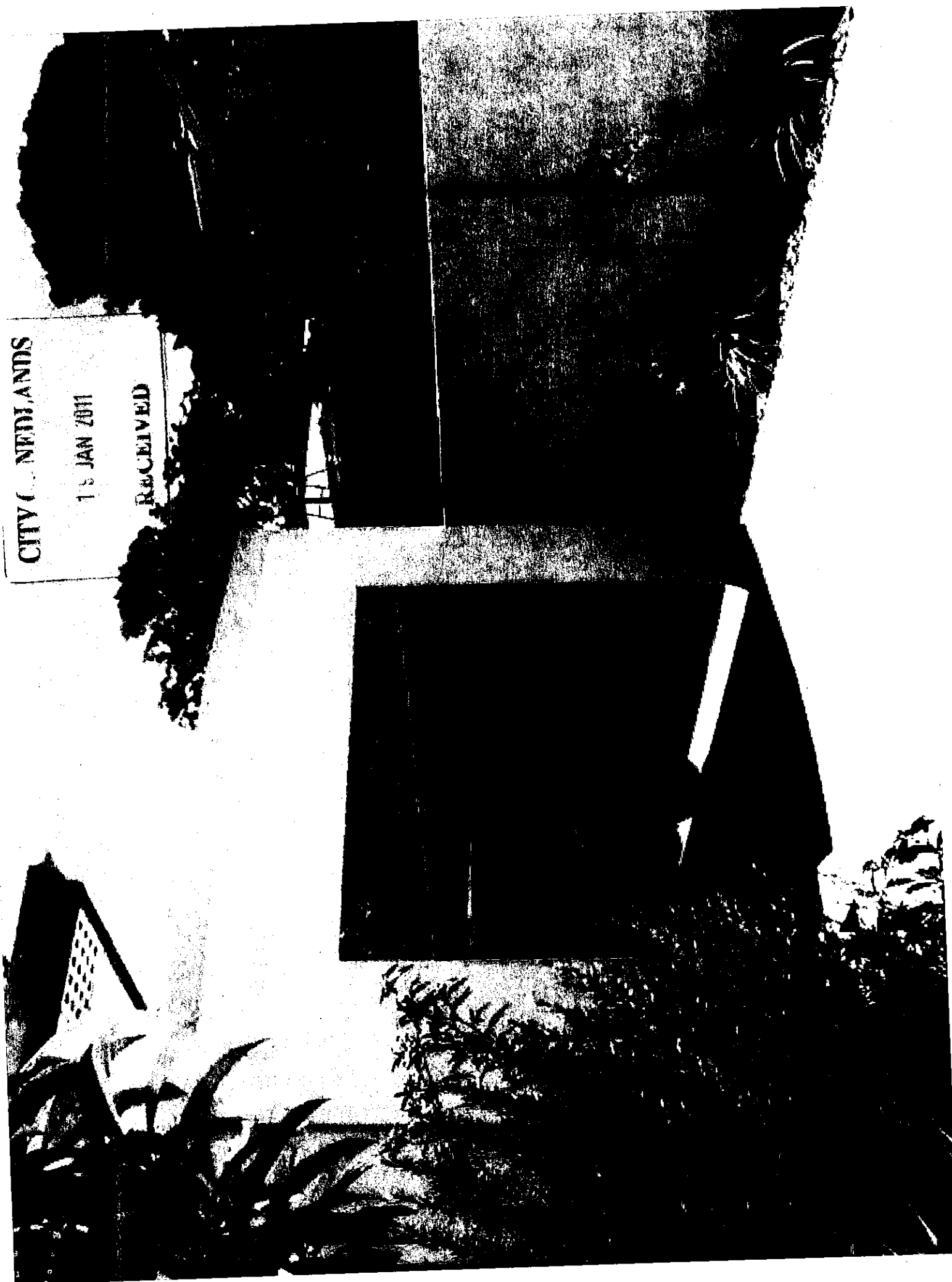


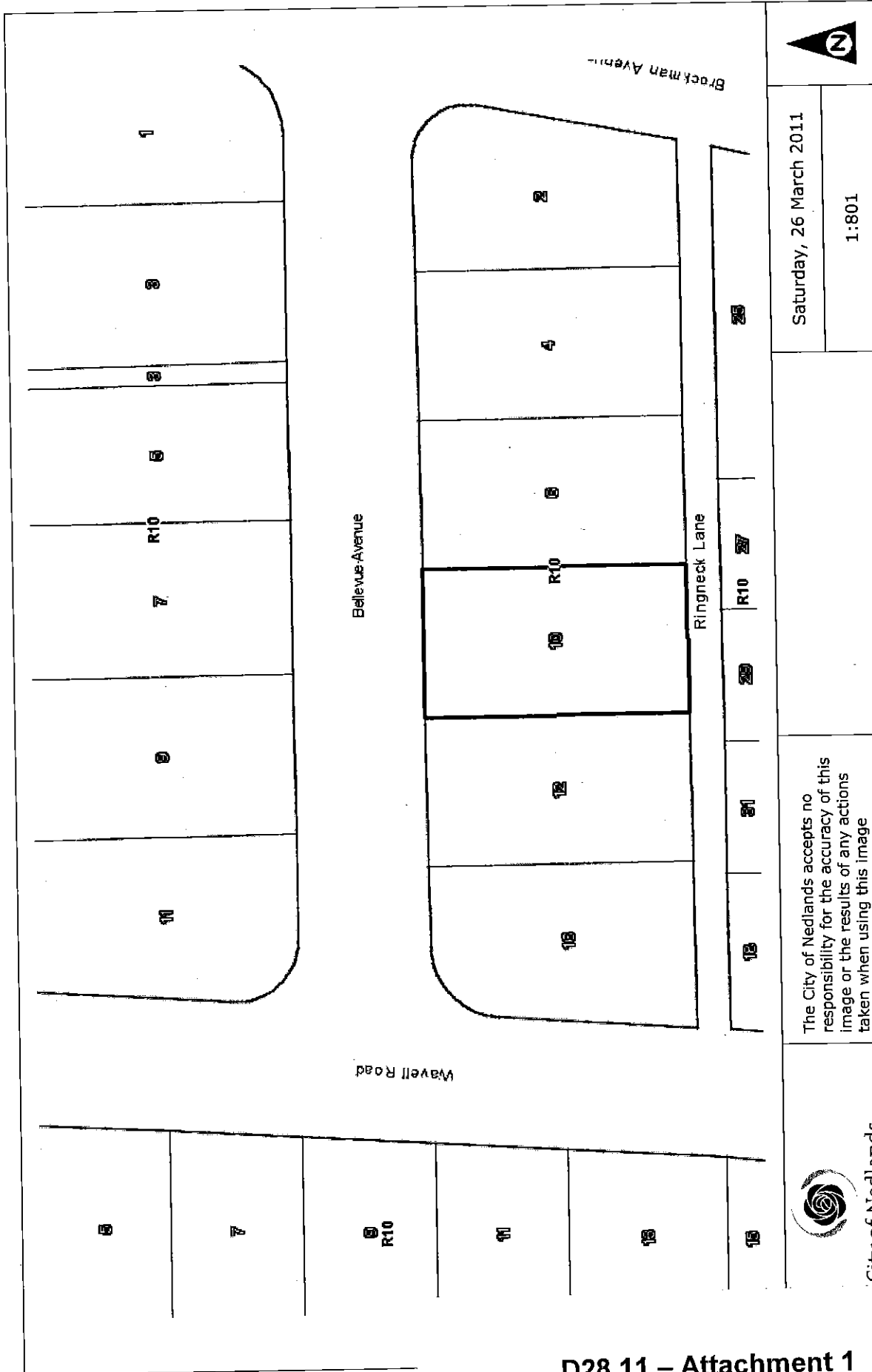
D27.11 – Attachment 4  
Photos of Existing Carport

CITY OF NEDLANDS

13 JAN 2011

RECEIVED



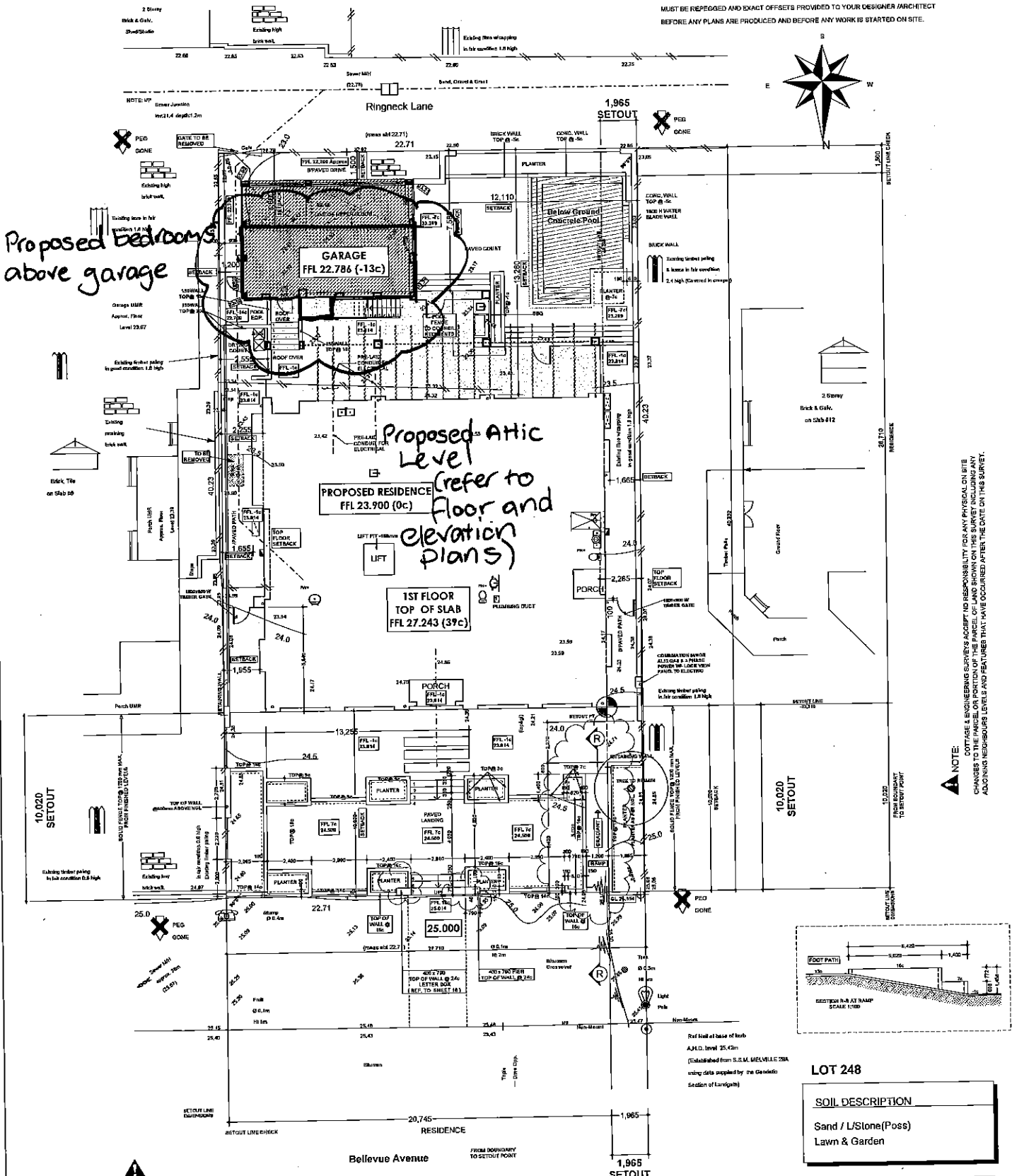


**D28.11 – Attachment 1**  
**Locality Plan**

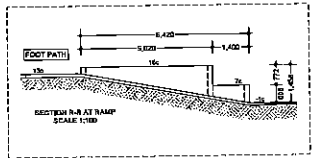
NOTE / BEWARE:

DUE TO LACK OF SURVEY MARKS PEGS ALL BUILDING OFFSET DIMENSIONS & FEATURES ARE APPROX ONLY AND POSITIONED FROM EXISTING PEGS, FENCES AND WALLS WHICH MAY NOT BE ON THE CORRECT ALIGNMENT AND ARE TO BE VERIFIED WHEN REPEGGED. ANY DESIGN THAT INVOLVES ADDITIONS TO ANY STRUCTURES SHOWN OR PORTION OF STRUCTURES REMAINING AFTER ANY DEMOLITION HAS TAKEN PLACE, BOUNDARIES MUST BE REPEGGED AND EXACT OFFSETS PROVIDED TO YOUR DESIGNER ARCHITECT BEFORE ANY PLANS ARE PRODUCED AND BEFORE ANY WORK IS STARTED ON SITE.

PATH, RAMPS & DRIVE PAVED AREAS 208.96 M<sup>2</sup>  
PERCOLA AREA 74.14 M<sup>2</sup>



NOTE: I, THE ENGINEER, ACCEPT NO RESPONSIBILITY FOR ANY PHYSICAL ON SITE CHANGES TO THE PARCEL OR PORTION OF THE PARCEL SHOWN ON THIS SURVEY INCLUDING ANY ADJOINING NEIGHBOUR LEVELS AND FEATURES THAT HAVE OCCURRED AFTER THE DATE OF THIS SURVEY.



LOT 248  
SOIL DESCRIPTION  
Sand / L/Stone(Poss)  
Lawn & Garden

NOTE:  
LOT MISCLOSE  
(0.000 m)

## D28.11 - Attachment 2 Site Plan

All Beware details pulled from information supplied by Water Corporation.  
NOTE: NOTIFY/BEWARE ADVISE TRADES  
Critical priority lines

SITE PLAN  
1:100

**OSWALD HOMES**  
Unit 30/3, 1st Floor, 55 Salvado Road  
Subiaco W.A. 6008  
Ph (08) 9231 4800 Fax (08) 9231 4801  
A.C.N. 092 237 879  
B.Reg 11420

REV	VO #	DRN	DATE	CHK	RW
1	D/W schedule	GB	04/03/10	RW	
2	OK 2 START	GB	06/03/10	RW	
3	From Fence	GB	23/07/10	RW	
4	Additions	GB	03/12/10	RW	

Sub-contractors to verify all dimensions on site.  
1/10/09 - by CR 11/02/10

**OK TO START**  
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.  
DATED: \_\_\_\_\_  
OWNER: \_\_\_\_\_ WITNESS: \_\_\_\_\_  
OWNER: \_\_\_\_\_ WITNESS: \_\_\_\_\_  
BUILDER: \_\_\_\_\_ WITNESS: \_\_\_\_\_

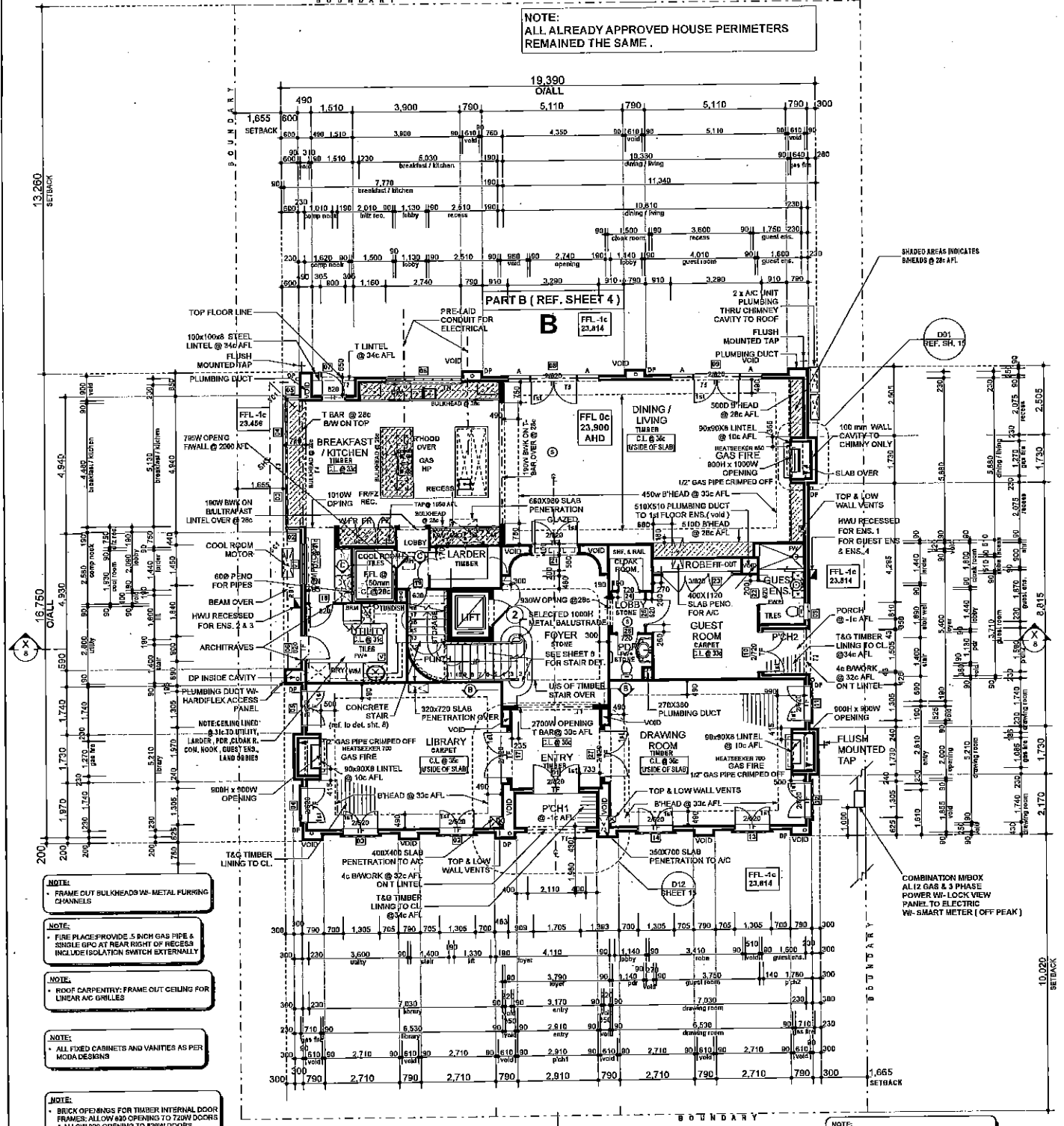
CLIENT:  
Mr. M. MAHMUD  
ADDRESS:  
Lot 248  
(# 10) Bellevue Avenue  
Dalkeith

Chateau Provence		REVISION	4
MODEL N°	90002		
© COPYRIGHT			
SHEET #	2 OF 31		
DATE	11/02/2011		
NO#	21955		

Floor Areas			
Floor	Location	Area	Perimeter
<b>GROUND FLOOR</b>			
	Garage	60.54	34.60
	House	304.73	67.49
	Porch	97.37	31.62
	Porch1	3.52	6.64
	Porch2	2.37	6.67
		499.53	189.22 m
<b>UPPER FLOOR</b>			
	Top Floor	266.67	77.08
	Top of garage	64.85	36.60
		371.52	115.68 m
<b>ATTIC</b>			
	Attic	58.48	35.86
		59.48 m <sup>2</sup>	36.86 m
		850.73	338.76 m

- NEW ADDITIONS APPLIED TO FLOOR PLANS :**
1. STAIR FLIGHT TO REAR OF GARAGE (SHEET 2 & 4)
  2. LIFT BETWEEN GROUND AND FIRST FLOOR (SHEET 3)
  3. STAIR FLIGHT TO FIRST FLOOR. (SHEET 5)
  4. 2xSTORAGE AREA (ATTIC FLOOR) (SHEET 4)
  5. 2xBED ROOM ON TOP OF GARAGE (SHEET 4)
  6. REDESIGN BED 1 ENSUITE & WIR (SHEET 5)
  7. RELOCATE PLANTER AT FRONT ELEVATION (SHEET 2)

**NOTE:**  
ALL ALREADY APPROVED HOUSE PERIMETERS  
REMAINED THE SAME.



- NOTE:** FRAME OUT BULKHEADS W/ METAL FURRING CHANNELS
- NOTE:** FIRE PLACES PROVIDE 5 INCH GAS PIPE & SINGLE GPC AT NEAR RIGHT OF RECESS INCLUDE ISOLATION SWITCH EXTERNALLY
- NOTE:** ROOF CARPENTRY: FRAME OUT CEILING FOR LINEAR A/C GRILLES
- NOTE:** ALL FIXED CABINETS AND VANITIES AS PER MODA DESIGNS
- NOTE:** BRICK OPENINGS FOR TIMBER INTERNAL DOOR FRAMES: ALLOW 800 OPENING TO 720W DOORS & ALLOW 920 OPENING TO 820W DOORS

- NOTE:** ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEER'S DETAILS
- NOTE:** LOCATION OF DOWN PIPES IS INDICATIVE ONLY & MAY BE CHANGED AT BUILDERS DISCRETION

Ⓢ DENOTES SMOKE DETECTOR

WIND CLASSIFICATION AS PER A.S. 4055:  
N1 - FOR GROUND STOREY OF RESIDENCE  
N1 - FOR UPPER STOREY OF RESIDENCE  
NOTE: FOR RESIDENCES GREATER THAN DOUBLE STOREY REFER TO THE ENGINEERS OFFICE.

COASTAL CONDITIONS APPLICABLE

**GROUND FLOOR PLAN**  
1:100 PART A

**D28.11 - Attachment 3**  
**Ground Floor Plan**

**OSWALD HOMES**  
Suite 9, 59 Walters Drive  
Osborne Park W.A. 6017  
Ph (08) 9231 4800 Fax (08) 9231 4801  
A.C.N. 092 237 879  
B.Reg 11420

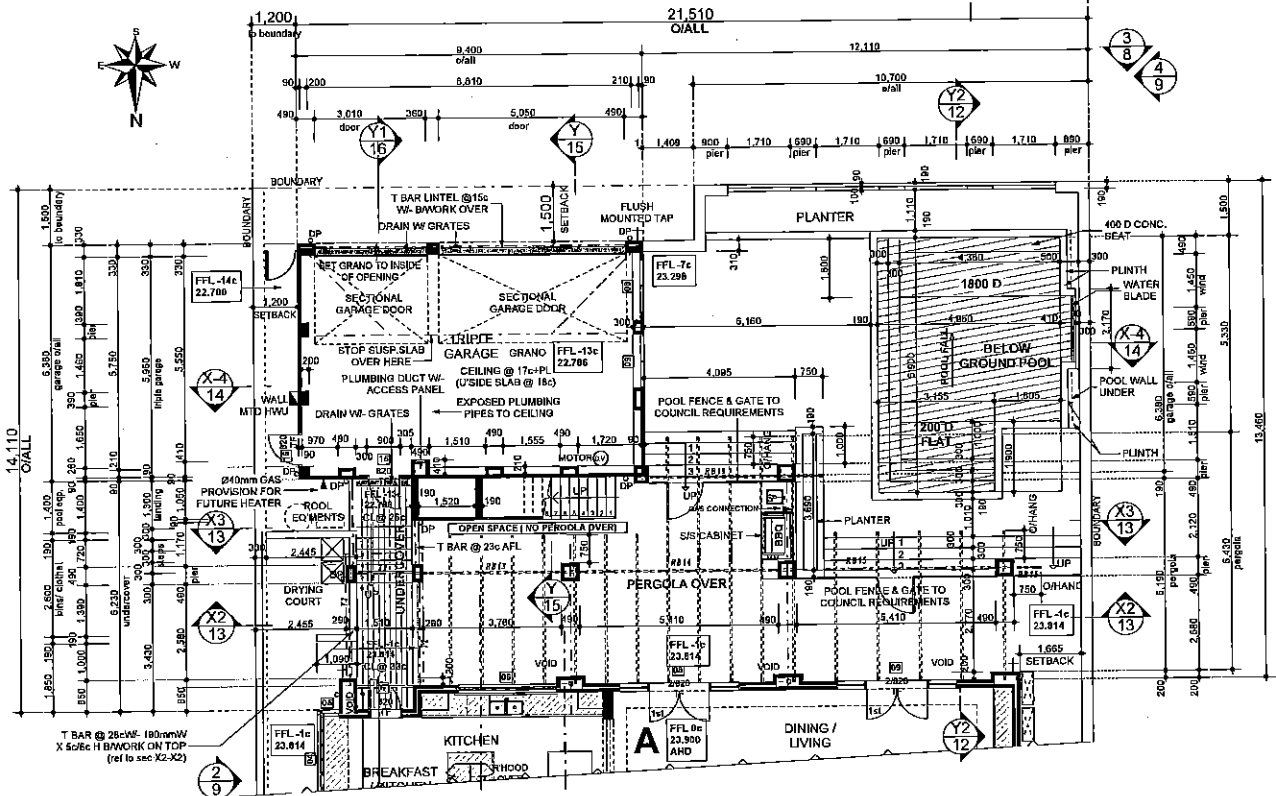
OWNER	WITNESS
OWNER	WITNESS
BUILDER	WITNESS

CLIENT: Oswald Homes  
ADDRESS: Lot 248 (# 10) Bellevue Avenue Dalkeith

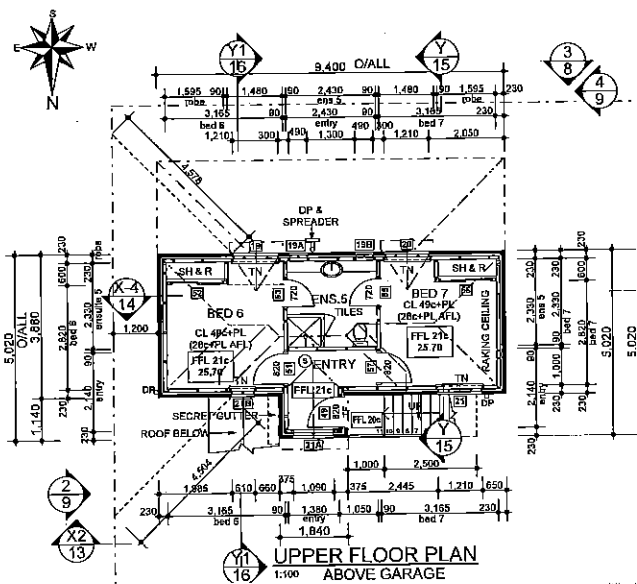
<b>Chateau Provence</b>		REVISION	-
MODEL N°	90002	DATE	30/11/10
© COPYRIGHT			
SHEET N°	3 OF 11	- 0-0-0	
JOB N°	21955		

Sub-contractors to verify all dimensions on site.

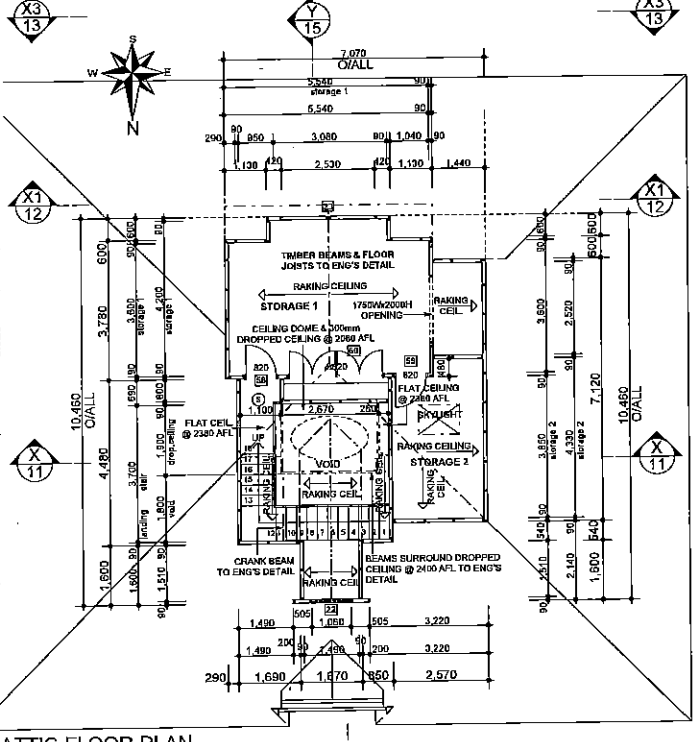




**GROUND FLOOR PLAN**  
1:100  
**PART B**



**UPPER FLOOR PLAN**  
1:100  
ABOVE GARAGE



**ATTIC FLOOR PLAN**  
1:100

**D28.11 – Attachment 4**  
**Garage Ground / Floor Plan**  
**& Attic Floor Plan**

**OSWALD HOMES**  
Unit 36/5, First Floor, 55 Salvato Road  
Subiaco W.A. 6008  
Ph (08) 9231 4800 Fax (08) 9231 4801  
A.C.N. 092 237 879  
B.Reg 11420

REV	VO #	DRN	DATE	CHK
1	DW schedule	GB	04/08/10	RW
2	OK 2 START	GB	05/08/10	RW
3	Front Fence	GB	23/11/10	RW
4	Additions	GB	03/12/10	RW

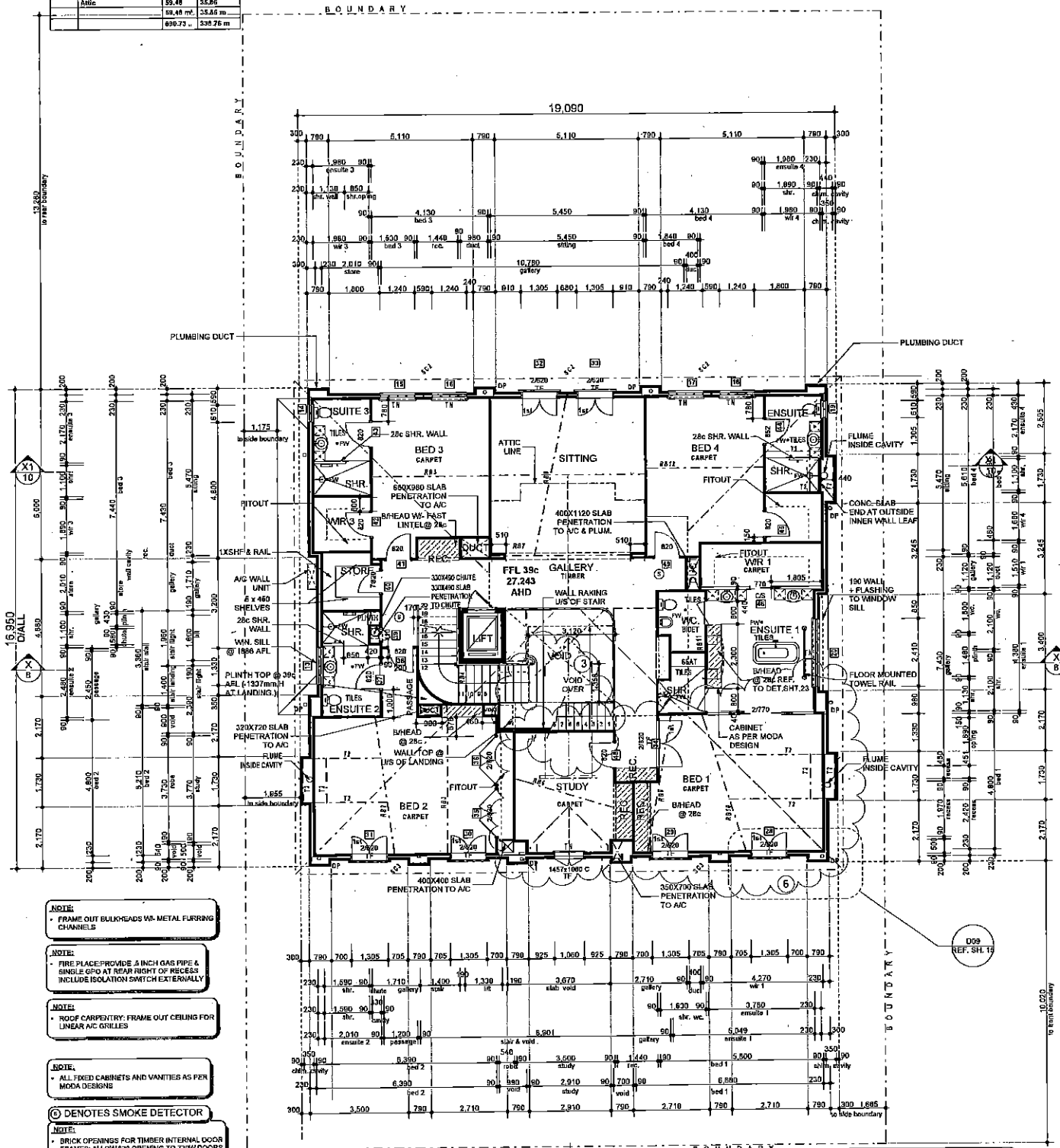
**OK TO START**  
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.  
DATED: \_\_\_\_\_  
OWNER: \_\_\_\_\_ WITNESS: \_\_\_\_\_  
OWNER: \_\_\_\_\_ WITNESS: \_\_\_\_\_  
BUILDER: \_\_\_\_\_ WITNESS: \_\_\_\_\_

CLIENT:  
**Mr. M. MAHMUD**  
ADDRESS:  
**Lot 248**  
**(# 10) Bellevue Avenue**  
**Dalkeith**

<b>Chateau Provence</b>	REVISION <b>4</b>
MODEL N° <b>90002</b>	
© COPYRIGHT	
SHEET N° <b>4 OF 31</b>	
JOB N° <b>21955</b>	DATE: 1/17/2011

Sub-contractors to verify all dimensions on site.  
310 (exam 5): 68 23/2/2010

Floor Areas			
Floor	Location	Area	Perimeter
<b>GROUND FLOOR</b>			
	Garage	65.64	346.0
	House	304.73	87.49
	Pergola	87.97	61.82
	Porch1	3.52	8.64
	Porch2	2.77	8.57
		489.58	189.22 m
<b>UPPER FLOOR</b>			
	Top floor	306.67	77.88
	Top of garage	64.85	38.80
		371.52	110.68 m
<b>ATTIC</b>			
	Attic	39.48	35.86
		68.48 m <sup>2</sup>	28.66 m
		830.73	338.76 m



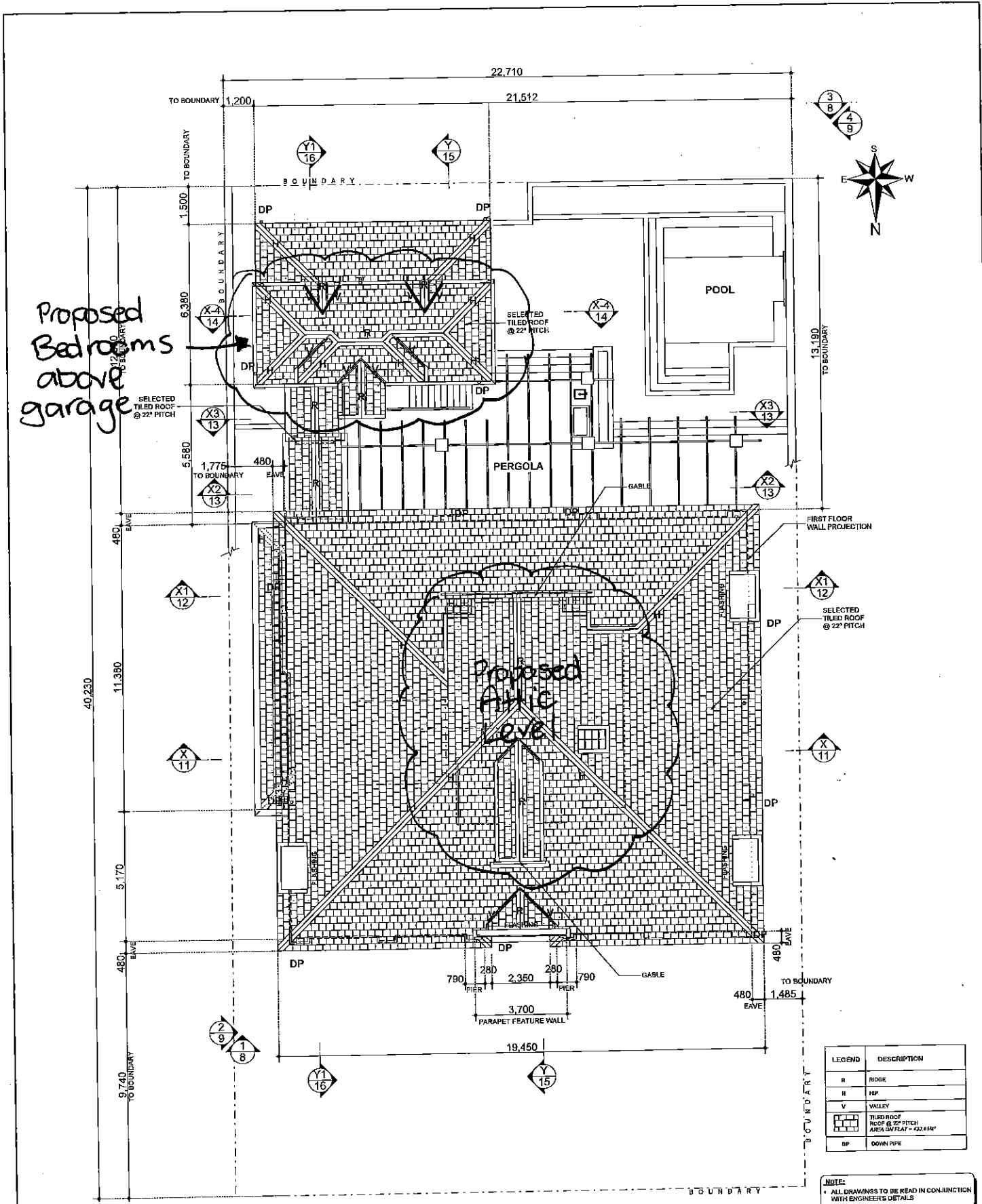
- NOTE:**  
• FRAME OUT BULKHEADS W/ METAL FURRING CHANNELS
- NOTE:**  
• FIRE PLACE: PROVIDE 3/4 INCH GAS PIPE & SINGLE END AT REAR RIGHT OF RECESS INCLUDE ISOLATION SWITCH EXTERNALLY
- NOTE:**  
• ROOF CARPENTRY: FRAME OUT CEILING FOR LINEAR A/C GRILLES
- NOTE:**  
• ALL FIXED CABINETS AND VANITIES AS PER MODA DESIGNS
- Ⓞ** DENOTES SMOKE DETECTOR
- NOTE:**  
• BRICK OPENINGS FOR TIMBER INTERNAL DOOR FRAMES: ALLOW 820 OPENING TO 720W DOORS & ALLOW 920 OPENING TO 820W DOORS

WIND CLASSIFICATION AS PER A.S. 4085:  
 NI - FOR GROUND STOREY OF RESIDENCE  
 NI - FOR UPPER STOREY OF RESIDENCE  
 NOTE: FOR RESIDENCES GREATER THAN DOUBLE STOREY REFER TO THE ENGINEERS OFFICE.  
 COASTAL CONDITIONS APPLICABLE

**UPPER FLOOR PLAN**  
1:100

**D28.11 – Attachment 5**  
**Upper Floor Plan**

<p>Suite 9, 59 Walters Drive Osborne Park W.A. 6017 Ph: (08) 9231 4800 Fax: (08) 9231 4801 A.C.N. 092 237 879 B.Reg 11420</p>	<table border="1"> <thead> <tr> <th>REV</th> <th>VD #</th> <th>DRN</th> <th>DATE</th> <th>CHK</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REV	VD #	DRN	DATE	CHK	BY							<p><b>PLANNING DRAWINGS</b> THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.</p> <p>DATED: _____</p> <p>OWNER: _____ WITNESS: _____</p> <p>OWNER: _____ WITNESS: _____</p> <p>BUILDER: _____ WITNESS: _____</p>	<p>CLIENT: Oswald Homes</p> <p>ADDRESS: Lot 248 (# 10) Bellevue Avenue Dalketh</p>	<p>Chateau Provence</p> <p>MODEL N° 90002</p> <p>DATE 30/11/10</p> <p>© COPYRIGHT</p> <p>SHEET N° 5 OF 11</p> <p>SUB N° 21955</p>
	REV	VD #	DRN	DATE	CHK	BY										
<p>Sub-contractors to verify all dimensions on site.</p>		<p>ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEER'S DETAILS</p>														



ROOF TOP PLAN  
1:100

LEGEND	DESCRIPTION
R	RIDGE
H	HIP
V	VALLEY
[Tiled Roof Pattern]	TILED ROOF ROOF @ 22° PITCH AREA ON FLAT = 422.41M <sup>2</sup>
DP	DOWN PIPE

NOTE: ALL DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEER'S DETAILS

NOTE: LOCATION OF DOWN PIPES IS INDICATIVE ONLY & MAY BE CHANGED AT BUILDERS DISCRETION

## D28.11 – Attachment 6 Roof Plan

**OSWALD HOMES**  
Unit 36/5, First Floor, 55 Salvazar Road  
Subiaco W.A. 6008  
Ph (08) 9231 4800 Fax (08) 9231 4801  
A.C.N. 092 237 879  
B.Reg 11420

REV	VO #	DRN	DATE	CHK
1	D/W schedule	GB	04/09/10	RW
2	OK 2 START	GB	08/09/10	RW
3	Front Fence	GB	23/09/10	RW
4	Additions	GB	23/11/10	RW
		GB	03/12/10	RW

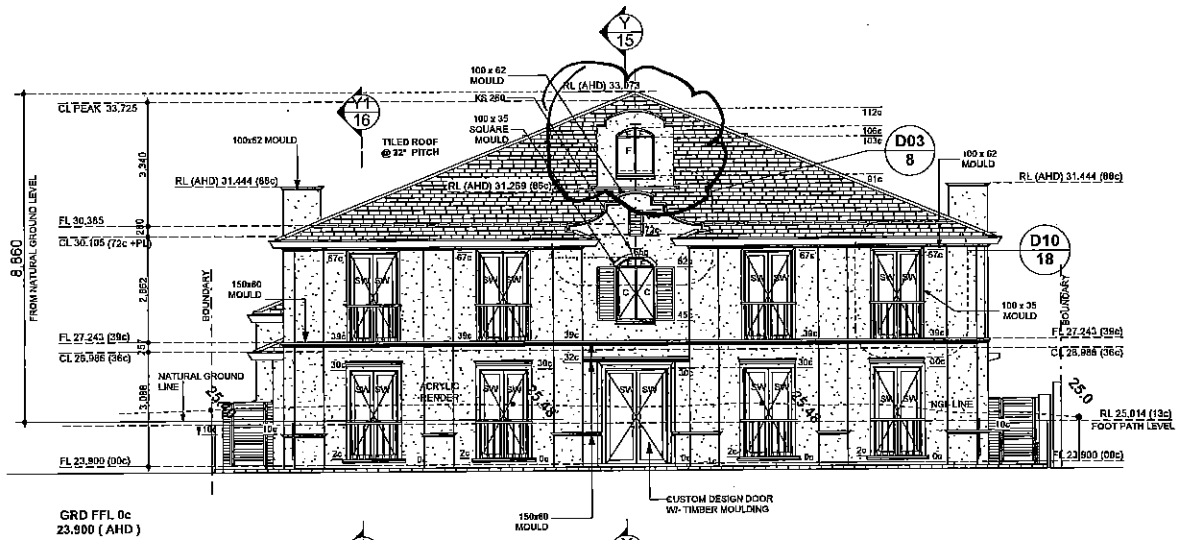
**OK TO START**  
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.  
DATED: \_\_\_\_\_  
OWNER: \_\_\_\_\_ WITNESS: \_\_\_\_\_  
OWNER: \_\_\_\_\_ WITNESS: \_\_\_\_\_  
BUILDER: \_\_\_\_\_ WITNESS: \_\_\_\_\_

CLIENT: Mr. M. MAHMUD  
ADDRESS: Lot 248 (# 10) Bellevue Avenue Dalkeith

**Chateau Provence**  
MODEL N° 90002  
© COPYRIGHT  
SHEET N° 6 OF 31  
JOB N° 21955

REVISION 4  
DATE: 11/02/2011

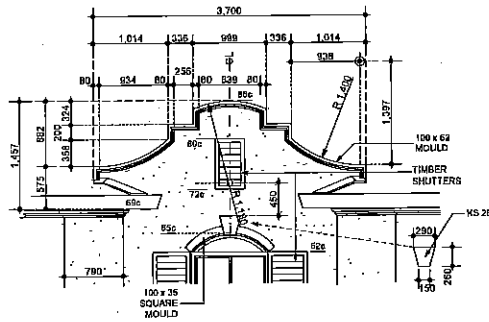
Sub-contractors to verify all dimensions on site.  
SIP Drawn by GB 3/08/2010



**ELEVATION 1**

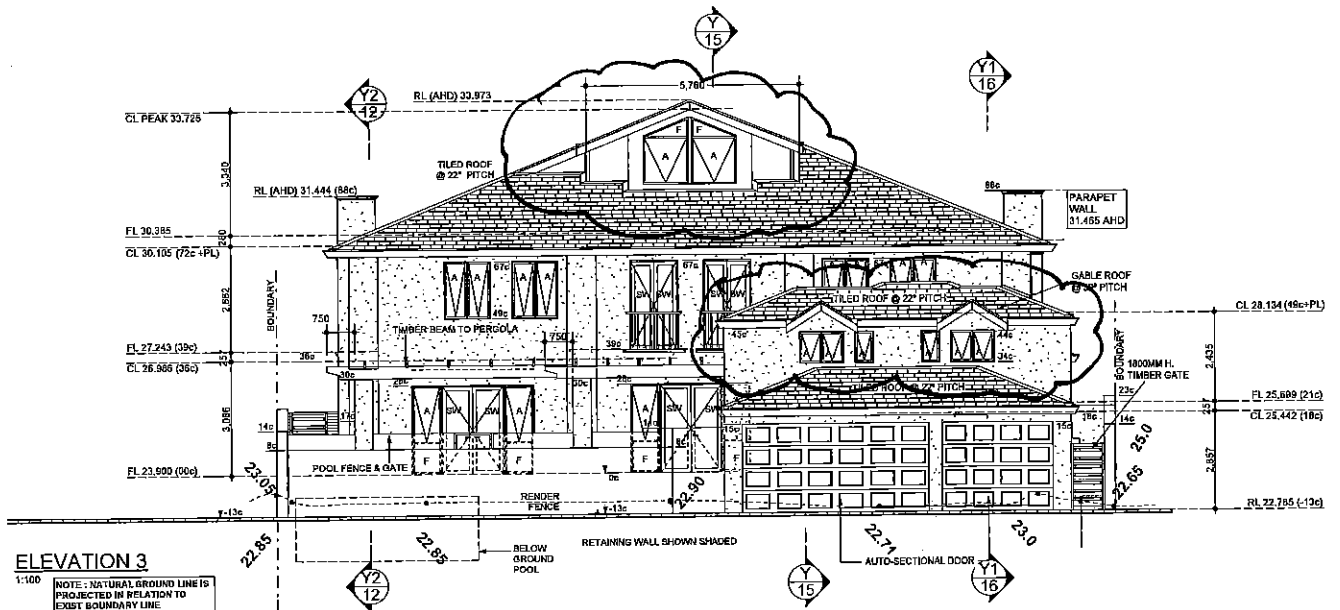
1:100

NOTE: NATURAL GROUND LINE IS PROJECTED IN RELATION TO EXIST BOUNDARY LINE



**DETAIL 03-FRONT PARAPET WALL**

1:50



**ELEVATION 3**

1:100

NOTE: NATURAL GROUND LINE IS PROJECTED IN RELATION TO EXIST BOUNDARY LINE

**D28.11 – Attachment 7  
Front & Rear Elevations**

**OSWALD HOMES**  
Unit 36/5, First Floor, 55 Salvado Road  
Subiaco W.A. 6008  
Ph (08) 9231 4800 Fax (08) 9231 4801  
A.C.N. 092 237 879  
B.Reg 11420

REV	VO #	DRN	DATE	CHK
1	1	CB	04/08/10	RW
2	2	CB	08/08/10	RW
3	3	CB	23/06/10	RW
4	4	CB	23/11/10	RW
5	5	CB	03/12/10	RW

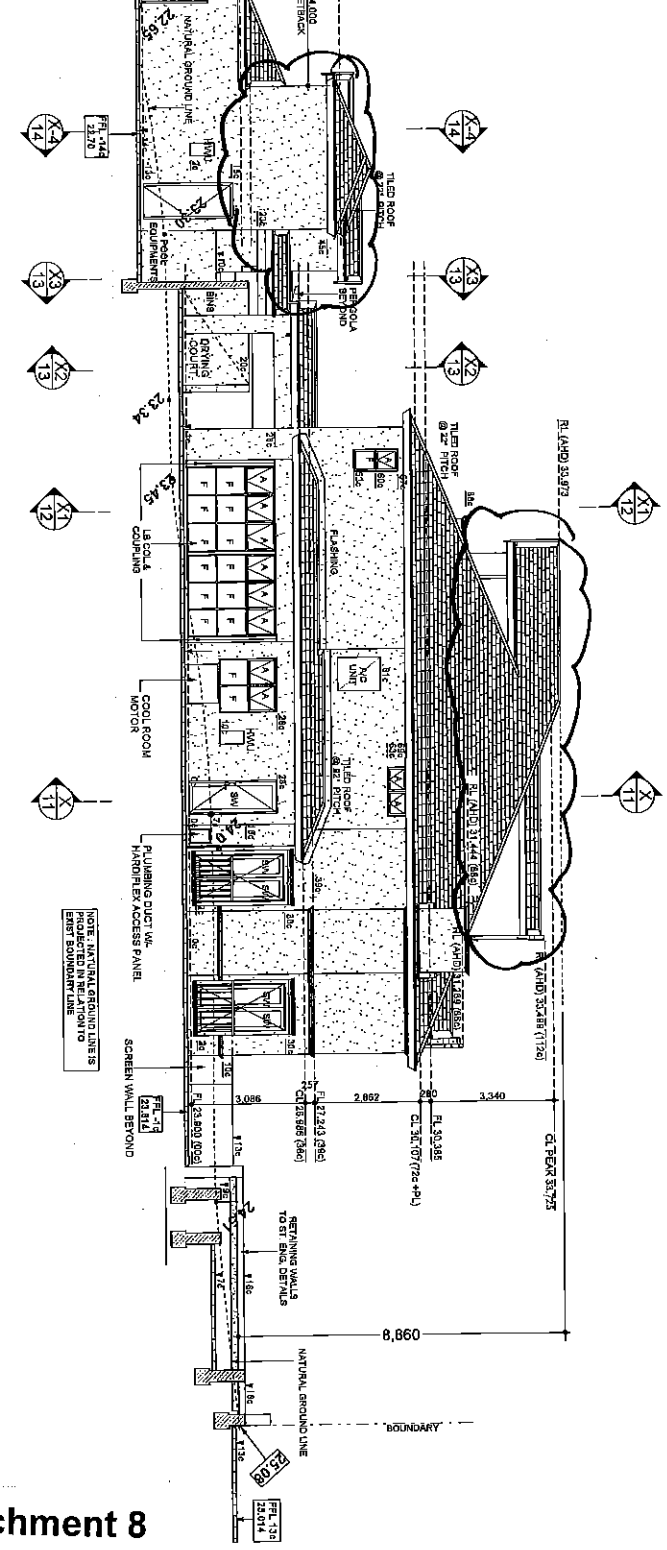
**OK TO START**  
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT  
DATED: \_\_\_\_\_  
OWNER: \_\_\_\_\_ WITNESS: \_\_\_\_\_  
OWNER: \_\_\_\_\_ WITNESS: \_\_\_\_\_  
BUILDER: \_\_\_\_\_ WITNESS: \_\_\_\_\_

CLIENT: Mr. M. MAHMUD  
ADDRESS: Lot 248 (# 10) Bellevue Avenue Dalkeith

MODEL N°	90002	REVISION	4
© COPYRIGHT			
SHEET N°	8 OF 31	DATE	17/02/2011
JOB N°	21955		

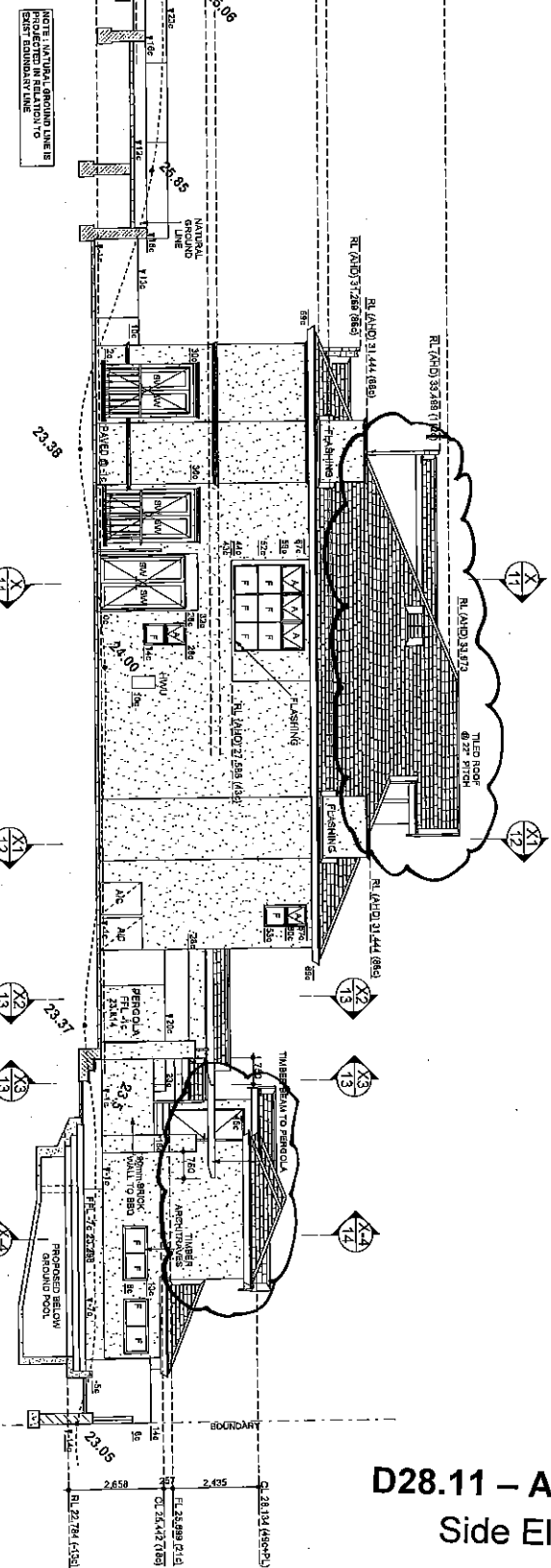
Sub-contractors to verify all dimensions on site.  
810 Drawn by CB 23/06/2010

EXISTING LEVELS AROUND GARAGE  
 13.00 - 23.28 - 23.27 - 23.40 - 23.48  
 NATURAL GROUND LEVEL AROUND 23.21 (N.L.)  
 GARAGE AREA  
 23.21 - 23.29 m  
**ELEVATION 2**  
 1:100



NOTE: NATURAL GROUND LINES  
 ARE SHOWN IN DASHED LINE  
 EXIST BOUNDARY LINE

**ELEVATION 4**  
 1:100



NOTE: NATURAL GROUND LINES  
 ARE SHOWN IN DASHED LINE  
 EXIST BOUNDARY LINE

### D28.11 – Attachment 8 Side Elevations

Unit 36/5, First Floor, 55 Salvado Road  
 Subiaco W.A. 6008  
 Ph (08) 9231 4800 Fax (08) 9231 4801  
 A.C.N. 092 237 879  
 B.Reg 11420

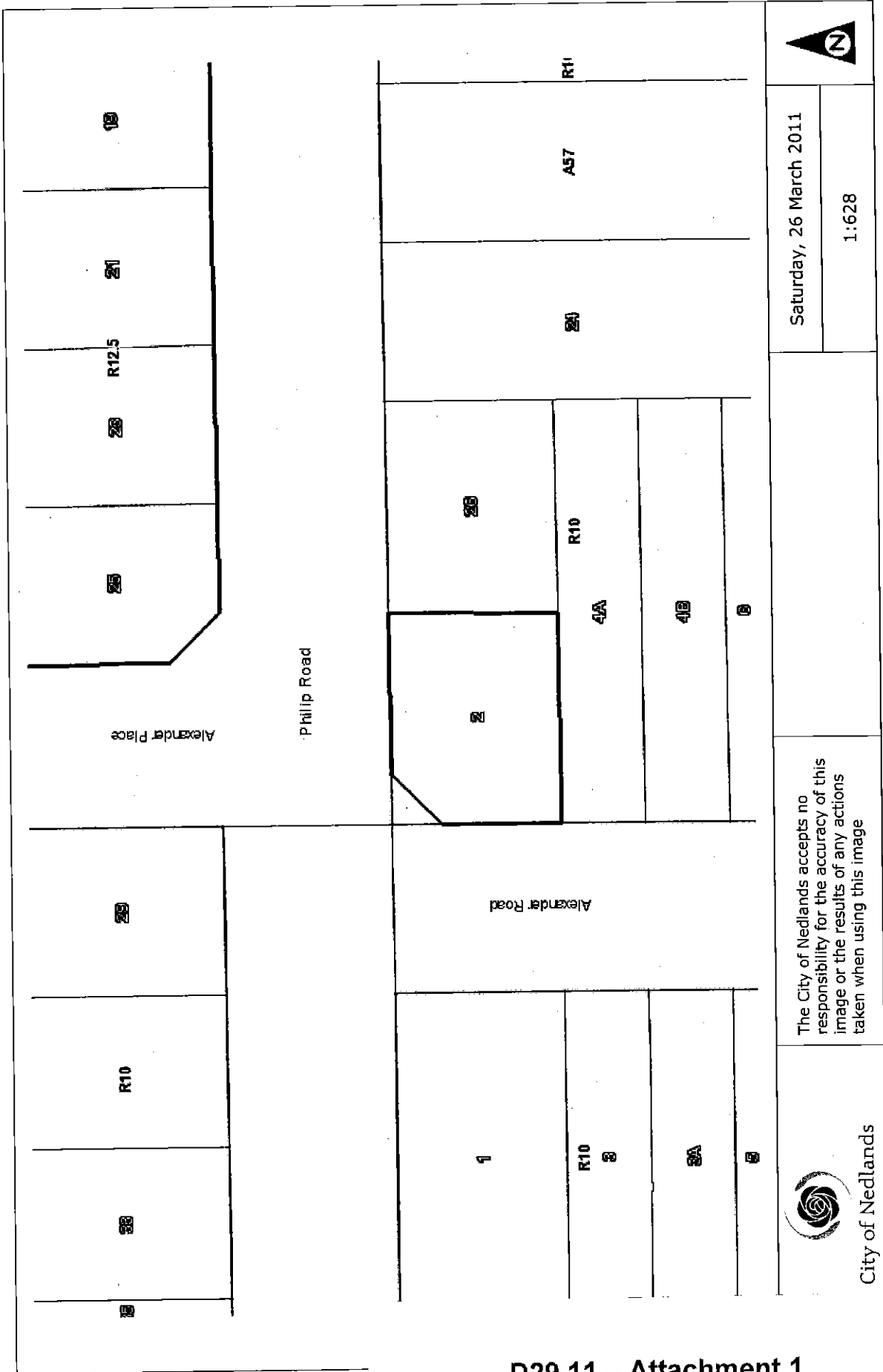
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2	OK 2 START	GB	06/08/10	RW
3	Front Fence	GB	23/09/10	RW
4	Additions	GB	03/12/10	RW

**OK TO START**  
 THIS IS ONE OF THE DRAWINGS  
 REFERRED TO IN THE CONTRACT.  
 DATED: \_\_\_\_\_  
 OWNER: \_\_\_\_\_ WITNESS: \_\_\_\_\_  
 OWNER: \_\_\_\_\_ WITNESS: \_\_\_\_\_  
 BUILDER: \_\_\_\_\_ WITNESS: \_\_\_\_\_

CLIENT: Mr. M. MAHMUD  
 ADDRESS: Lot 248  
 (# 10) Bellevue Avenue  
 Dalkeith

Chateau Provence		REVISION	4
MODEL N°	90002		
© COPYRIGHT			
SHEET N°	9 OF 31		
JOB N°	21955		
		DATE: 17/02/2011	

Sub-contractors to verify all dimensions on site.  
 510 Down St, 08 2359386



Saturday, 26 March 2011

1:628

The City of Nedlands accepts no responsibility for the accuracy of this image or the results of any actions taken when using this image



City of Nedlands

**D29.11 – Attachment 1  
Locality Plan**

# ALEXANDER/PHILIP ROAD LOCALITY

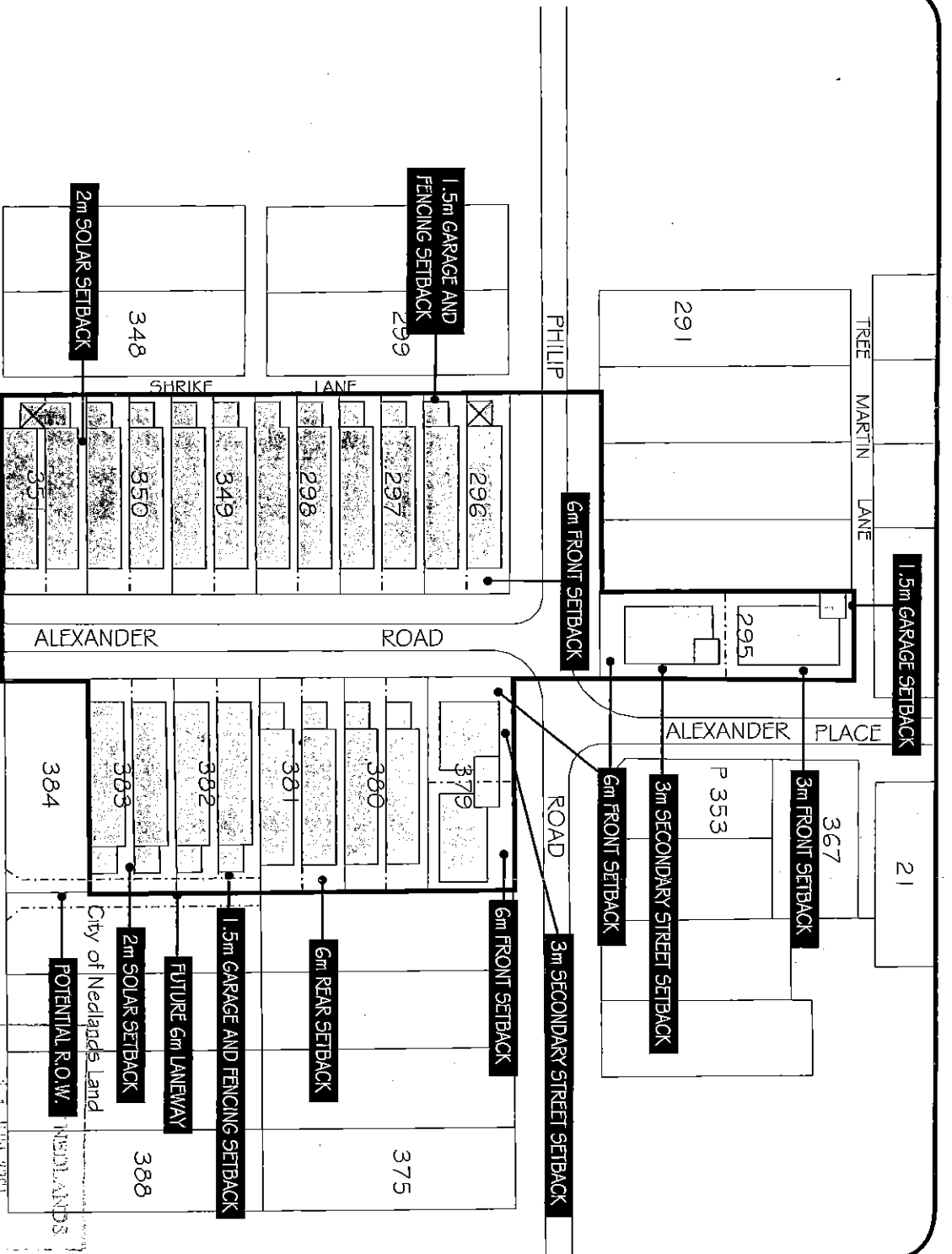
## DETAILED AREA PLAN PROVISIONS AND R-CODE VARIATIONS

The provisions of the City of Nedlands Town Planning Scheme No 2 and the Residential Design Codes apply unless otherwise varied below:

1. Setbacks shall be as per the Residential Design Codes unless otherwise specified below or on the plan;
  2. Vehicular access to lots 296, 297, 298, 349, 350, 351, 382 & 383 is only permitted from the laneway and it is mandatory for all garages to be located at the rear of the lot;
  3. The minimum front setback to Alexander Road for all development shall be 6 metres;
  4. Zero lot lines are permitted on the southern boundary of each allotment as shown;
  5. A 2metre solar setback applies to the northern boundary of each allotment as shown;
  6. Solid front walling to Waratah Avenue is permitted for the purpose of noise attenuation;
  7. A two storey height limit applies to all development in accordance with Town Planning Scheme No. 2;
  8. Neighbour consultation is mandatory for any boundary wall proposals in accordance with the requirements of Town Planning Scheme No. 2;
  9. Front boundary walling or fencing is not permitted unless approval is granted by Council; and
  10. The materials, colouring, style and roof pitch (if any) of a carport or garage shall be designed to match those of the existing dwelling.
- Endorsed by: .....

## D29.11 – Attachment 2

### Alexander Road Design Guidelines and Detailed Area Plan



## DETAILED AREA PLAN

Alexander/Philip Road Locality  
for City of Nedlands



City of Nedlands

### LEGEND:

- Subject Area, Designated Subdivision
- Preferred Garage Location
- Designated Garage Location
- Building Envelope
- No Vehicular Access



Allerdings Burgess  
Town Planning, Urban Design & Architecture



SCALE 1:1250  
DATE: APRIL 2004

## STUDY AREA

The Alexander Road Locality is bounded by Tree Martin Lane, Waratah Avenue, Shrike Lane and the eastern (or rear boundary) of those lots fronting the eastern side of Alexander Road, as shown on the Location Plan. This Detailed Area Plan applies to all allotments within this area, generally being those lots fronting Alexander Road between Waratah Avenue and Philip Road and including No 29 Philip Road.

## Scope of Detailed Area Plan

This Detailed Area Plan applies to the subject locality as prescribed by the City of Nedlands Town Planning Scheme No 2 (the 'Scheme').

The Detailed Area Plan applies general residential development controls for the Locality further to the Scheme and the Residential Design Codes for the following Design Elements:

- Development Layout;
- Streetscape;
- Building Design;
- Boundary Walls; and,
- Building Height.

Please note that unless otherwise stated on the Detailed Area Plan, the provisions of Council's Scheme and the Residential Design Codes shall apply.

## Objectives

To provide for the managed and orderly redevelopment of the Locality to enhance the amenity for existing and future residents;

To provide for the development of no more than two dwellings per allotment in a manner which ensures integration with the existing urban fabric of the area;

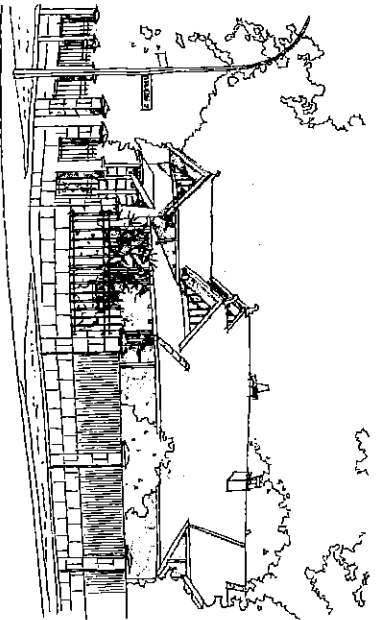
To promote the development of housing styles that complement the existing and traditional character of the locality in general, while providing for innovation and diversity; and,

To encourage retention of the overall character of the existing streetscape of Alexander Road, balancing the intimate and leafy nature of the Locality with orderly redevelopment.

## DEVELOPMENT GUIDELINES

The following Development Guidelines are provided to encourage a high standard of both development and appearance for the renovation of existing homes and the creation of new dwellings within the Locality.

A well designed home and its setting will maintain the amenity of the area and enhance both lifestyle and investment for owners and neighbours alike.

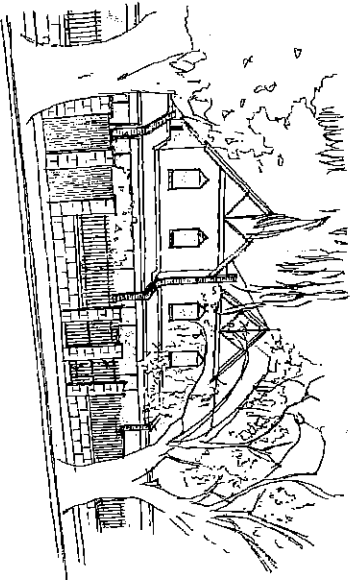
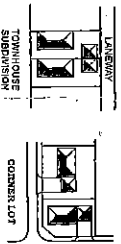


Open style front fencing to provide for interaction with street environment

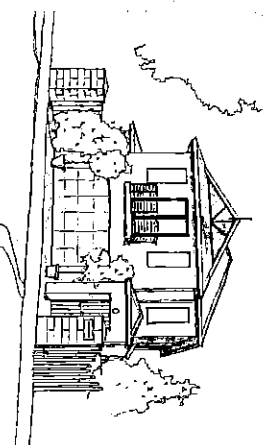
## Form of Development

Development of additional dwellings, in accordance with the given objectives, may take the following form:

'Townhouse' Subdivision and Development;  
'Corner Lot' Subdivision and Development;



'Townhouse' style subdivision with rear access



Two storey development with front access provides for surveillance of street

## Building Materials and Design

Materials and colouring should be selected to complement the existing character of the area.

Buildings should also be designed to complement the existing character of the locality. Homes with front porches and verandahs are encouraged, adjacent to Alexander Road, Philip Road and Alexander Place, in order to provide for greater interaction with the street and its environment.

Pitched roofs are also encouraged and these should be designed to be generally between 25 and 30 degrees. Highly reflective roofing is not recommended as it is considered to be inappropriate due to its highly reflective nature and susceptibility to corrosion.

Where an existing dwelling is retained as part of a development, the dwelling's appearance should be upgraded externally in order to enhance the overall streetscape and development quality within the Locality.

## Ancillary Structures

TV antennas, air conditioners and satellite dishes should be screened from public view and not visible above the roof-line.

The location of air conditioners should be carefully considered with regard to potential noise impacts for neighbouring properties.

Letterboxes should be designed to complement the dwelling and be clearly numbered. Where letterboxes are provided for two dwellings in a manner in which they adjoin, they should be constructed to match in materials, style and colouring.

Clotheslines should be screened from public view where possible and located to catch both winter and summer sun.

A rainwater tank, if provided, should be located to minimise its impact on neighbours. It should be positioned out of public view, be appropriately screened or painted to match the dwelling.

For more information or assistance, please contact the Planning Services at the City of Nedlands:

Phone: 9273 3500;  
Fax: 9273 3670;  
Web: www.nedlands.wa.gov.au  
Address: 71 Spinling Highway



City of Nedlands

## D29.11 – Attachment 2

# Alexander Road Design Guidelines and Detailed Area Plan



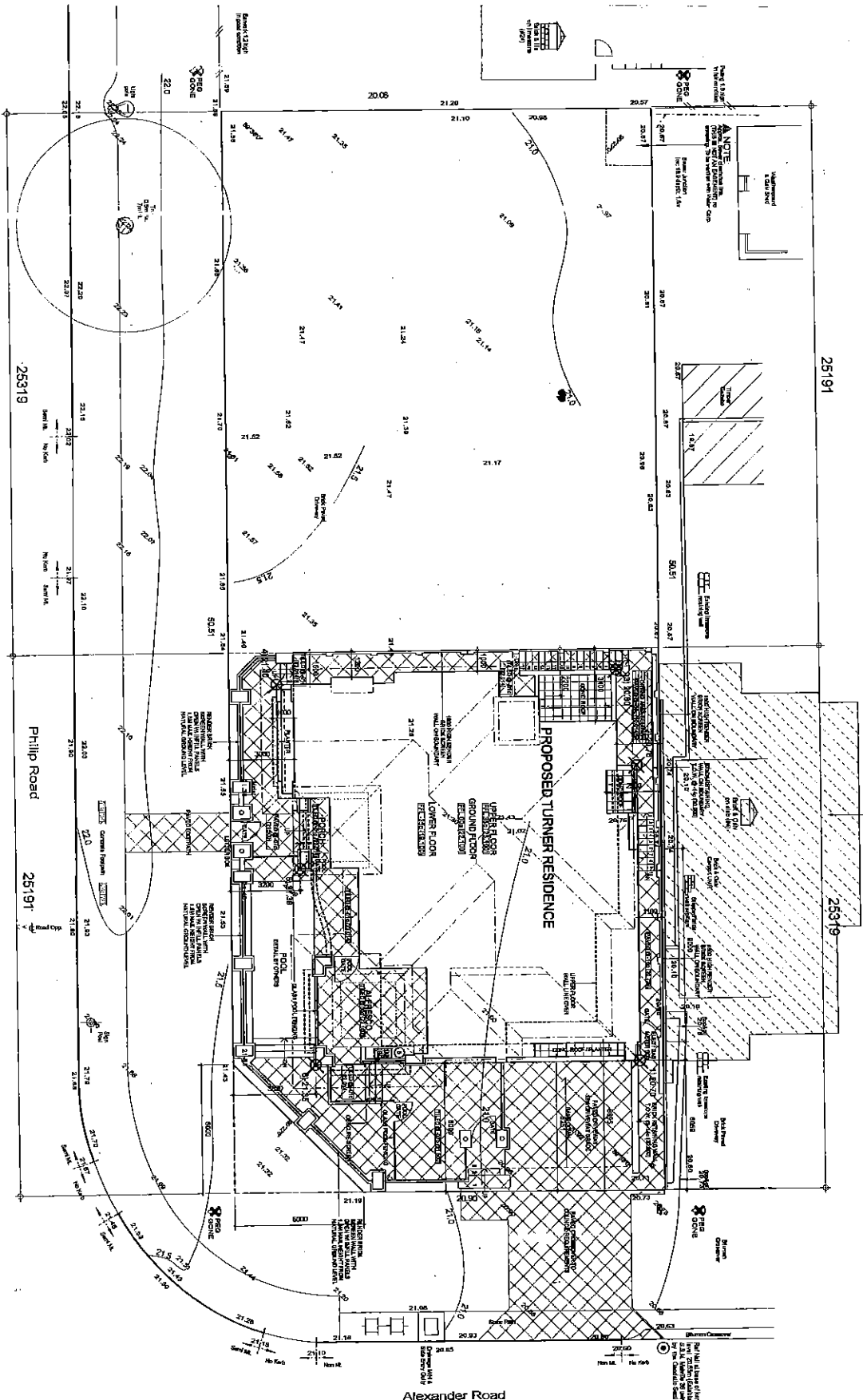


# D29.11 – Attachment 3 Site Plan & Overshadowing Plan

**SITE PLAN**  
SCALE: 1:100

MEAN GROUND LINE CALCULATION	
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SITE COVER	
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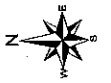
**NOTE:** ALL DATA GIVEN IS APPROXIMATE AND SHOULD BE USED ONLY AS A GUIDE. THE CLIENT IS RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DATA.  
**NOTE:** THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.  
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**NOTE:** THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

COTTAGE & ENGINEERING SERVICES	
DATE:	21/08/2024
SCALE:	1:100
PROJECT:	PROPOSED TURNER RESIDENCE
CLIENT:	TURNER RESIDENCE LIMITED
LOCATION:	LOT 27, PHILIP ROAD & ALEXANDER ROAD, DUNEDIN
DESIGNER:	COTTAGE & ENGINEERING SERVICES
DATE:	21/08/2024
SCALE:	1:100
PROJECT:	PROPOSED TURNER RESIDENCE
CLIENT:	TURNER RESIDENCE LIMITED
LOCATION:	LOT 27, PHILIP ROAD & ALEXANDER ROAD, DUNEDIN
DESIGNER:	COTTAGE & ENGINEERING SERVICES

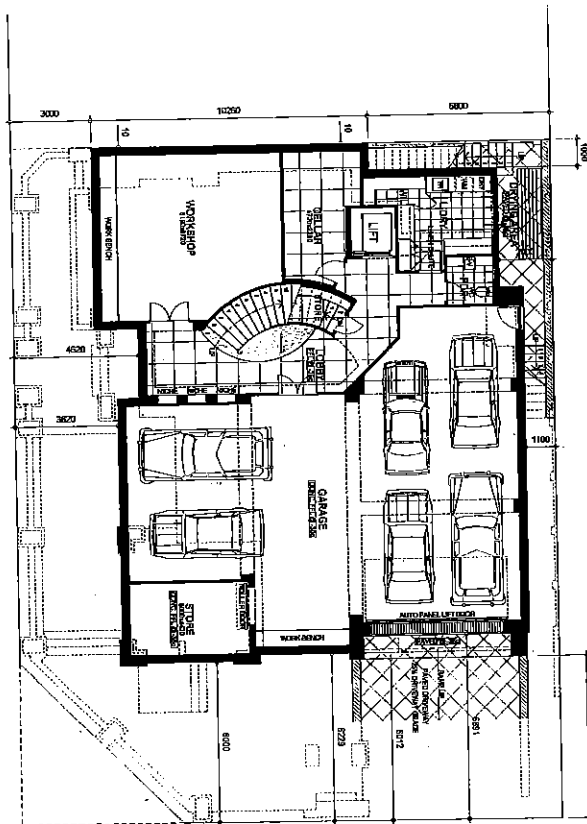
**TURNER RESIDENCE**  
**LIMITED EDITION LUXURY HOMES**  
**27** (and amendments 2/2024)  
 LOT 27, PHILIP ROAD & ALEXANDER ROAD, DUNEDIN



**NOTE:** THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.  
**NOTE:** THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.



### D29.11 – Attachment 4 Basement Floor



LOWER FLOOR PLAN  
SCALE 1:100

LEADERS	DATE
DATE / FROM	DATE / TO
TOTAL	SCALE

TURNER RESIDENCE  
LIMITED EDITION LUXURY HOMES 3/7

LOT 373 W/27 ALEXANDER ROAD & PHILIP ROAD, DAVENTH.

Project location: P 2011001-018

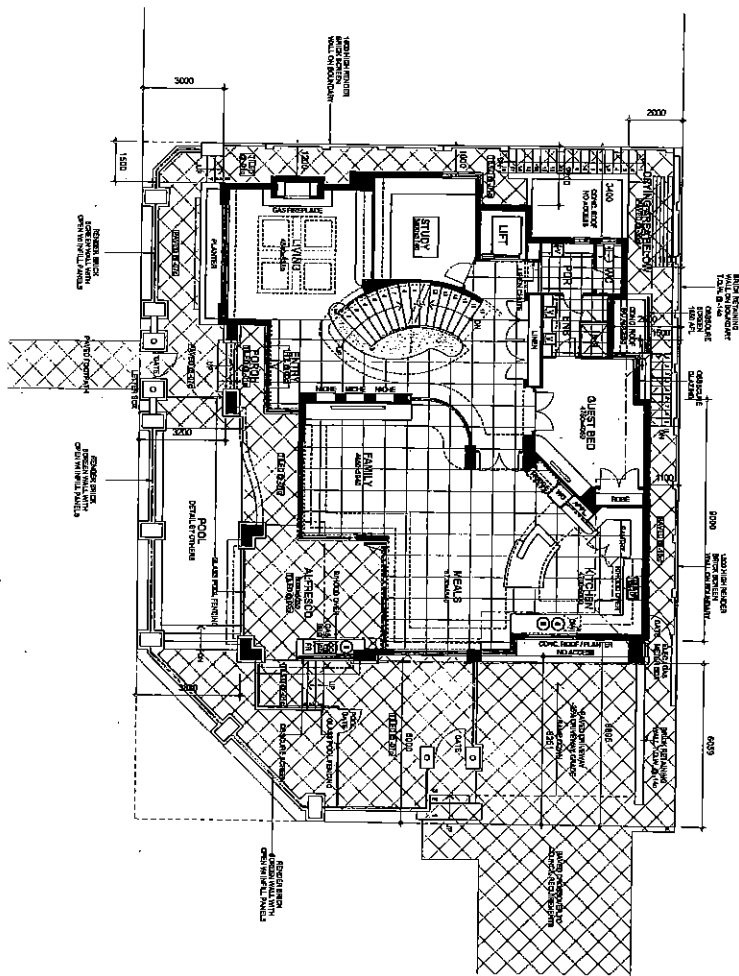


# D29.11 – Attachment 5

## Ground Floor

**GROUND FLOOR PLAN**  
SCALE 1:150

AREA	AREA	AREA
GENERAL	21.74	21.74
POOL	2.17	2.17
STAIRS	2.17	2.17
TOTAL	26.08	26.08



**TURNER RESIDENCE**  
**LIMITED EDITION LUXURY HOMES**  
LOT 379 (2) OF ALEXANDER ROAD & PHILIP ROAD, DALETH

**md**  
MILAKOV DESIGNS  
PROJECT MANAGEMENT

CITY OF MEDLANDS  
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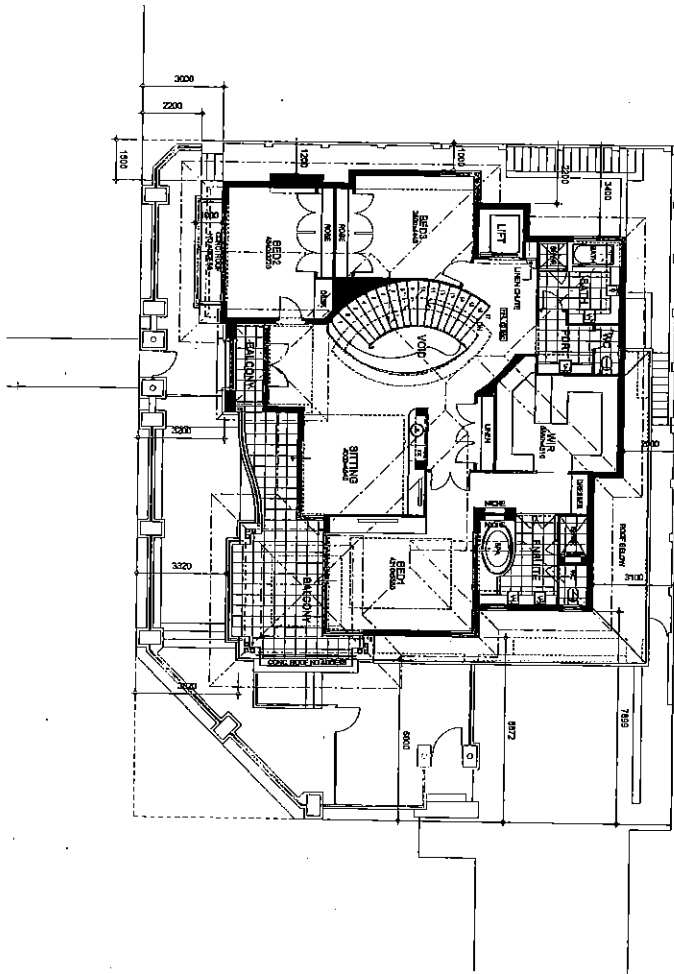


# D29.11 - Attachment 6

## Upper Floor

UPPER FLOOR PLAN  
SCALE 1:100

USE AREAS	AREA
RESIDENTIAL	83.17
CORRIDOR	11.12
STAIR	12.32
TOTAL	106.61



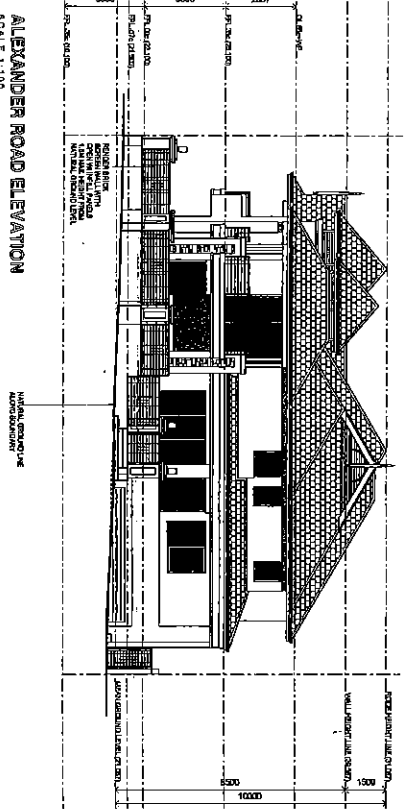
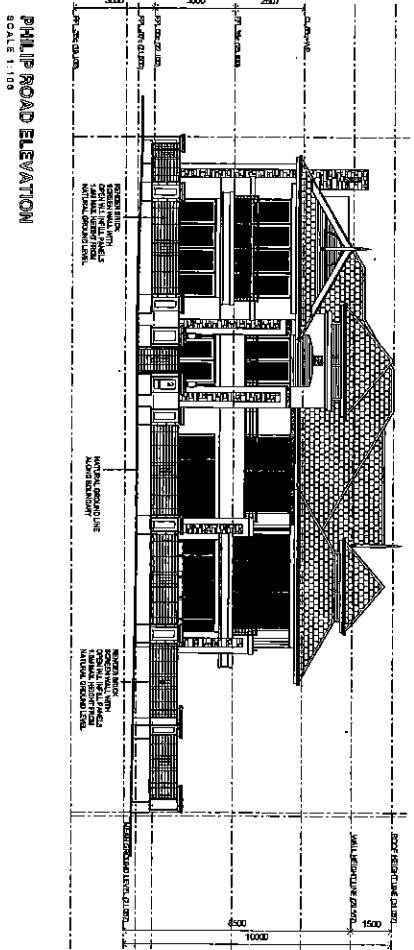
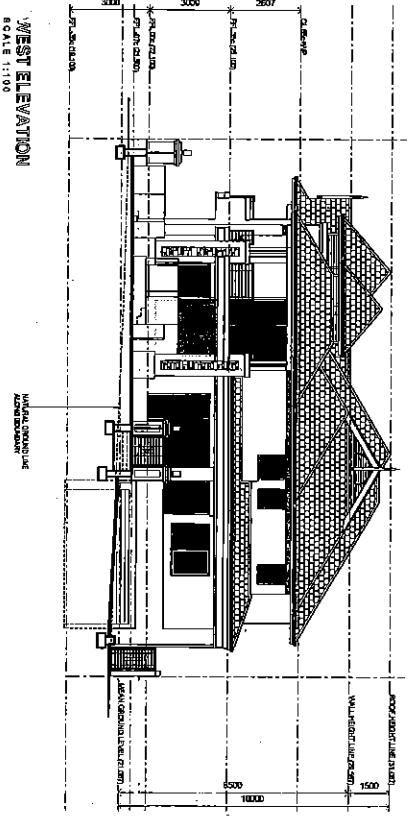
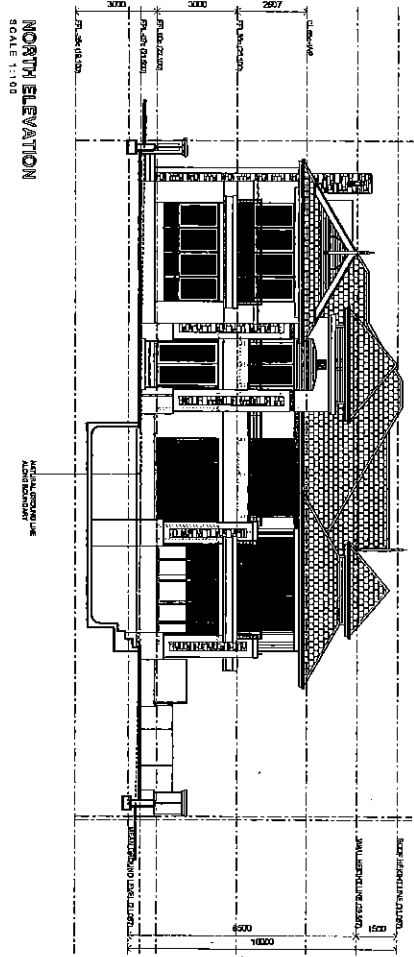
**TURNER RESIDENCE**  
**LIMITED EDITION LUXURY HOMES**  
 LOT 318/251 ON ALEXANDER ROAD & PILUP ROAD, DALKEITH

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MILANKOV DESIGNS  
 PROJECT MANAGEMENT  
 md

57  
 Sheet # 1 (Grand Ammendments 2/2010)

# D29.11 – Attachment 7 North & West Elevations

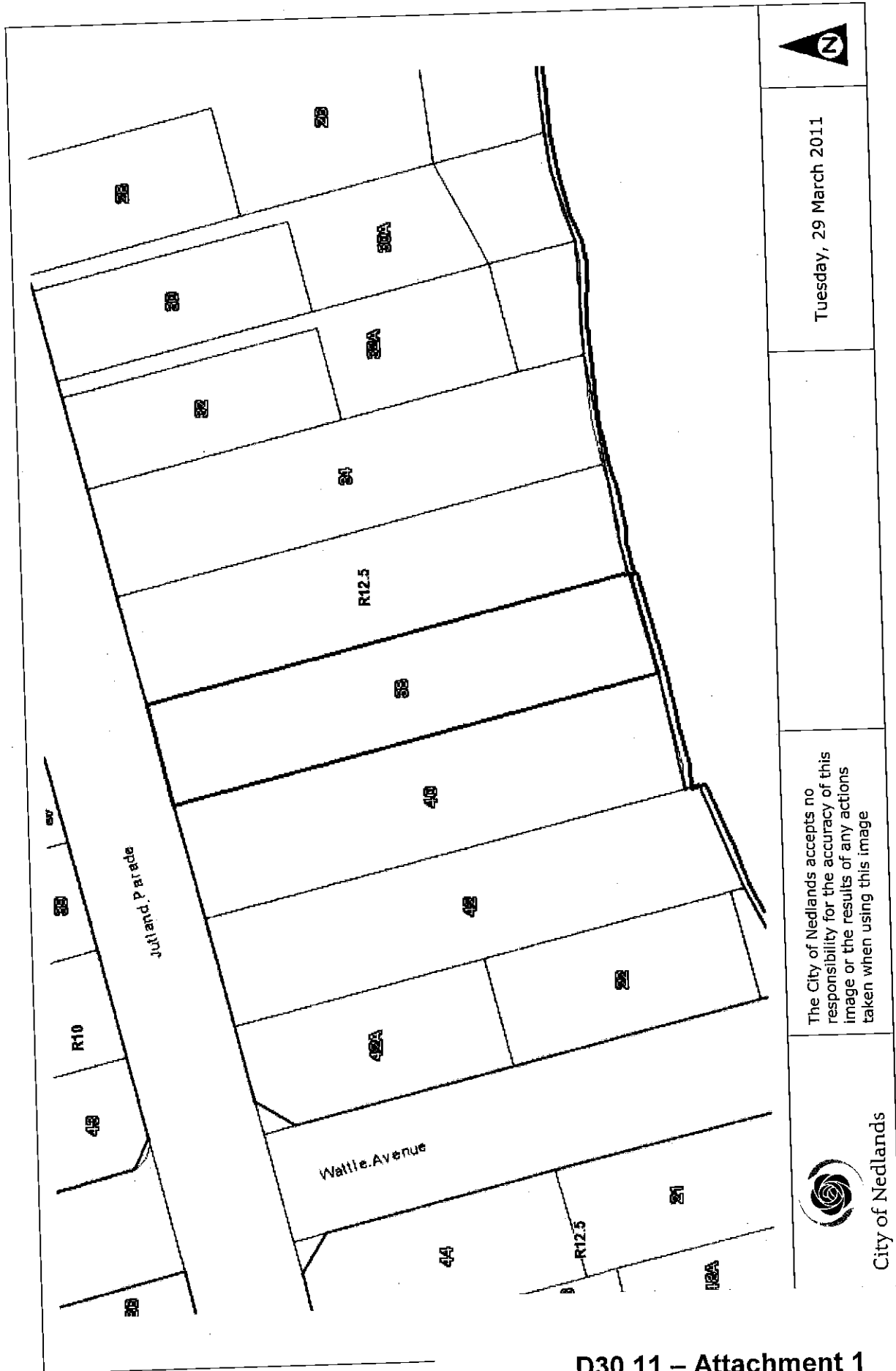


**TURNER RESIDENCE**  
**LIMITED EDITION LUXURY HOMES** 677  
LOT 733 (97) ON ALEXANDER ROAD & PHILIP ROAD, PALM BEACH



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23 SEP 2016  
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Tuesday, 29 March 2011

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City of Nedlands

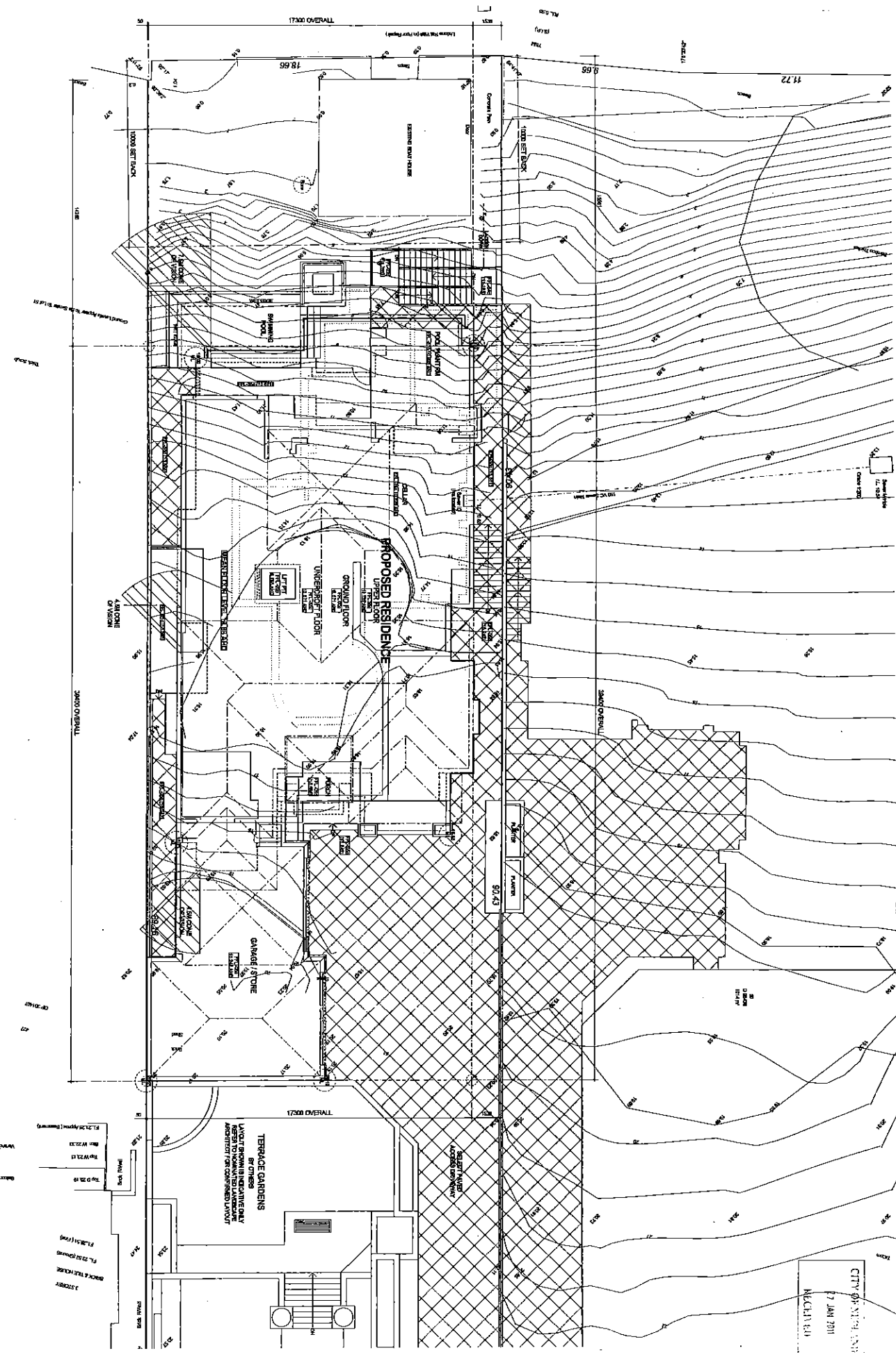
D30.11 – Attachment 1  
Locality Plan

# D30.11 – Attachment 2 Site Plan



<b>SITE COVER</b>	
GRAVEL	7.00%
ASPHALT	10.00%
CONCRETE	15.00%
WOOD	10.00%
ROCK	10.00%
VEGETATION	48.00%

**SITE PLAN**  
SCALE 1:100



**MARIO & MAGGIE FRANCO**  
1 OF 8

CITY OF VICTORIA  
27 JAN 2011  
MAGGIE FRANCO

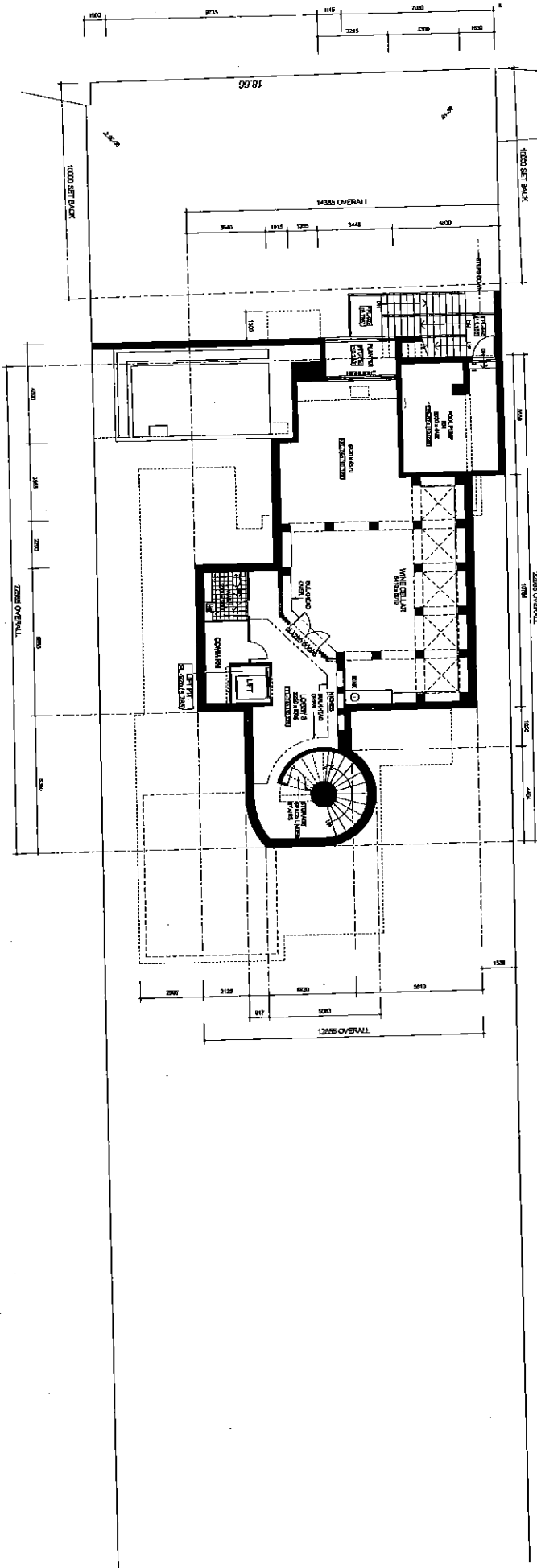


# D30.11 – Attachment 3 Cellar Floor Plan



CELLAR FLOOR PLAN  
SCALE 1:100

CELLAR AREAS	
CELLAR AREA	13.85
STAIRS	0.75
MECHANICAL	0.50
TOTAL	15.10



**MARIO & MAGGIE FRANCO**  
2 OF 8

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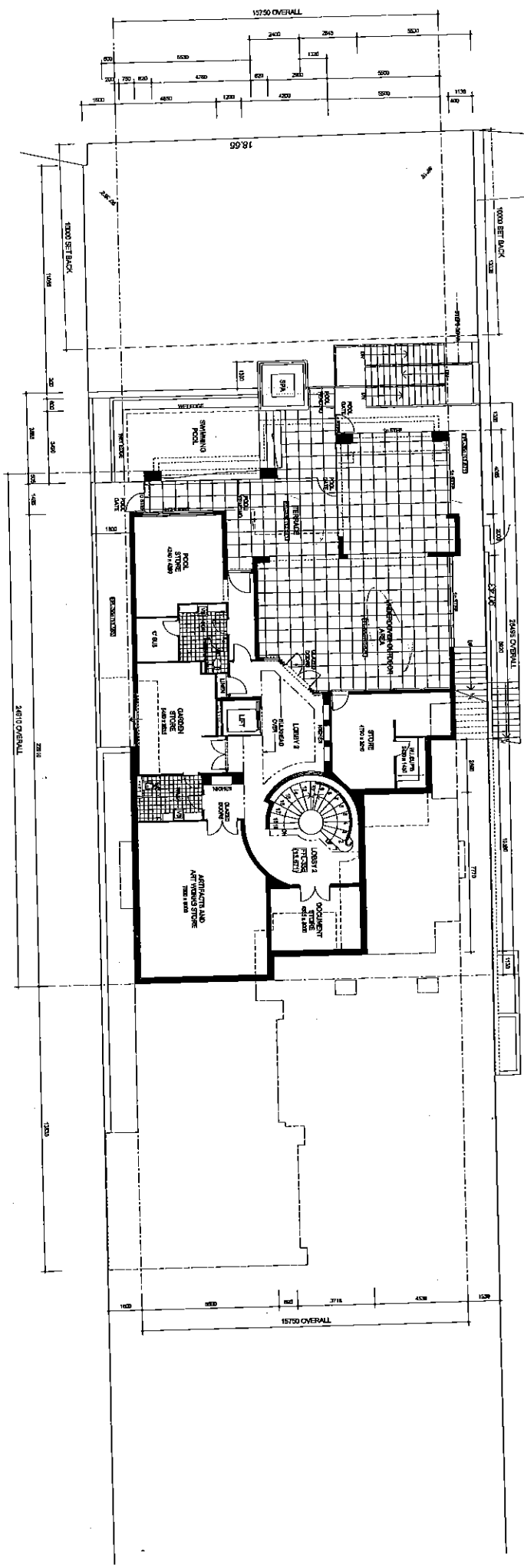
CITY OF PALM BEACH  
27 JAN 2018  
RECEIVED

# D30.11 – Attachment 4 Basement Floor Plan



USE AREAS	
ADDITIONAL	454.00
COMMON	418.00
TOTAL	872.00

**BASEMENT FLOOR PLAN**  
SCALE 1:100



**MARIO & MAGGIE FRANCO**

**3 OF 8**

LOT 51 (SUB) AND THE QUARTER COUNCIL RESERVE (SOUTH & WEST) (MORTGAGE) IN ALL BUDAPEST, P. 111 (SUB) AND P. 112 (SUB) ARE THE PROPERTY OF MARIO & MAGGIE FRANCO. THE REMAINING PORTION OF LOT 51 (SUB) AND THE QUARTER COUNCIL RESERVE (SOUTH & WEST) (MORTGAGE) IS THE PROPERTY OF MARIO & MAGGIE FRANCO. THE REMAINING PORTION OF LOT 51 (SUB) AND THE QUARTER COUNCIL RESERVE (SOUTH & WEST) (MORTGAGE) IS THE PROPERTY OF MARIO & MAGGIE FRANCO.

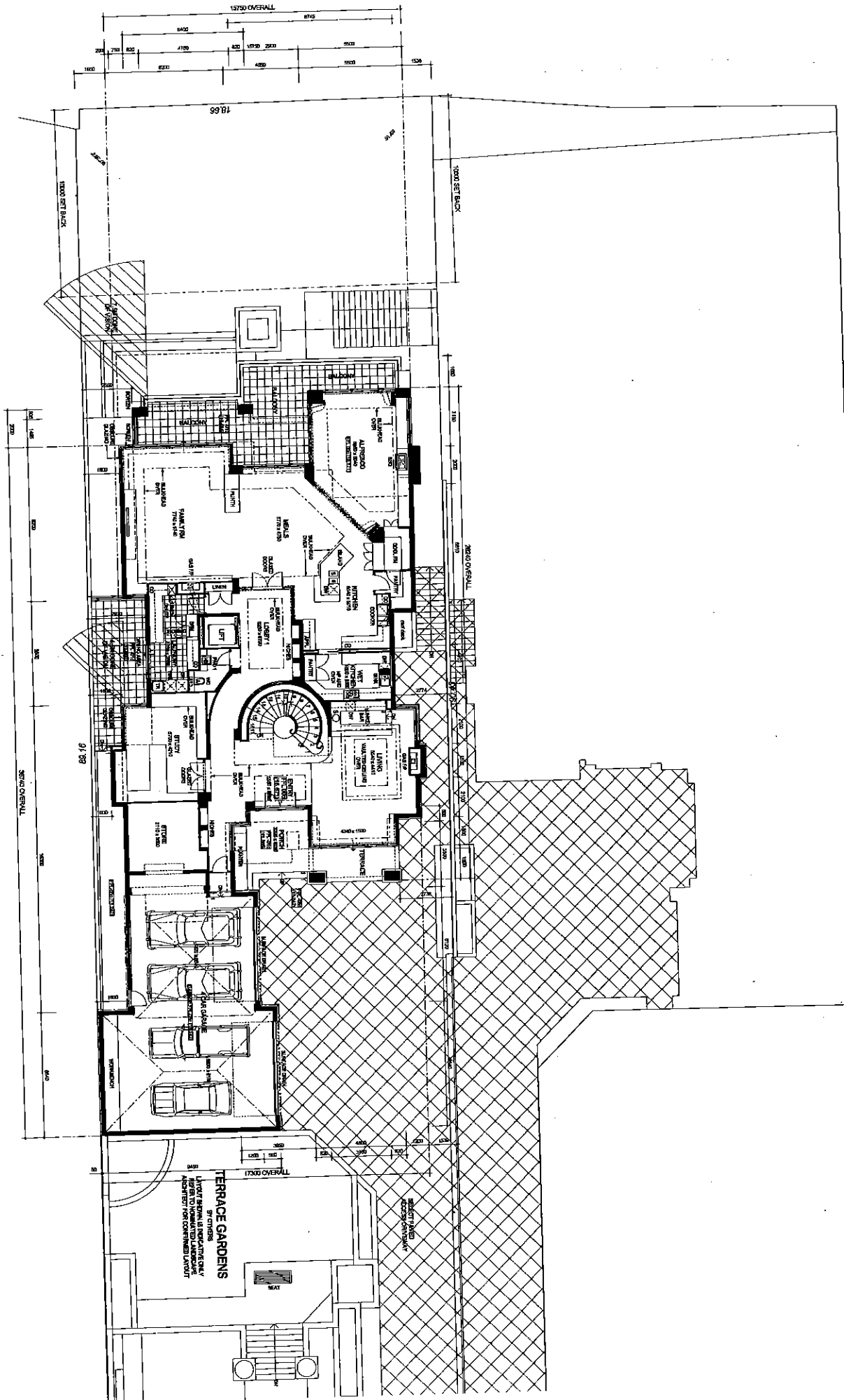
DATE: 27 JAN 2018  
REVISION: 1.0

# D30.11 – Attachment 5 Ground Floor Plan



**GROUND FLOOR PLAN**  
SCALE 1:100

S.F. AREAS	
Room	Area
Living	7.24
Dining	4.88
Kitchen	5.12
Bathroom	4.50
Bedroom	11.75
Staircase	1.80
Other	1.71
<b>TOTAL</b>	<b>43.02</b>



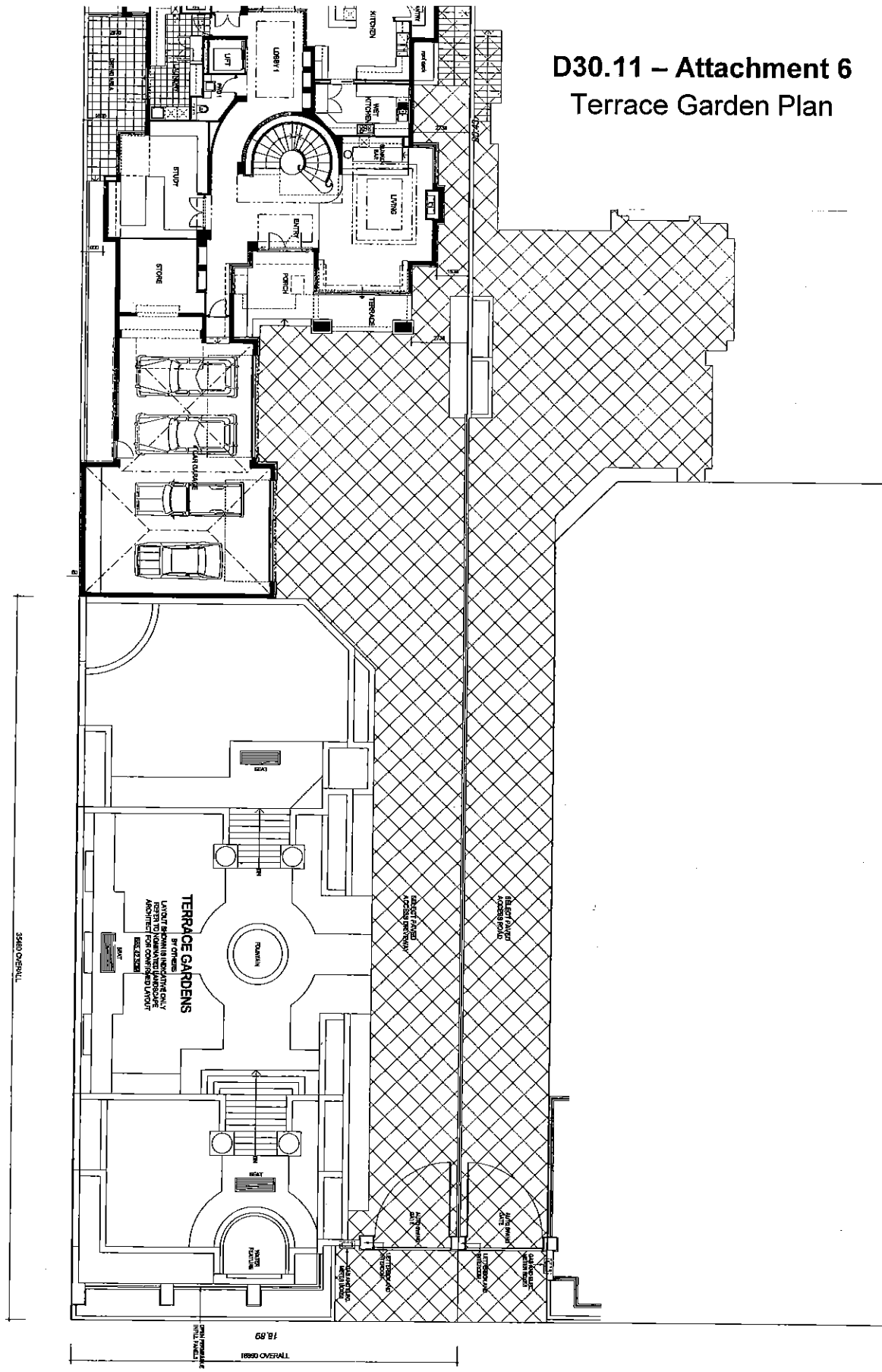
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# D30.11 – Attachment 6 Terrace Garden Plan



TERRACE GARDENS PLAN  
SCALE 1:100



**MARIO & MAGGIE FRANCO**

**5 OF 8**

LOT 51 (80) LINDA POE DAUGHTER, DENISE S. SERRIN & DAVID J. WILSON  
P.O. BOX 1404, 801 10th Ave. S., Minneapolis, MN 55404  
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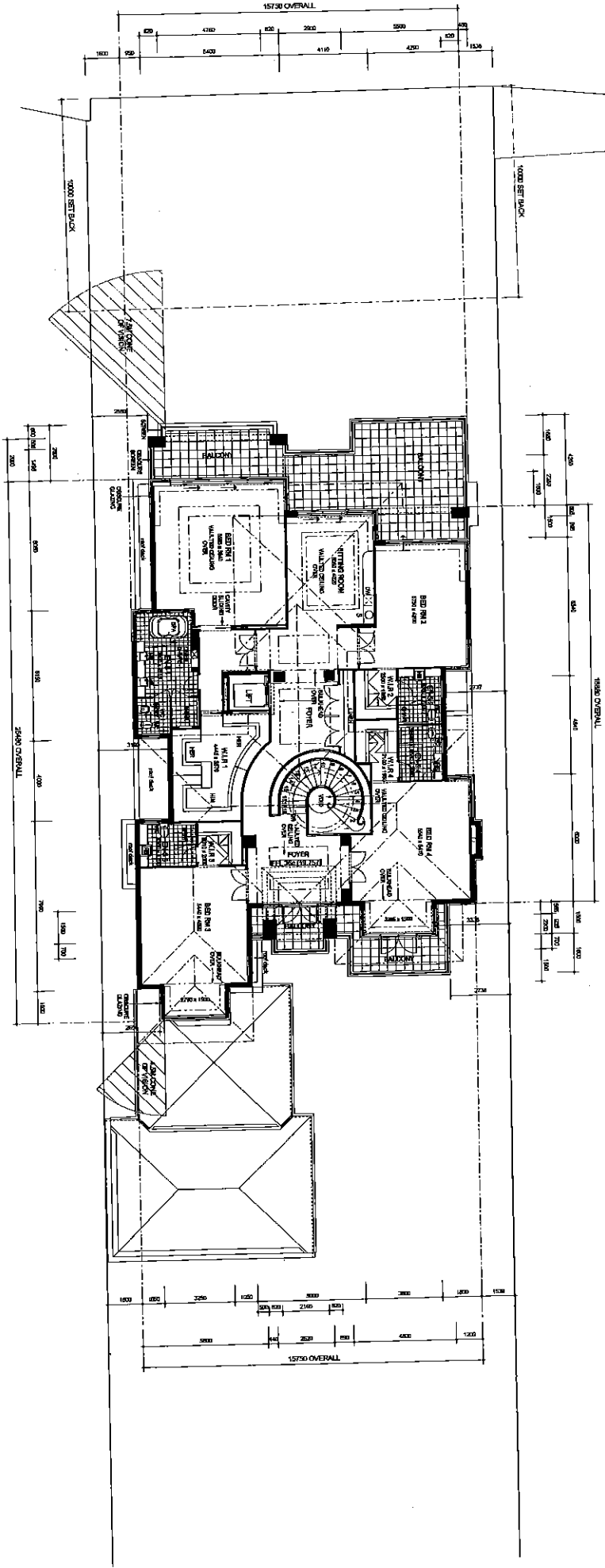
# D30.11 – Attachment 7

## Upper Floor Plan



U.L. AREAS	
ROOM	12'x11'
BALCONY (FRONT)	16'x16'
BALCONY (REAR)	16'x16'
TOTAL	384.00

**UPPER FLOOR PLAN**  
SCALE 1:100



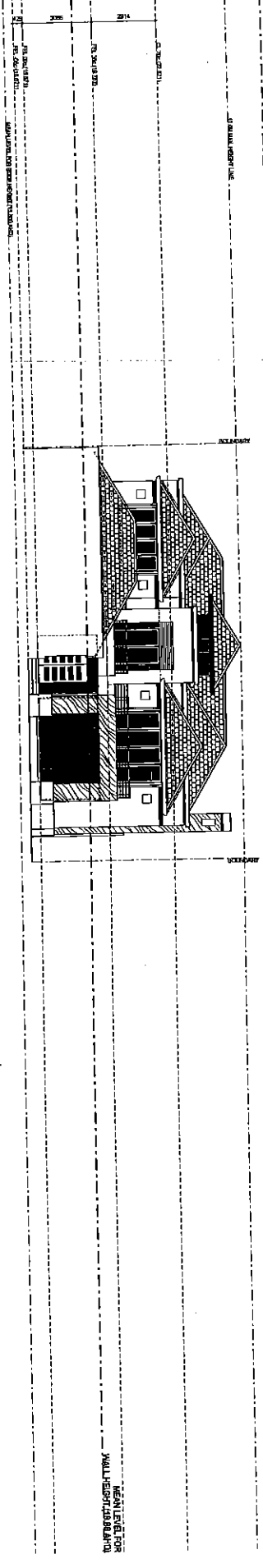
**MARIO & MAGGIE FRANCO**

**6 OF 8**

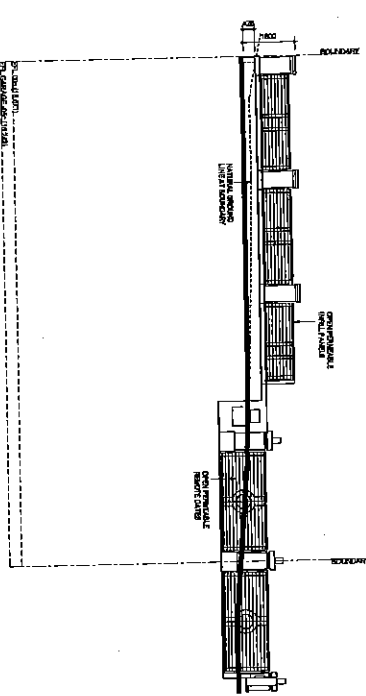
LOT 51 (888) LINDSEY COUNTRY COUNCIL SERVICES DISTRICT & TOWN OF WINTER HAVEN, FLORIDA  
 6150 WINTER HAVEN AVENUE, SUITE 200, WINTER HAVEN, FLORIDA 33884  
 TEL: 888-888-8888 FAX: 888-888-8888  
 WWW.MFRANCO.COM

CITY OF WINTER HAVEN  
 17 JAN 2011  
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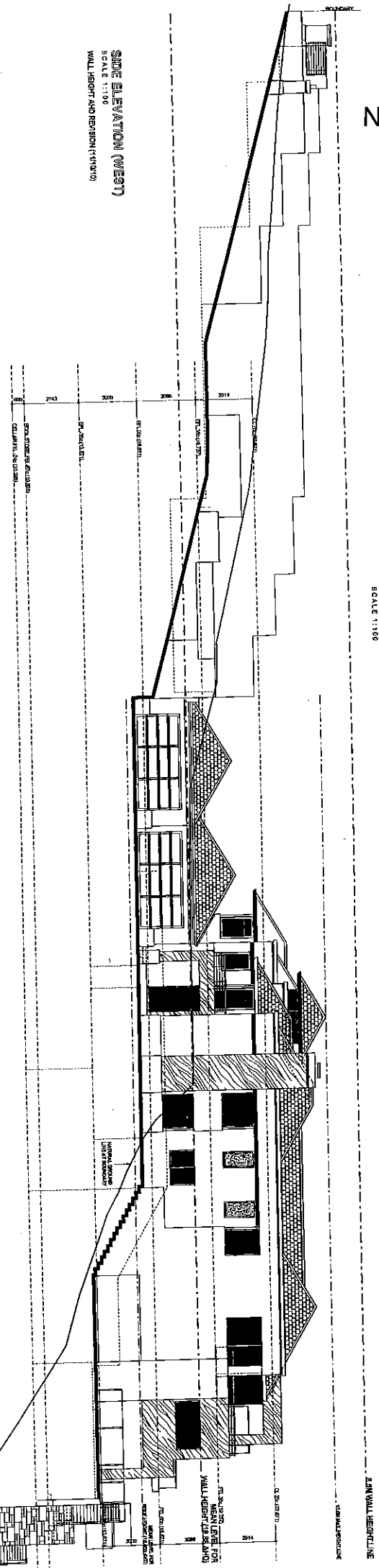
# D30.11 – Attachment 8 North & West Elevation Plans



FRONT ELEVATION (NORTH)  
SCALE 1:100



FRONT SCREEN WALL ELEVATION  
SCALE 1:100

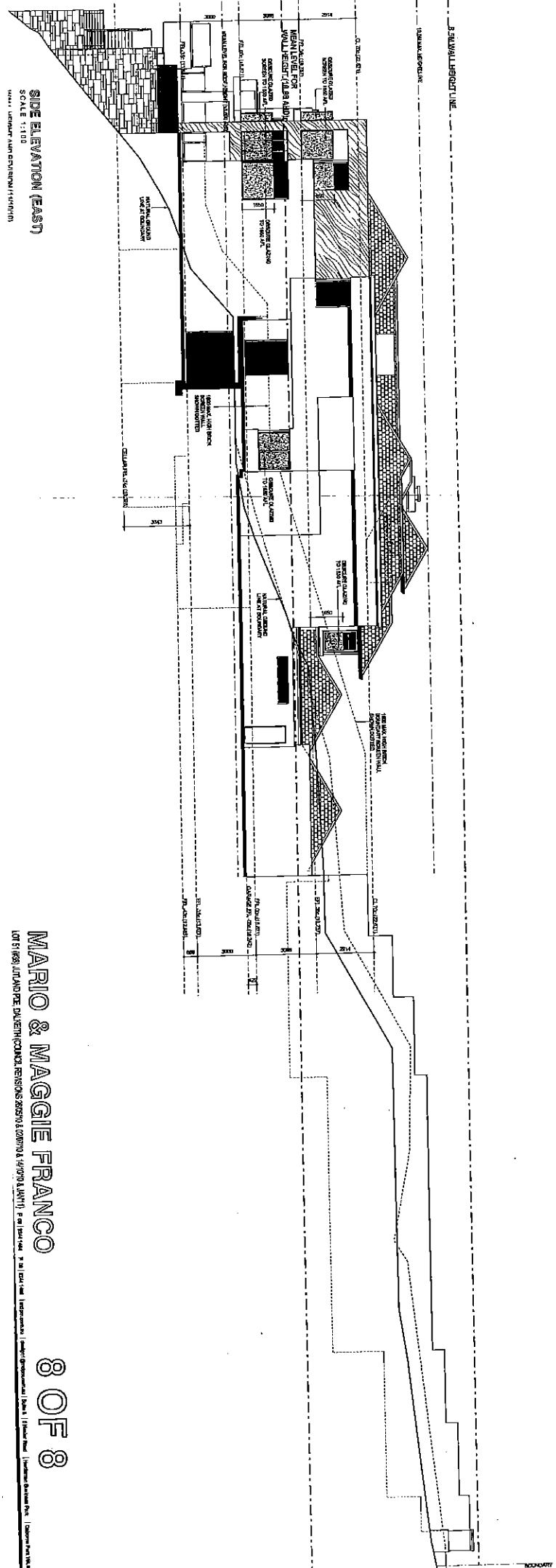


SIDE ELEVATION (WEST)  
SCALE 1:100  
WALL HEIGHT AND HEIGHTLINE

27 JAN 2018  
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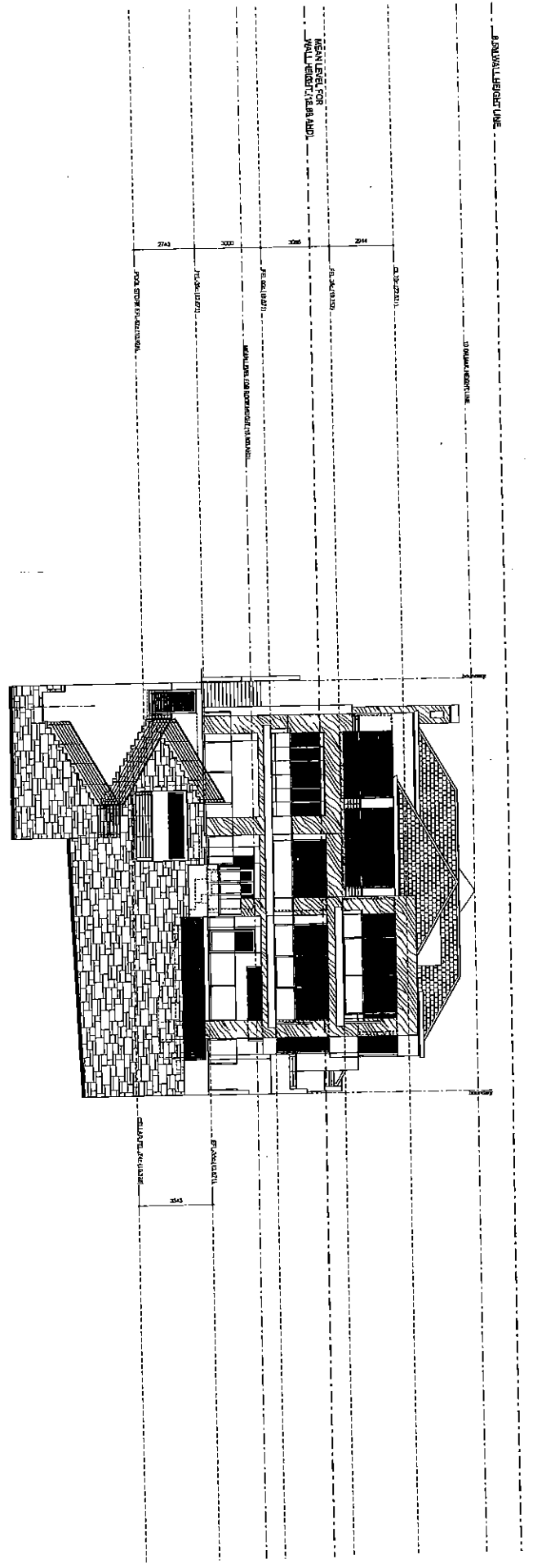
MARIO & MAGGIE FRANCO  
7 OF 8

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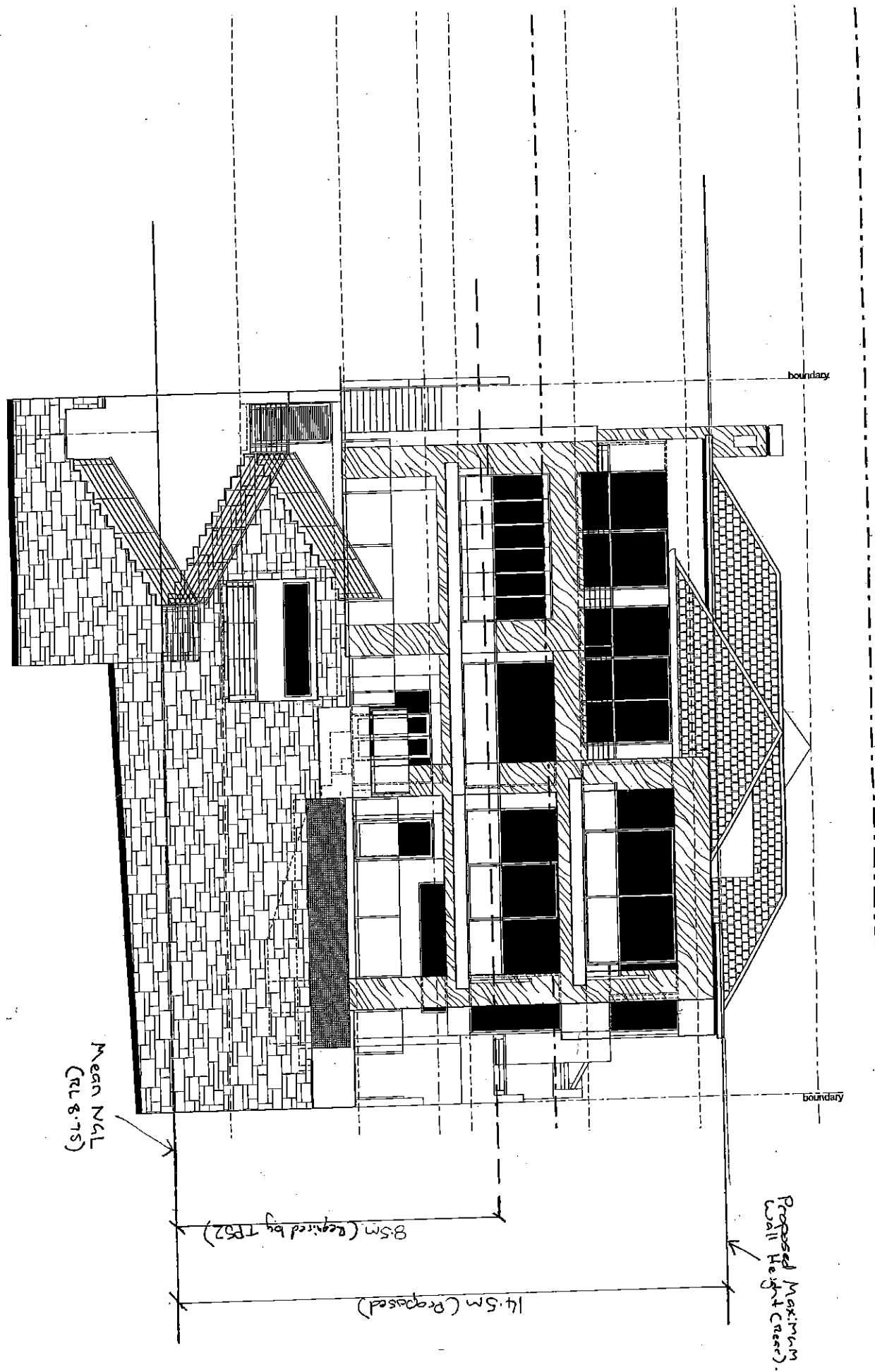


**SIDE ELEVATION (EAST)**  
SCALE 1:100

**REAR ELEVATION (SOUTH)**  
SCALE 1:100

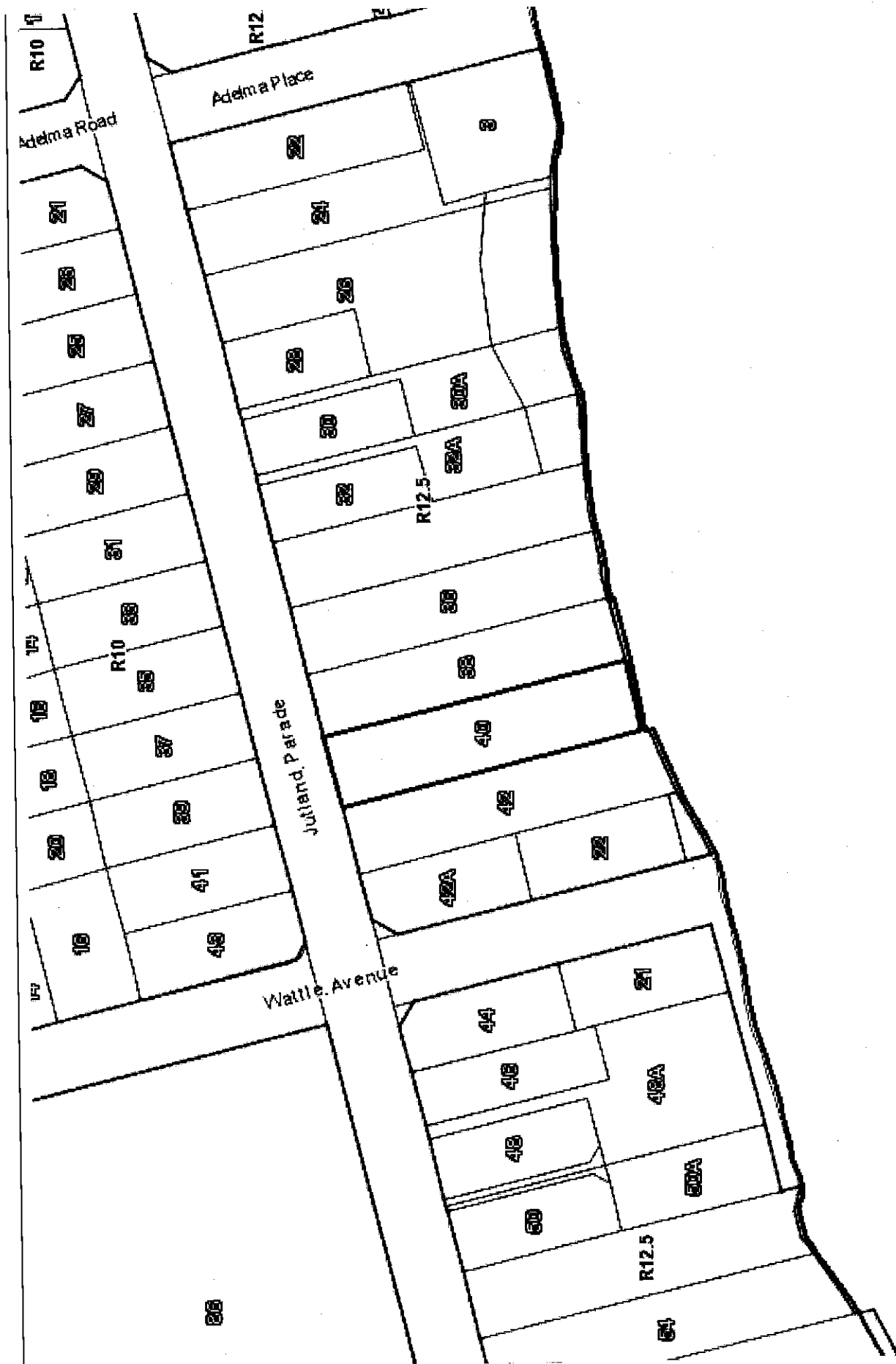


REAR ELEVATION (SOUTH)



**D30.11 – Attachment 10**  
Rear Elevations Plan Showing 8.5 m  
Maximum Wall Height





D31.11 Block 1 – Attachment 1  
Locality Plan

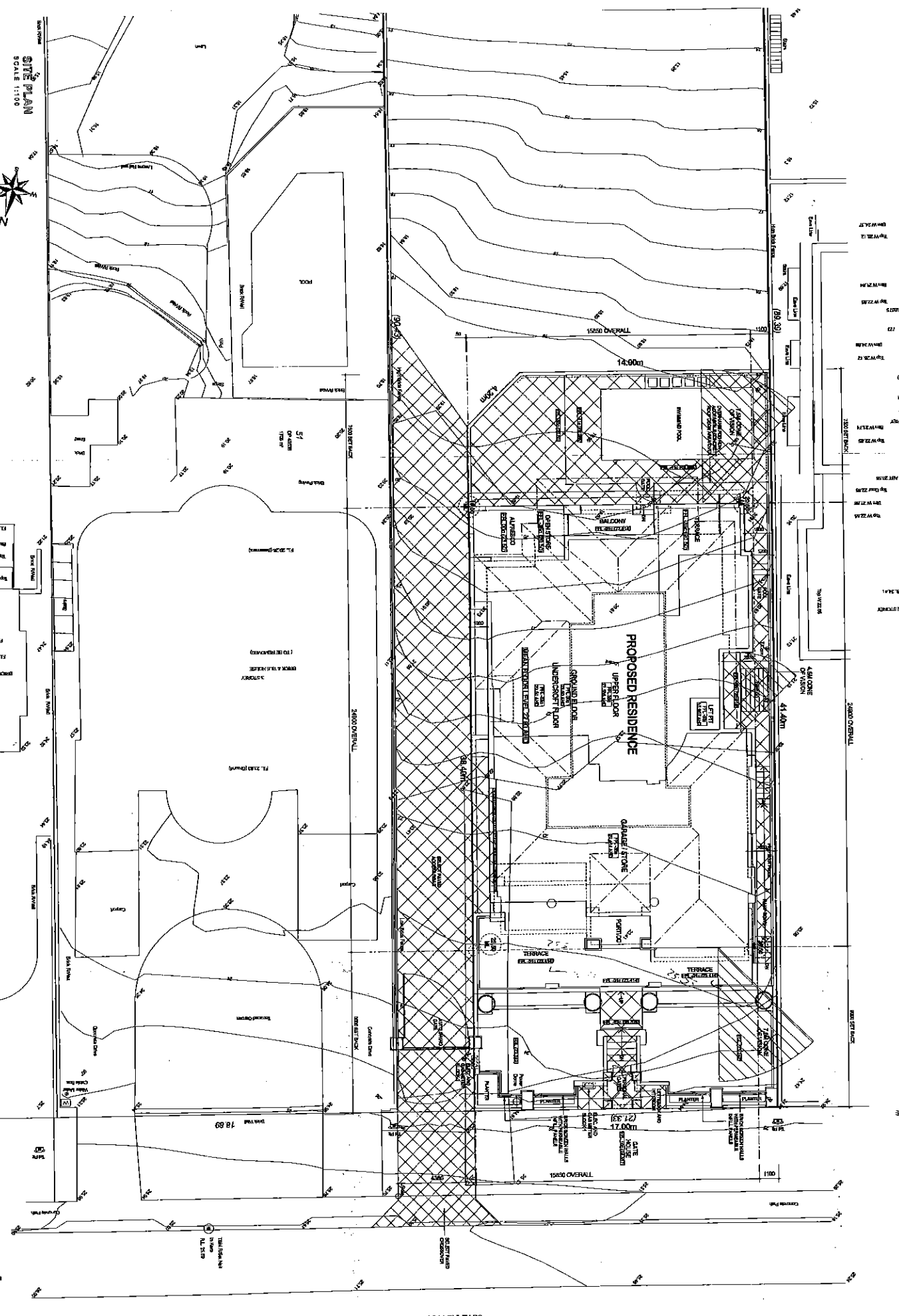


Monday, 28 March 2011

The City of Nedlands accepts no responsibility for the accuracy of this image or the results of any actions taken when using this image



City of Nedlands



**SITE COVER**

GRAVEL	10%
ASPHALT	2%
CONCRETE	2%
PAVING	2%
LANDSCAPE	2%
ROOF	2%
WATER	2%
SOIL	2%
VEGETATION	2%
OTHER	2%
<b>TOTAL</b>	<b>28%</b>

**SITE PLAN**  
SCALE 1:100



**PROPOSED RESIDENCE**

UPPER FLOOR  
GROUND FLOOR  
UNDERCROFT FLOOR  
BEAUTY PARLOR LEVEL  
TERRACE


**ROBERT FRANCO**

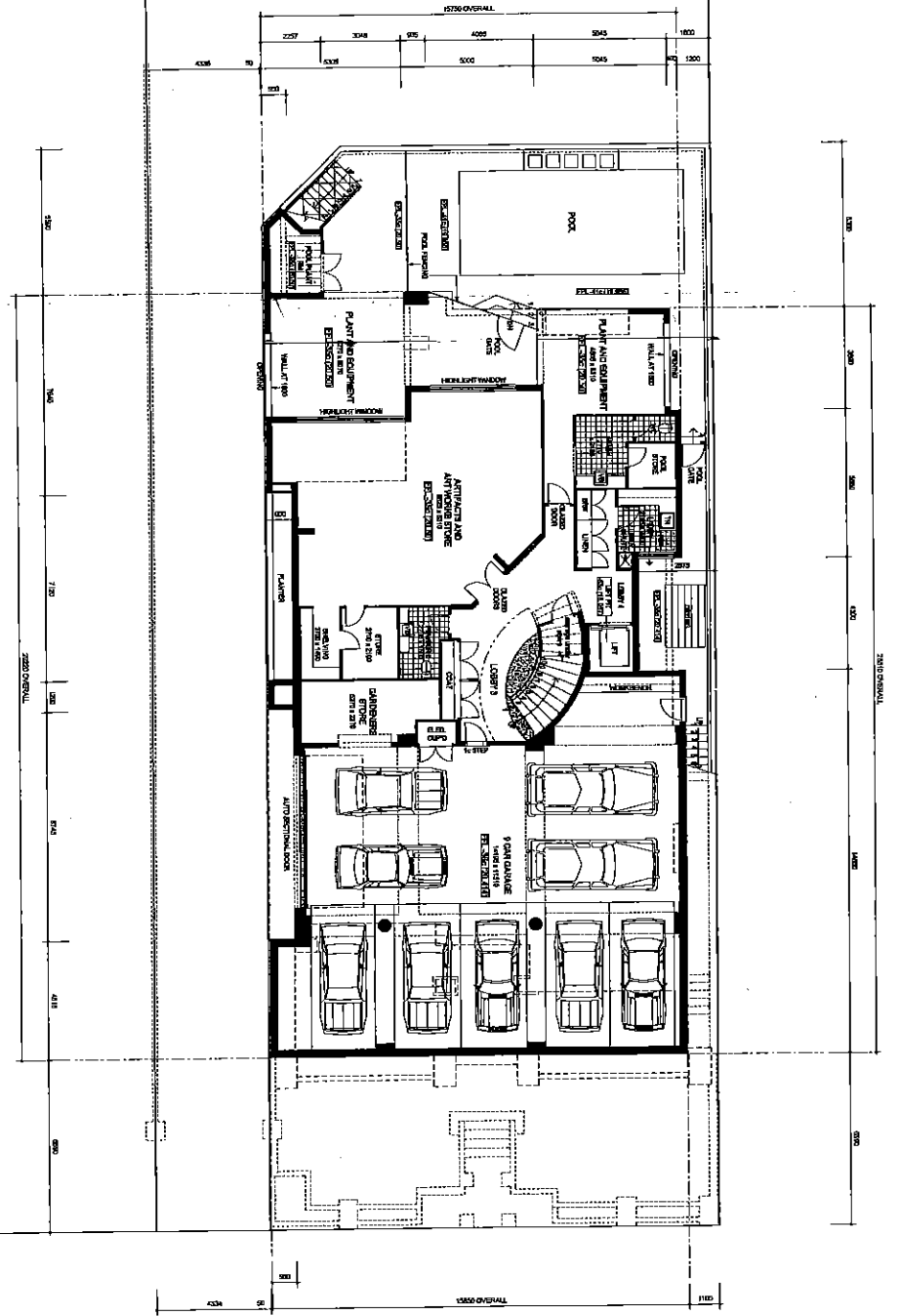
1015 LINDA POPE BLVD. SUITE 100, BIRMINGHAM, AL 35203

1 of 6

**mfm** PROJECT MANAGEMENT

<b>PL AREA</b>	108.84
<b>BASEMENT</b>	108.84
<b>UNDERST</b>	42.71
<b>SHALL FIVE</b>	30.44
<b>THREE</b>	28.77
<b>TOTAL</b>	200.76


  
**BASEMENT FLOOR PLAN**
  
 SCALE 1/16" = 1'-0"



**D31.11 Block 1 – Attachment 3**  
**Basement Floor Plan**

RECEIVED

**ROBERT FRANCO**  
 LOT 6, LINDA POE QUARTER COUNCIL REVISIONS RESERV & ADDING & W/10/10

2 of 6

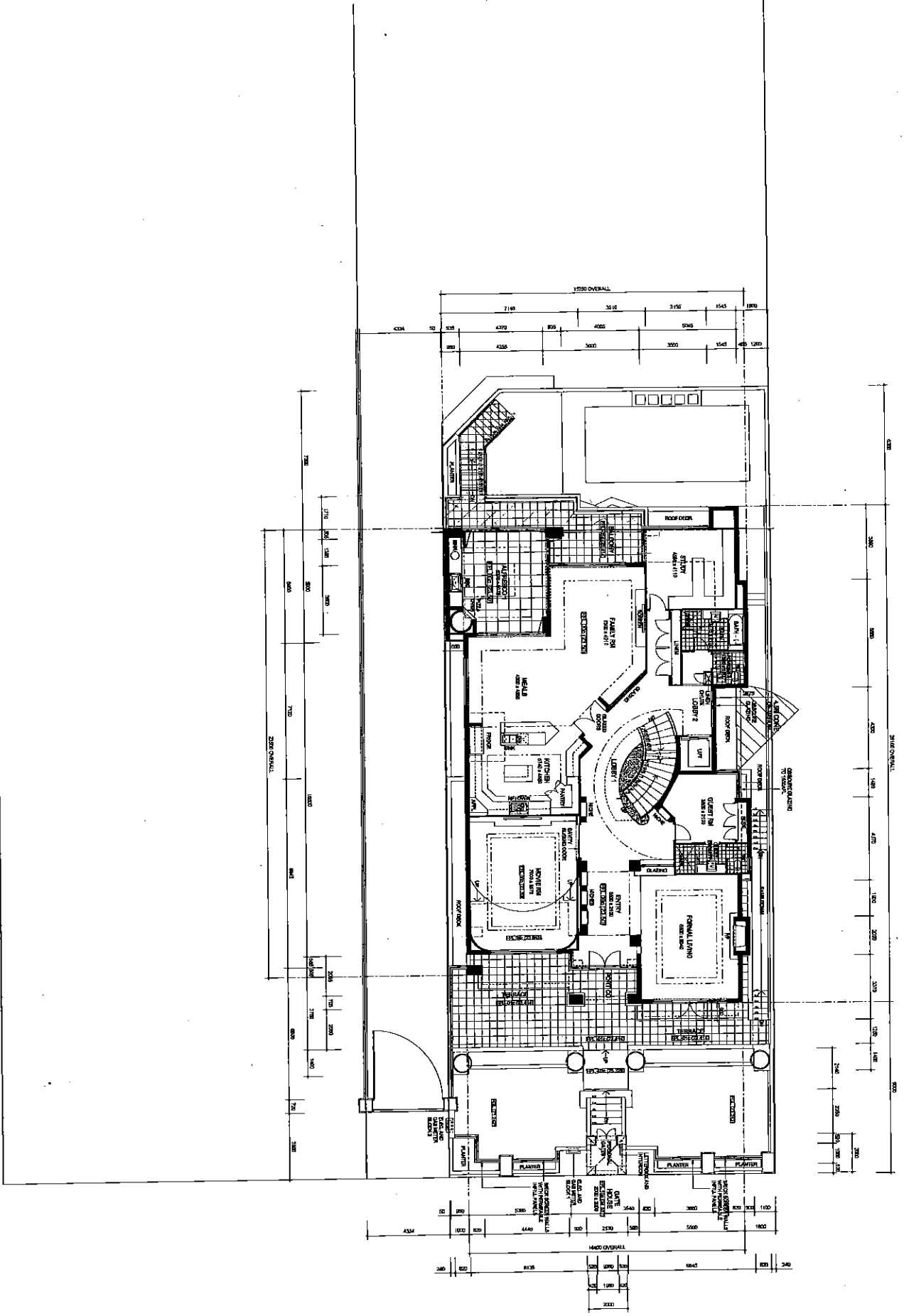


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**GROUND FLOOR PLAN**  
SCALE 1:100

S.G. AREAS	
WALK	27.54'
LANDSCAPE	8.27'
PERIMETER	1.57'
BLIND	7.12'
<b>TOTAL</b>	<b>394.54'</b>

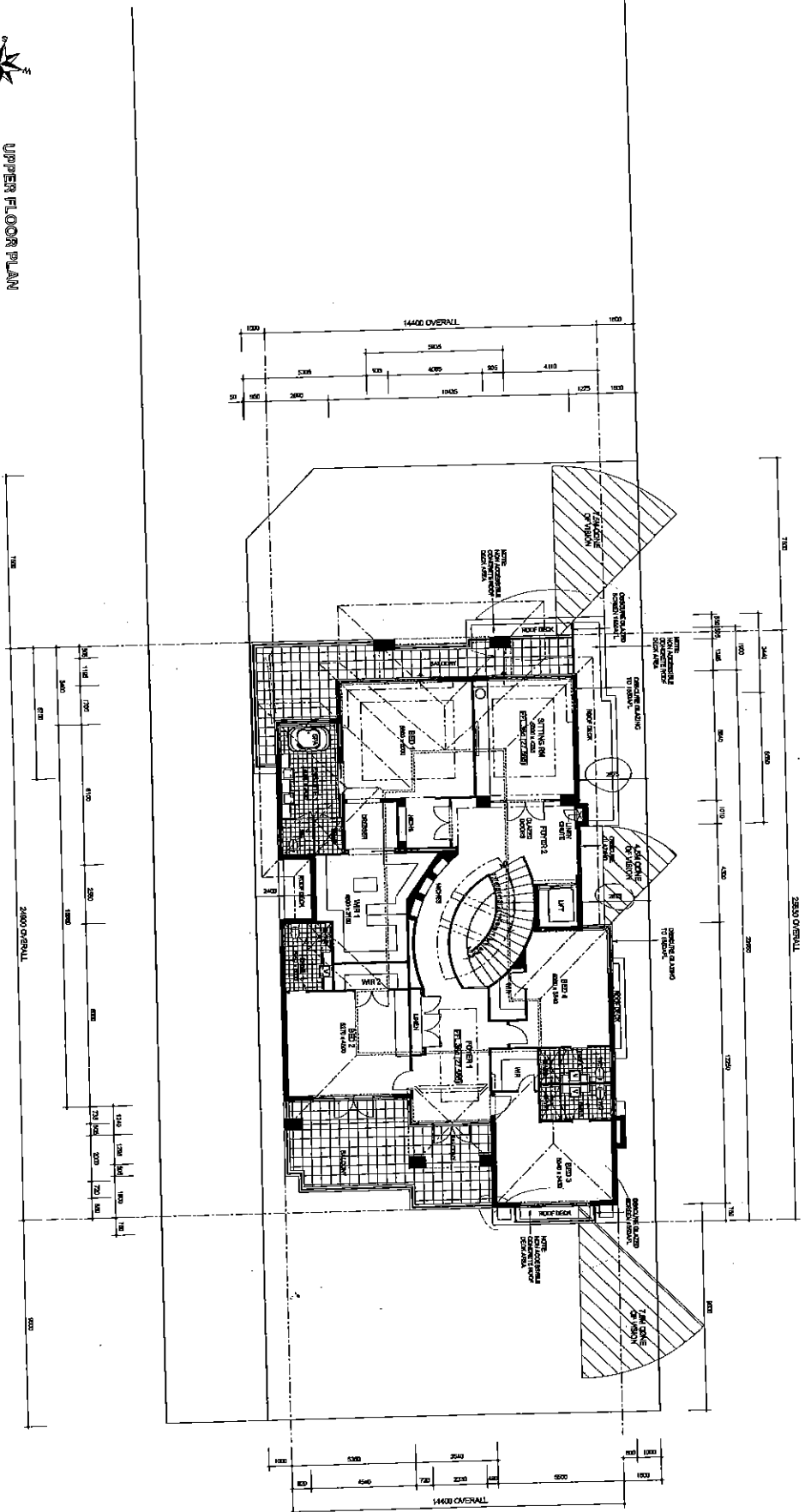


**D31.11 Block 1 – Attachment 4**  
**Ground Floor Plan**

**ROBERT FRANCO**  
LOT 61, LINDEN PUE BLVD, NORTH COUNCIL BEINGS, DISTRICT 1, PHOENIX, AZ



UPPER FLOOR PLAN  
SCALE 1:100



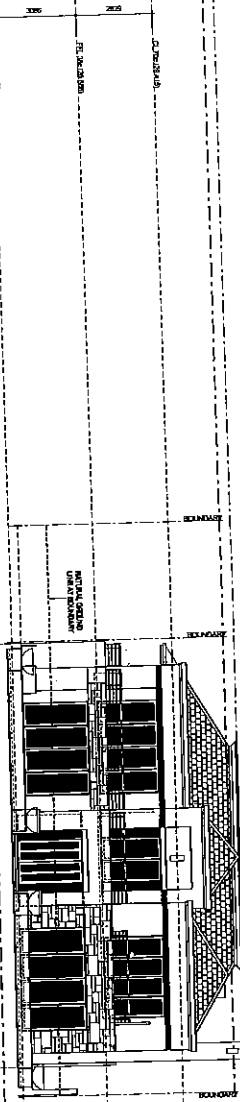
D31.11 Block 1 – Attachment 5  
Upper Floor Plan

RECEIVED

ROBERT FRANCO

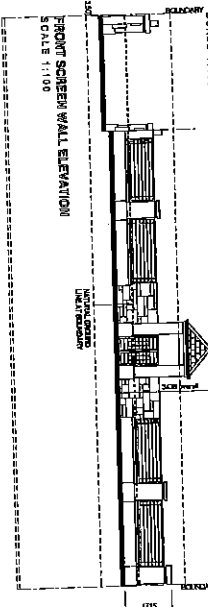
LOT 61 MILANOVY PULHENI (CONDOMINIUMS) DEVELOPMENT, 44/010, 3, JAN'11  
P. 01, 02, 03, 04, P. 05, 06, 07, 08, 09, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

FINISH GRADE  
EAVE WALL HEIGHT LINE

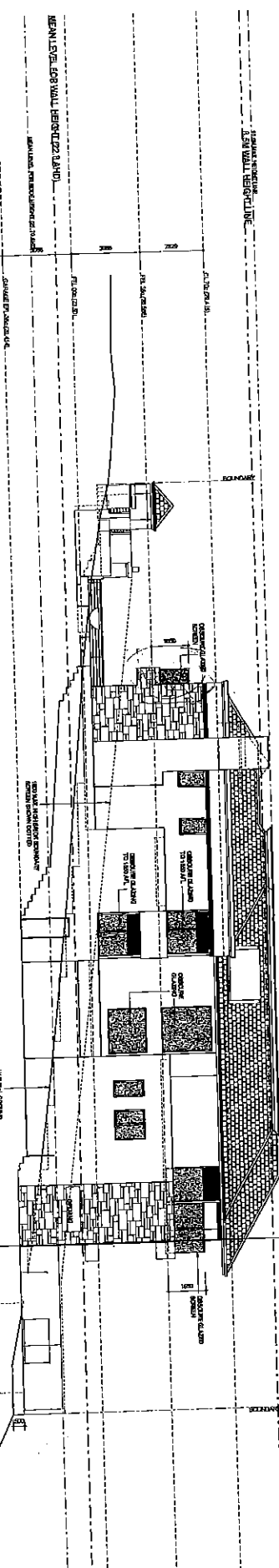


**FRONT ELEVATION (NORTH)**  
SCALE 1:100

**FRONT SCREEN WALL ELEVATION**  
SCALE 1:100



FINISH GRADE  
EAVE WALL HEIGHT LINE



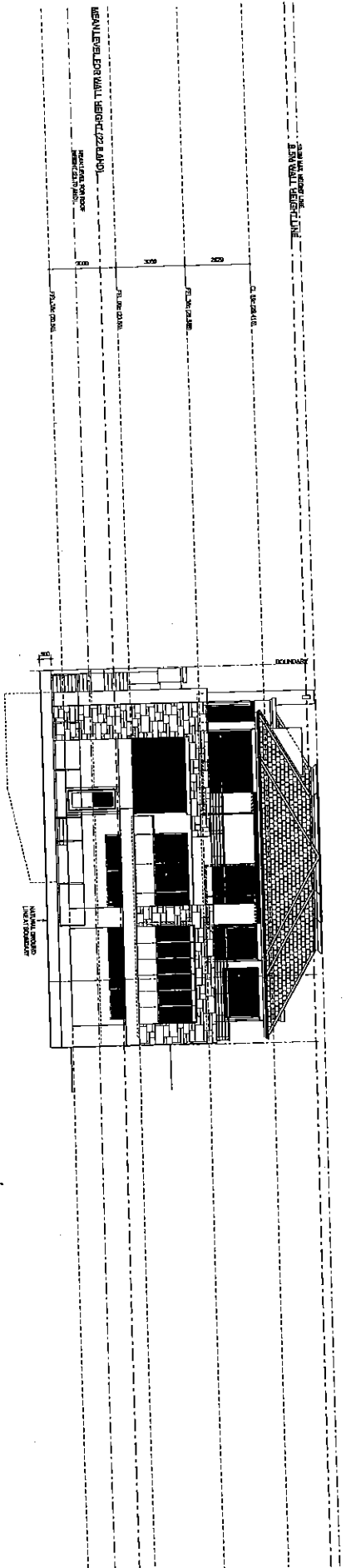
**SIDE ELEVATION (WEST)**  
SCALE 1:100  
WALL HEIGHT AND REVISION (11/19/19)

### D31.11 Block 1 – Attachment 6 North & West Elevation Plans

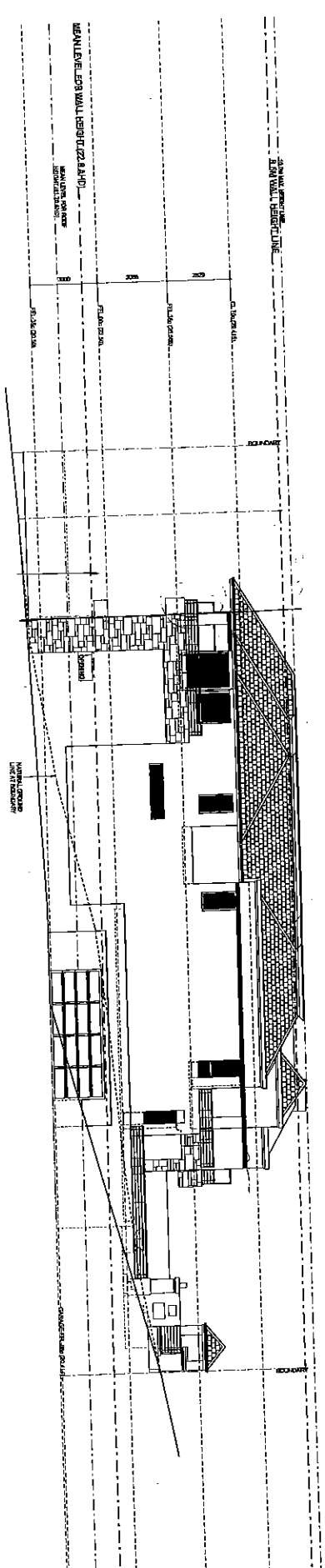
REVISION

**ROBERT FRANCO**  
LETTI LUNDO PIRE ALBERTI COCCALINI VENTURA SERRA LUDOVICO & MANTOVANI  
P. 24 | Via S. Felice 100 | 20124 Milano | Tel. 02 8630 8000 | www.letti.it  
SVP e Direzione PIA - Dipartimento Pianificazione e Gestione del Territorio - Settore Urbanistica e Edilizia - Ufficio di Progetto - Ufficio di Progetto - Ufficio di Progetto - Ufficio di Progetto





REAR ELEVATION (SOUTH)



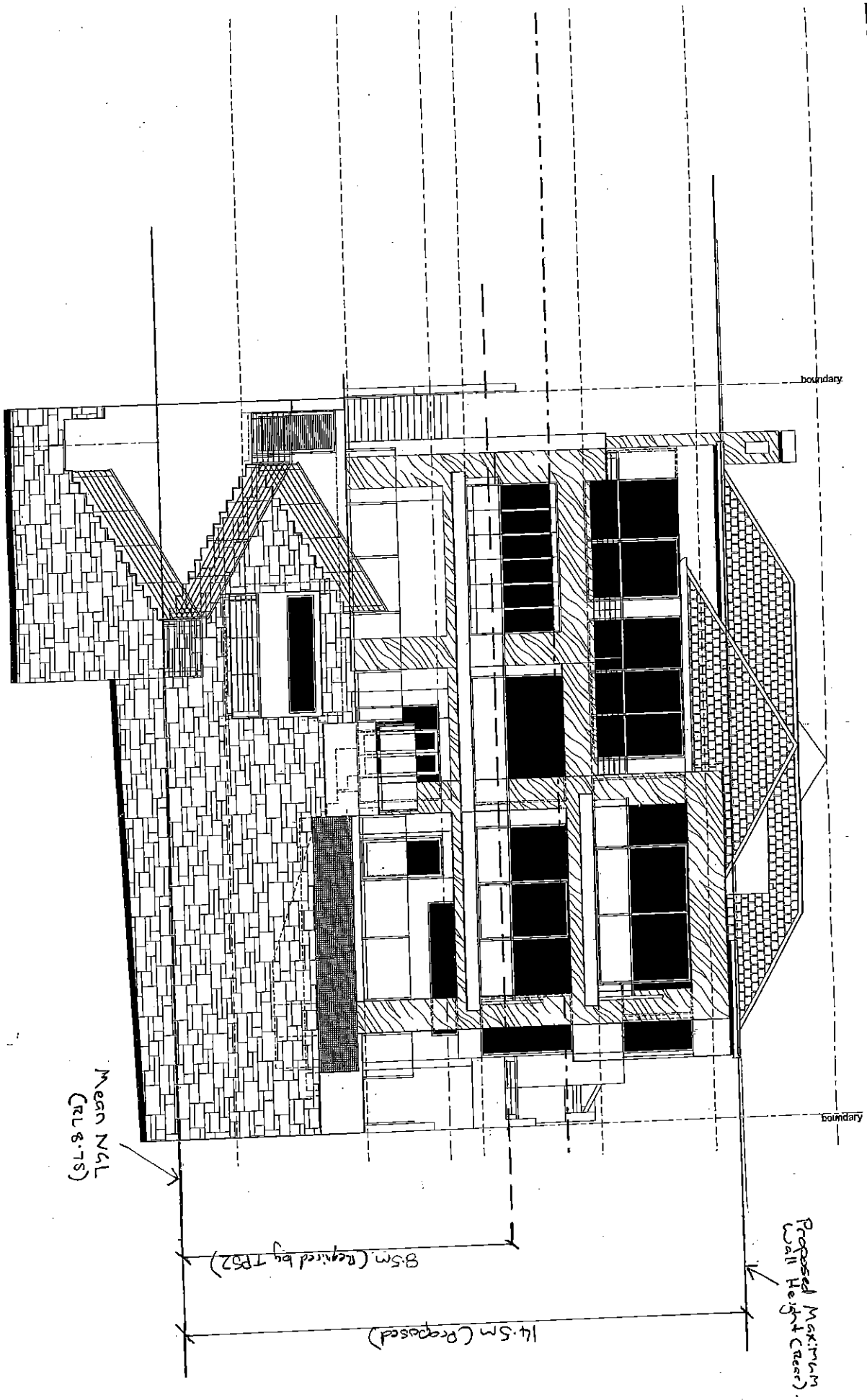
SIDE ELEVATION (EAST)  
SCALE 1:150  
WALL HEIGHT AND DESIGN (1:100)

# D31.11 Block 1 – Attachment 7 South & East Elevation Plans

## ROBERT FRANCO

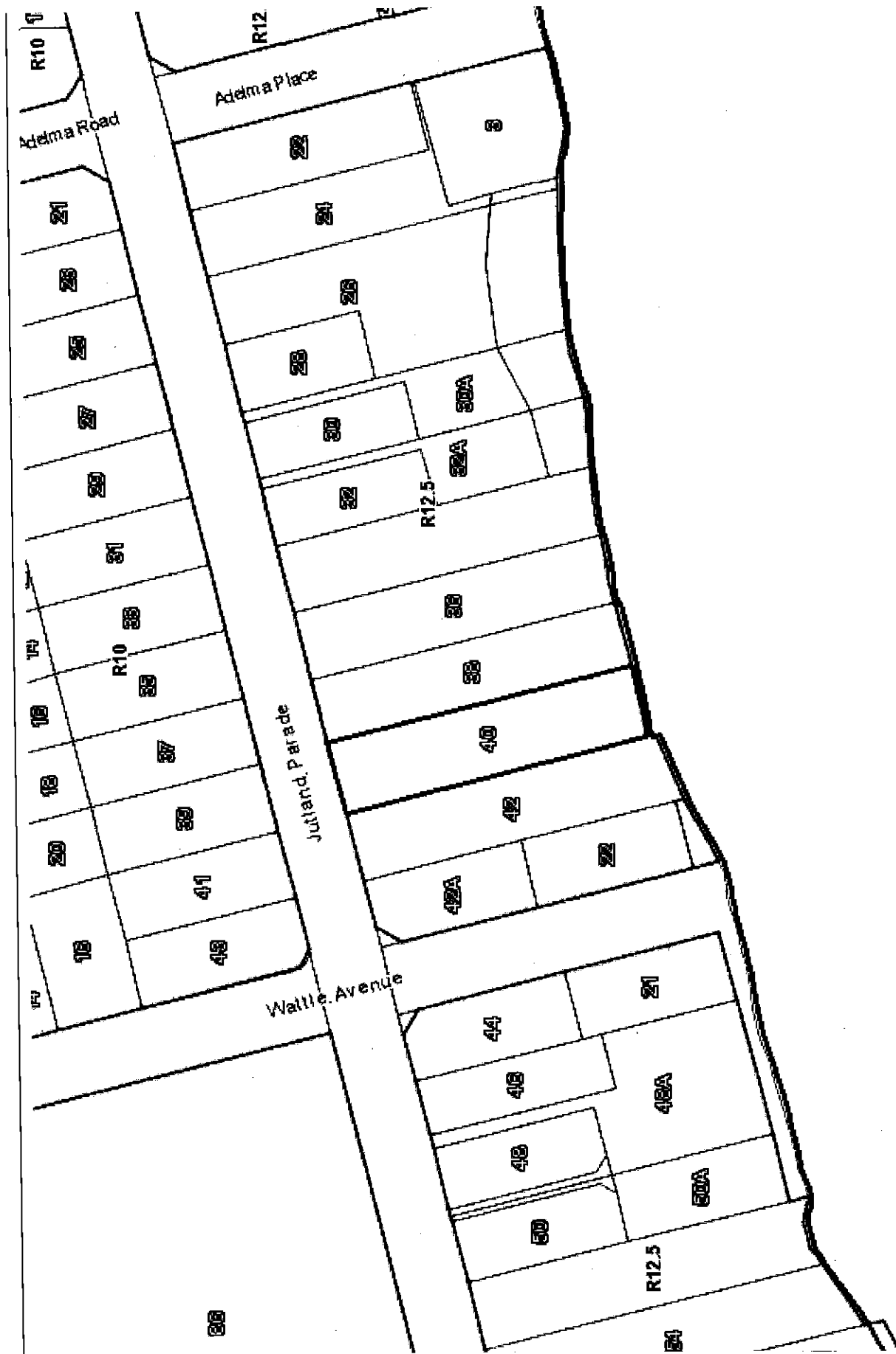
UNIT 8 JUDITH DRIVE DUBUQUE, IOWA 52002-3300 (563) 281-1111  
1100 WEST 1ST STREET, SUITE 100 DUBUQUE, IOWA 52002-3300 (563) 281-1111

REAR ELEVATION (SOUTH)



**D31.11 – Attachment 8**  
Rear Elevations Plan Showing 8.5 m  
Maximum Wall Height





D31.11 Block 2 – Attachment 1  
Locality Plan

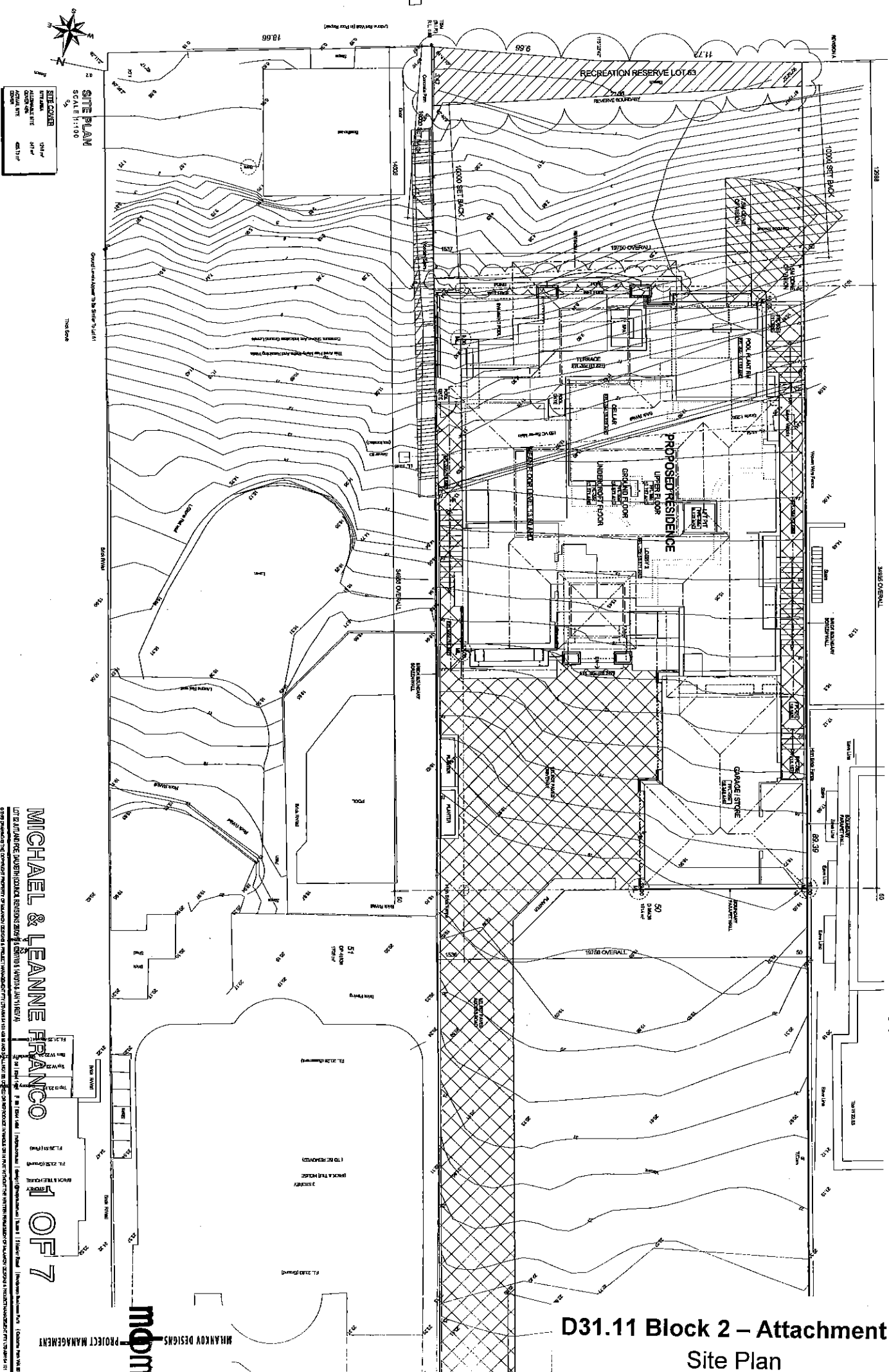


Monday, 28 March 2011

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City of Nedlands



**SITE COVER**  
 TOTAL AREA: 11144  
 COVERED AREA: 4174  
 UNCOVERED AREA: 6970

**SITE PLAN**  
 SCALE: 1:100

**MICHAEL & LEANNE FRANCO**  
 1 OF 7

**mfm**  
 MIHANKOV DESIGNS  
 PROJECT MANAGEMENT

**D31.11 Block 2 – Attachment 2**  
 Site Plan

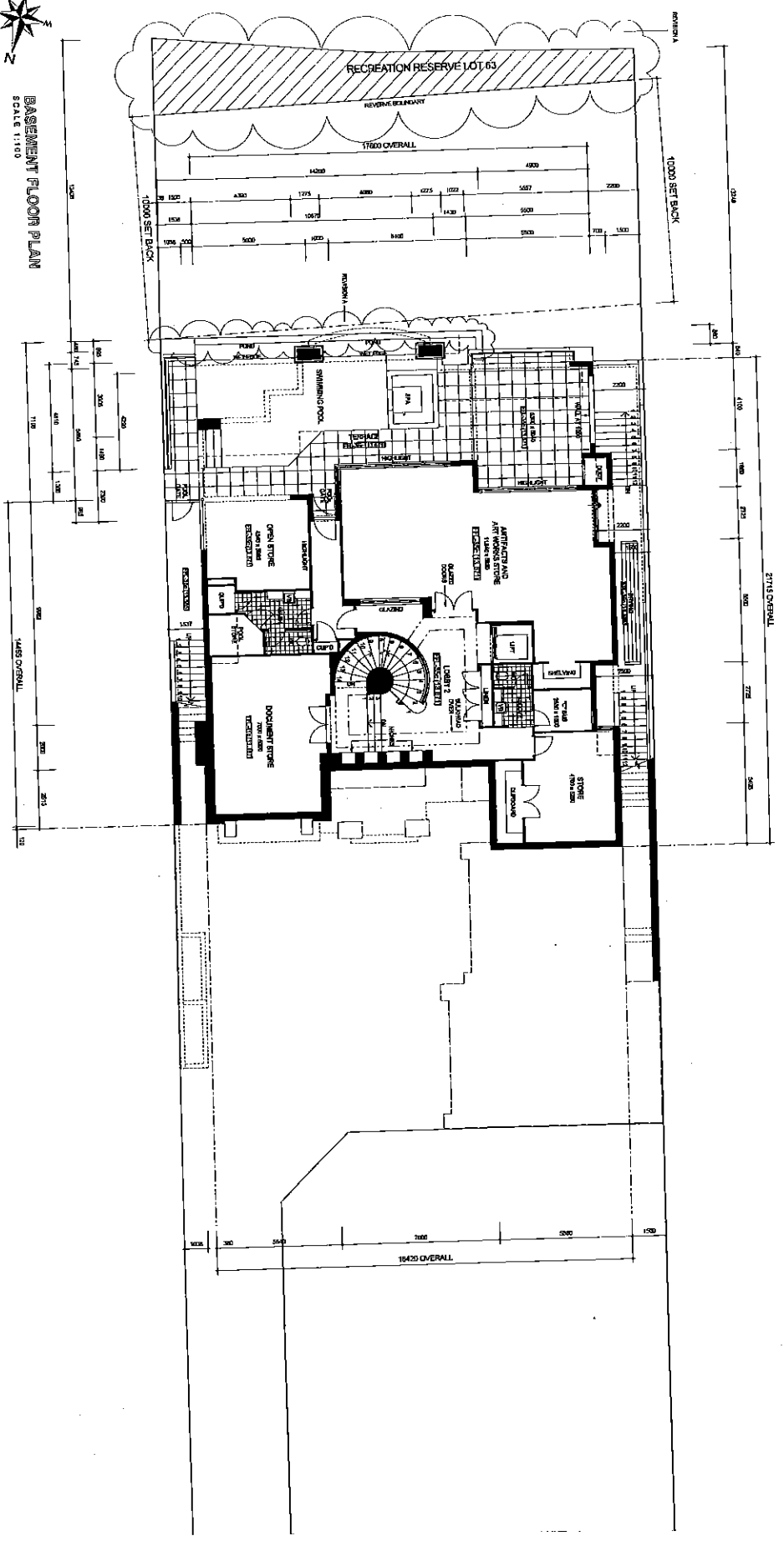
CITY OF NEW YORK  
 27 JAN 2011  
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B.E. AREAS	
BASEMENT	343.74
UNDERGROUND	82.11
TERMINAL	82.11
<b>TOTAL</b>	<b>508.96</b>

**BASMENT FLOOR PLAN**  
SCALE 1:100



**D31.11 Block 2 – Attachment 4**  
**Basement Floor Plan**

**MICHAEL & LEANNE FRANCO**  
3 OF 7

**MILANKOV DESIGNERS PROJECT MANAGEMENT**

UTERLANDER PARENT COMPANY, 2000 BAYVIEW AVENUE, SUITE 100, SCARBOROUGH, ONTARIO M1V 4Y7  
 416-291-1111 | www.milankovdesigners.com | info@milankovdesigners.com

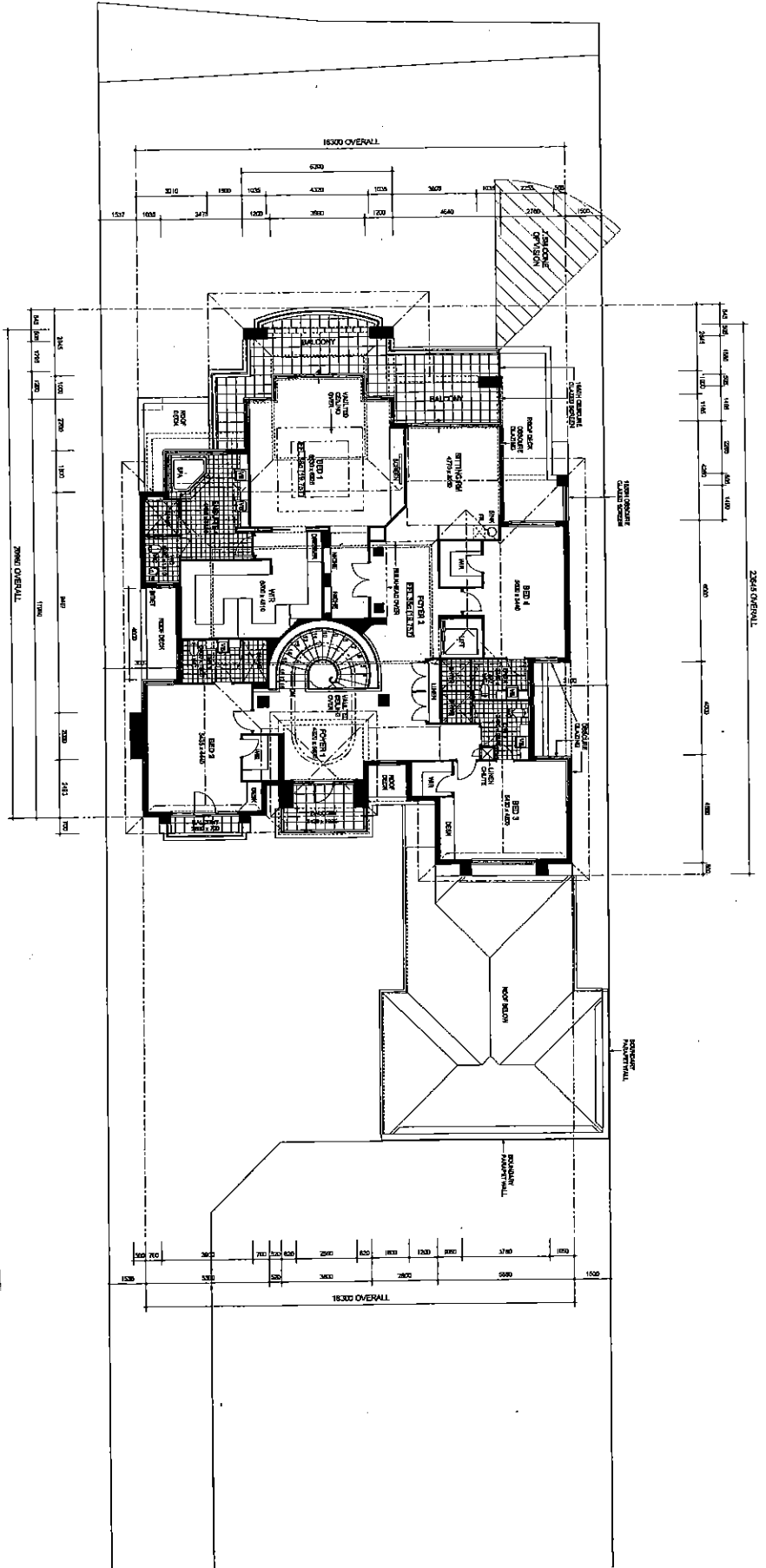
27 JAN 2011  
RECEIVED





USE AREAS	
ROOM	SQ. FT.
BATHROOM	17,149
STAIR	1,149
TOTAL	18,298

UPPER FLOOR PLAN  
SCALE 1:150



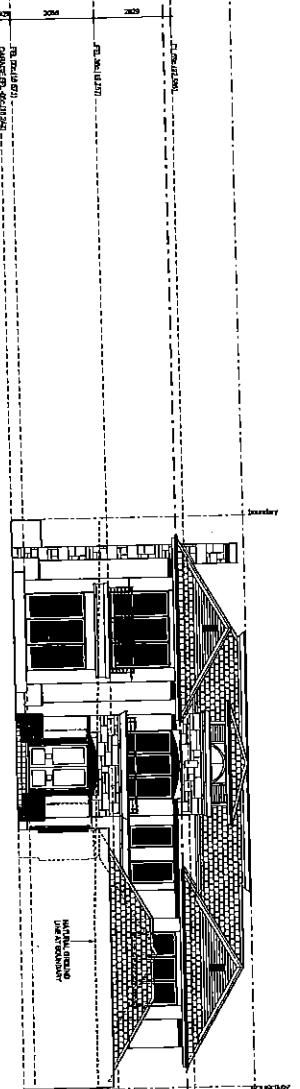
D31.11 Block 2 – Attachment 6  
Upper Floor Plan

CLIP OF MEASURING  
27 JAN 2011  
RECEIVED

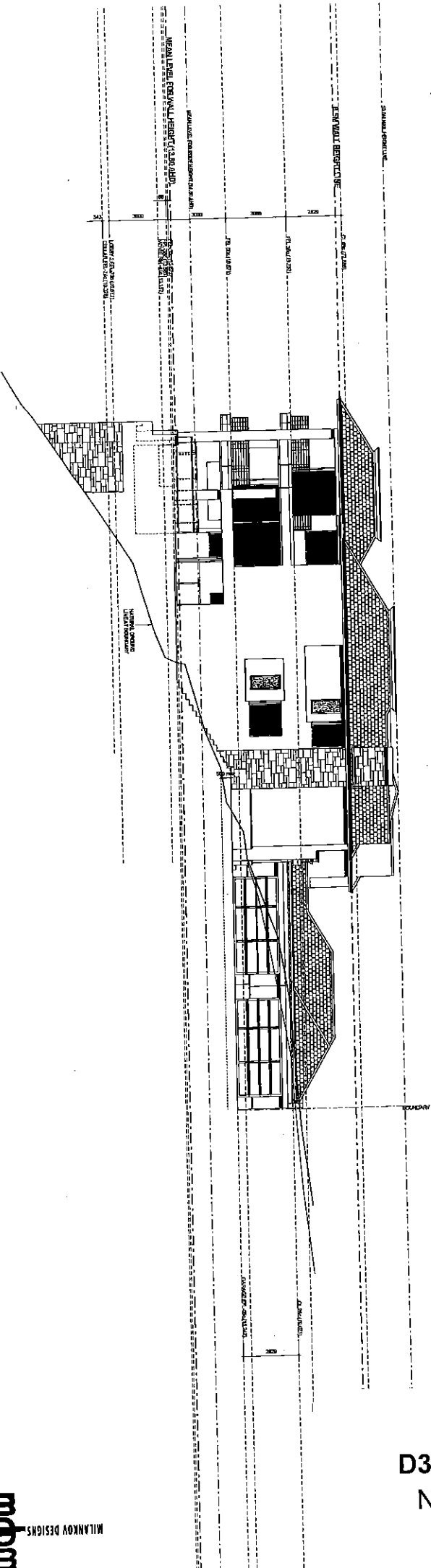
MICHAEL & LEANNE FRANCO  
5 OF 7



LET TO OBTAIN THE CLIENT'S ORIGINAL RESPONSES SHOULD BE SENT TO: (PH) 416 754 1111 (F) 416 754 1111  
 PROJECT MANAGEMENT: (PH) 416 754 1111 (F) 416 754 1111  
 PROJECT MANAGEMENT: (PH) 416 754 1111 (F) 416 754 1111  
 PROJECT MANAGEMENT: (PH) 416 754 1111 (F) 416 754 1111



**FRONT ELEVATION (NORTH)**  
SCALE 1:100



**SIDE ELEVATION (EAST)**  
SCALE 1:100  
WALL HEIGHT AND REVISION (11/07/10)

**D31.11 Block 2 – Attachment 7  
North & West Elevation Plans**

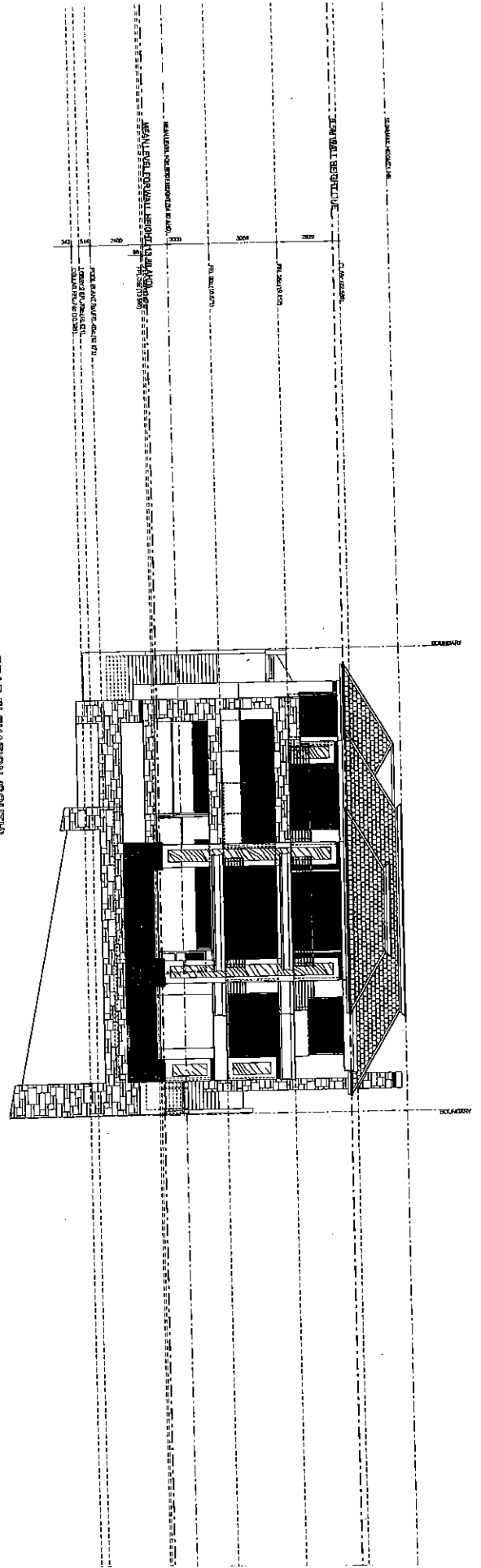
RECEIVED  
27 JAN 2011

**MICHAEL & LEANNE FRANCO**

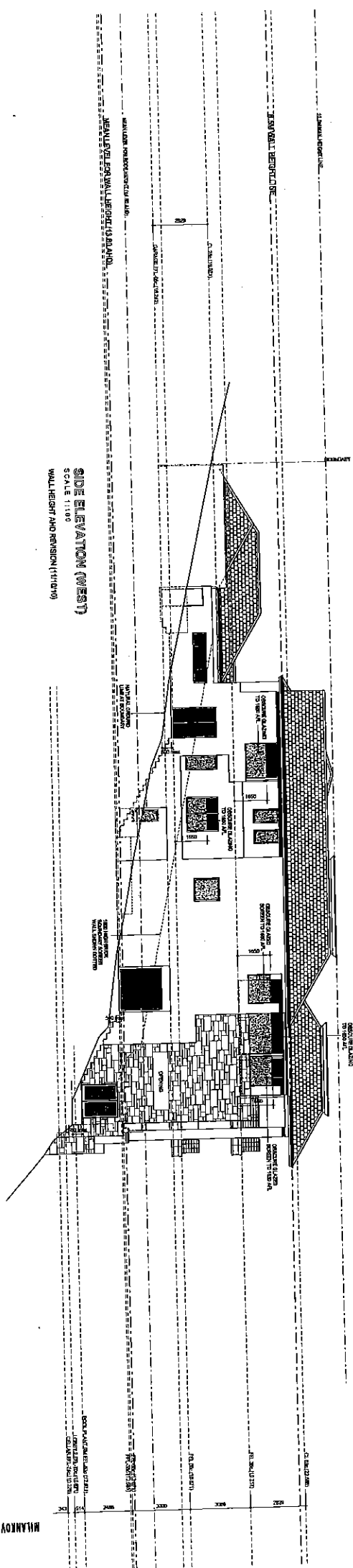
**6 OF 7**



LET BOUND THE CLIENT (CONTRACT NUMBER) TO BE THE CLIENT'S PROPERTY. ALL RIGHTS RESERVED. FOR ALL INFORMATION, CONTACT: MICHAEL & LEANNE FRANCO, ARCHITECTS, 1000 WEST 10TH AVENUE, SUITE 100, DENVER, CO 80202, TEL: 303.733.1111, FAX: 303.733.1112, WWW.MICHAELANDLEANNEFRANCO.COM



REAR ELEVATION (SOUTH)  
SCALE 1:100



SIDE ELEVATION (WEST)  
SCALE 1:100  
WALL HEIGHT AND REVISION (11/19/20)

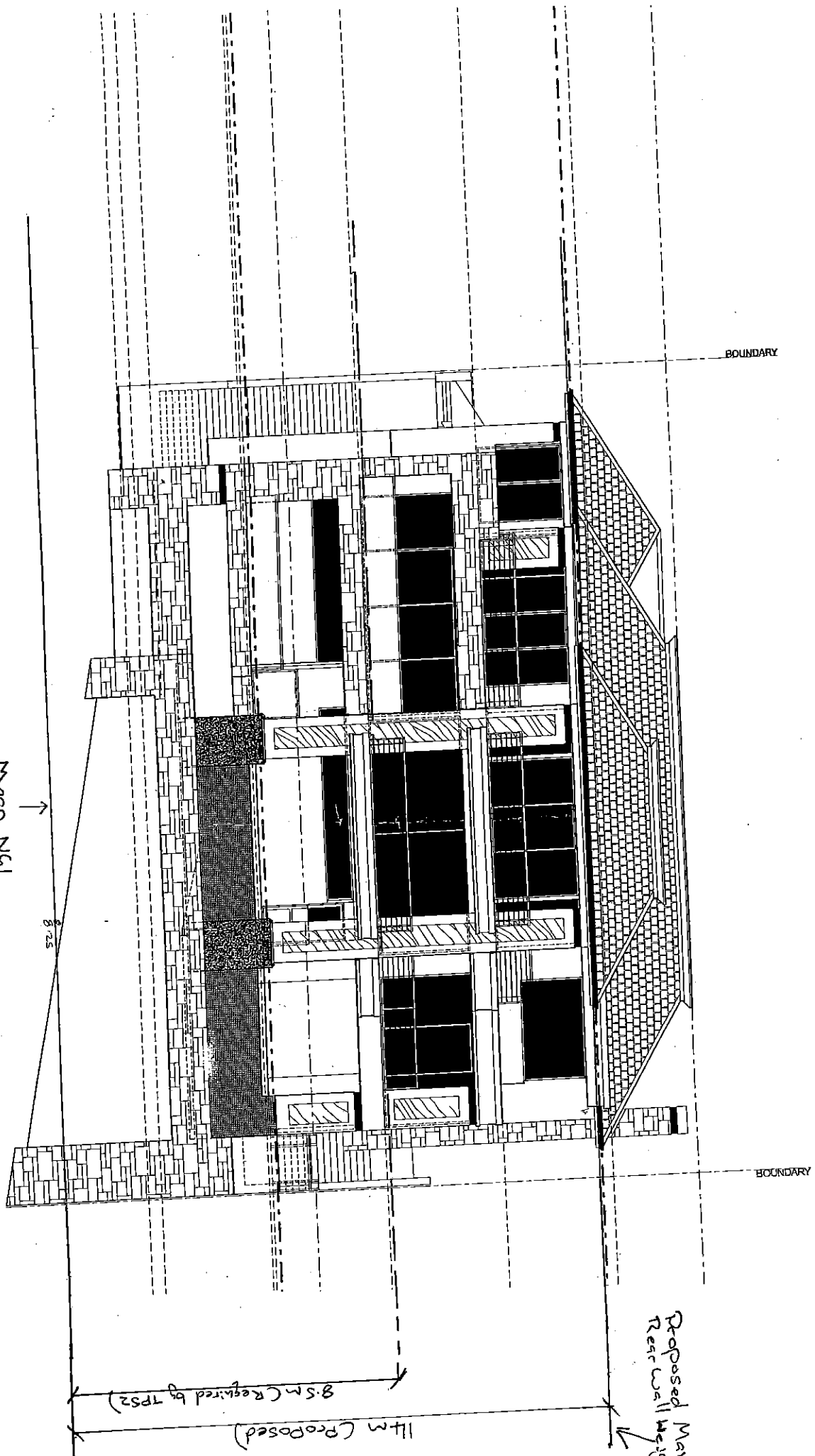
D31.11 Block 2 – Attachment 8  
South & East Elevation Plans

MICHAEL & LEANNE FRANCO  
7 OF 7

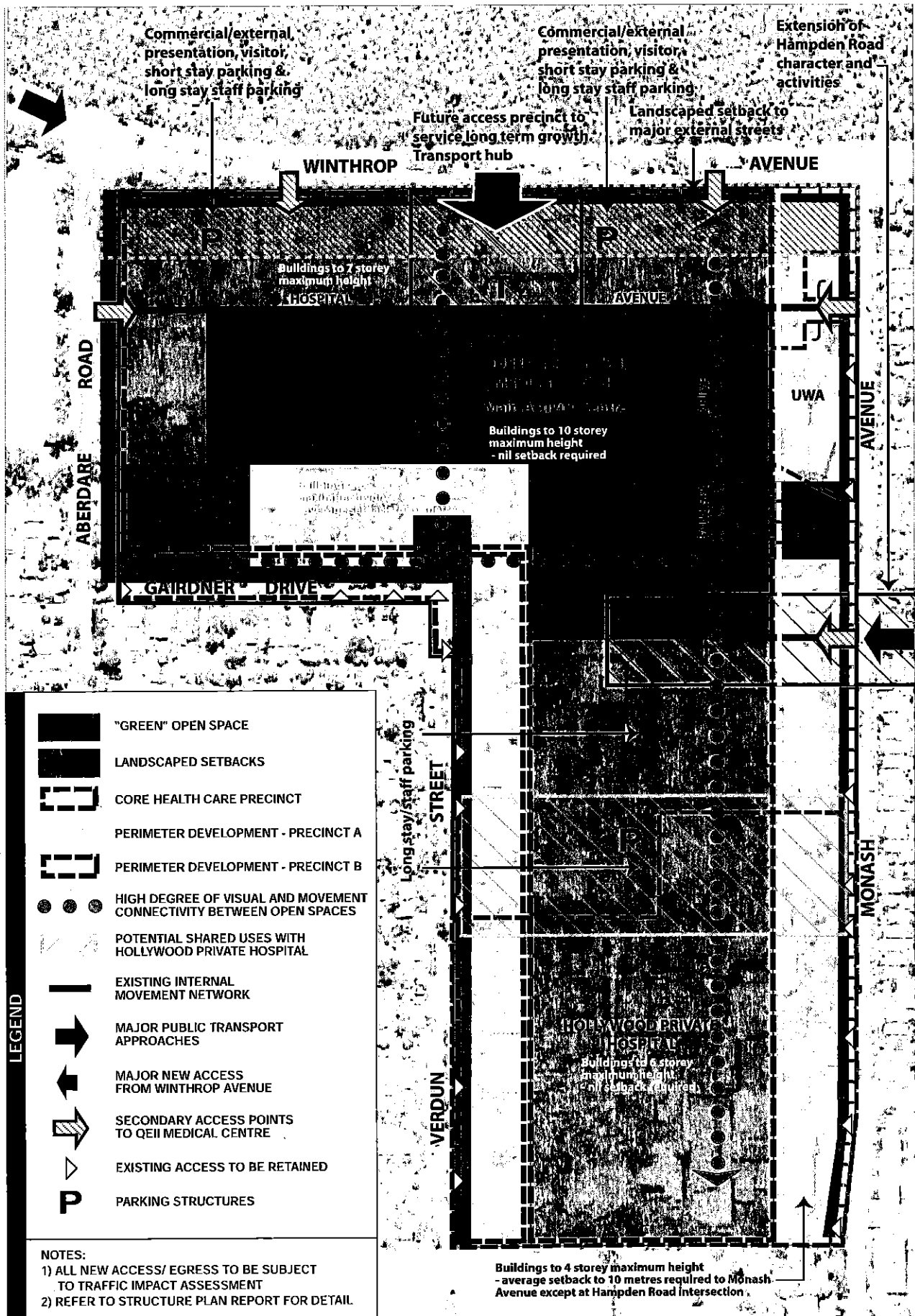


REAR ELEVATION (SOUTH)  
SCALE 1:100

Mean NGL  
CRL 4.25



D31.11 – Attachment 9  
Rear Elevations Plan Showing 8.5 m  
Maximum Wall Height



HASSELL

STRUCTURE PLAN - SUMMARY

---

**Statutory Planning Committee**

**Record**

of meeting 7226/07

held on Tuesday 19 June 2007

Extract of Minutes relating to QEII Medical Centre Access and Structure Plan.

**8 A - Policy (officers in attendance)**

8.1	Subject	City of Nedlands Queen Elizabeth II Medical Centre Access and Structure Plan Winthrop, Crawley and Monash Avenue, Nedlands
	File Officer	755-2-20-2 David Igglesden

That the Western Australian Planning Commission resolve to:

1. Adopt in principle the Queen Elizabeth II Medical Centre Access and Structure Plan Report dated 9th February 2007 (including figure 20) as a guide to future planning and development of the Queen Elizabeth II Medical Centre precinct, noting that:

- a) the recommendations on page 9 will need to be reviewed as they are superseded; and
- b) the boundaries of the City of Nedlands proposed redevelopment precinct in figure 7 – Network City Context page 31 need to be corrected.

2. Advise the Queen Elizabeth Medical Centre Trust, the Department of Health and other relevant stakeholders that the Commission considers that without the required bus services the planned expansion of the QEII Medical Centre site would not be acceptable on planning, transport and sustainability grounds. Accordingly the WAPC strongly supports the development of an all of Government capital and recurrent funding arrangement for the implementation of the University of Western Australia / QEII Medical Centre / Hollywood Private Hospital Public Transport Master Plan including the bus priority capital works, bus purchases and recurrent bus operational costs.

3. Request the Department of Health prepare a staging and implementation plan to address:

- The key anticipated development stages and how each of the site, access and parking upgrades relates to those stages.
- The new internal road links along Banksia and Caledonia Streets.
- On site bus facilities required for the implementation of the Public Transport Master Plan.
- Upgrading and or construction of intersections with perimeter roads.
- Staging of upgrades to perimeter roads and cost sharing as per the DPI prepared schedule dated 24th May 2007 (Attachment 1) or an alternative agreed with the relevant stakeholders.

- Traffic impact assessments and relevant additional details resulting from the Master Planning process.
- Internal and perimeter pedestrian and cycle links.

The staging plan should show how the progressive development of the site will relate to the achievement of the objectives of the Travel Plan.

4. Request that in preparing a staging and implementation plan consideration should be given to the following matters:

- A relocated secondary transit stop on the extension of Hampden Road to improve accessibility to Hampden Road activities and Hollywood Private Hospital.
- Building facades fronting Winthrop Avenue as substantially occupied buildings, not decked car parks.
- Deletion of any reference to a possible alternative rail alignment skirting the site.
- Deletion of any north south road connection from Monash Avenue to Verdun Street unless the concept is first negotiated and agreed with the City of Nedlands in consultation with the community.
- The road link between the new main entrance from Winthrop Avenue and Hospital Avenue being severed for general traffic (where it crosses the transit route).
- Some form of development between the Western Power sub station and Monash Avenue to assist with visual and pedestrian amenity.
- Notional intensified development over the Crawford Lodge and remnant bushland.

The Commission considers that in the medium to long term, the retention of the Crawford Lodge and remnant bushland in the core of this high accessibility activity centre would represent a lost opportunity. Accordingly the Trust is invited to explore opportunities for relocating the Crawford lodge, possibly with a land swap with Hollywood Private Hospital, at the planning stage.

5. Request that on the completion of a heritage assessment of Block A it be forwarded to the Heritage Council.

6. Adopt the Mode Split Agreement with the Health Department that creates a permanent maximum limit to staff parking for all activities on the QEII Medical Centre Structure Plan area of 4,280 bays for a 1,200 bed facility and staff parking of 4,400 bays for a 1,500 or larger bed facility.

7. Endorse the Travel Plan as a basis for determination of future development applications in the entire Access and Structure Plan area particularly in respect to parking provision and management.

8. Advise the City of Nedlands and Hollywood Private Hospital that the Commission is aware of the maximum limit of 1,800 car parking spaces in the approved site structure plan. The Commission would wish to be consulted on any proposal which would lead to a total number of car parking spaces exceeding 1,800 bays. The Commission further would be minded to introduce a clause 32 resolution requiring any development exceeding 1,800 bays to be referred to the Commission for its determination.

9. Seek confirmation from the QEII Medical Centre Trust that it will promptly pursue amendments to the Queen Elizabeth II Medical Centre Act 1966, and associated regulations, to facilitate implementation of the Access and Structure Plan and Travel Plan over all areas under its control.

**10. Request that the Department of Health:**

- a. release into the public domain the Access and Structure Plan documentation as submitted, together with the WAPC's resolution and;
- b. write to those that made submissions advising them of the Department's responses.

**11. Remind Department of Health of its obligation to construct the car parking required as a condition of the planning approval dated 23rd December 2004 for stage 1 of the State Cancer Centre.**

**12. Thank David Igglesden for his contributions in setting up and progressing the Access and Structure Plan and other Department of Health related matters.**

**Attachment 1**

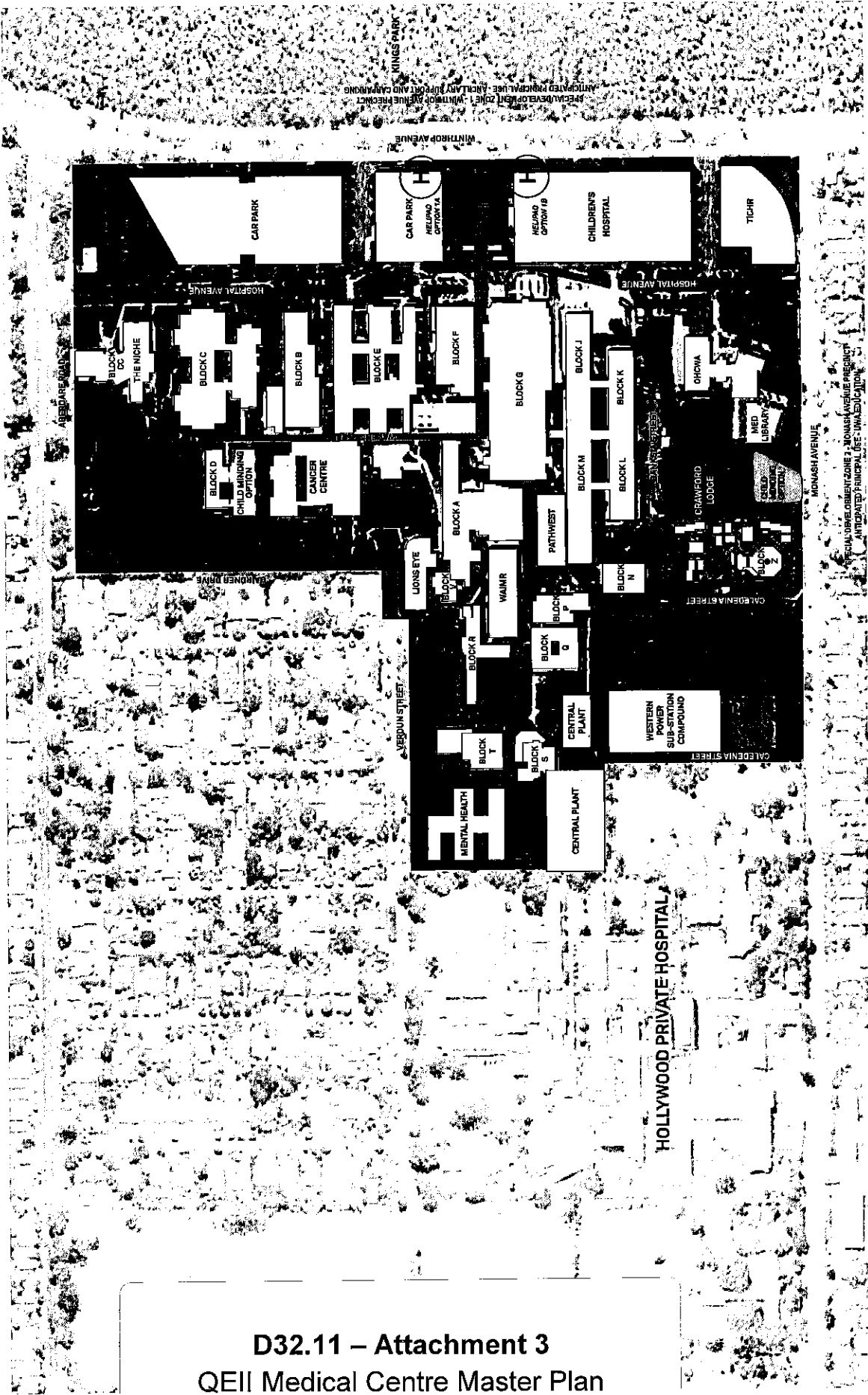
**QEII Medical Centre Structure Plan**  
 DPI proposed peripheral road upgrades. 24 May 2007

Monash Avenue Road segment	Upgrade	Funding	Reason for Upgrade	Time
Winthrop to Kanimbla Road	Possible road reserve widening N up to 5m into QEII Medical Centre site. Median turning island and additional stacking lanes.	QEII Medical Centre Trust (or expansion project) %100	Expansion volume brings roads to absolute limits of capacity.	Before commencement of works requiring access off Monash
Kanimbla Road to Hampden Rd.	Creation of landscaped median with possible turning pockets.	City of Subiaco %50 QEII Medical Centre Trust %50	Improve safety, legibility, appearance. Assist to cope with increased traffic associated with QEII Medical Centre.	Before commencement of works requiring access off extension of Hamilton
Intersection Hampden Road	Traffic Lights & lanes into QEII site.	QEII Medical Centre Trust %100	Expansion requires upgrade of roundabout to facilitate PT and	Before commencement of works requiring access off extension of Hamilton
Hampden Rd. to E border HPH	Creation of landscaped median with possible turning pockets.	City of Nedlands %50 QEII Medical Centre Trust %50	Improve safety, legibility, appearance. Assist to cope with increased traffic associated with QEII Medical Centre.	TBA
E to W border of HPH	Creation of landscaped median with possible turning pockets.	City of Nedlands %50 HPH %50	Improve safety, legibility, appearance. Assist to cope with increased traffic associated with HPH.	TBA
W Border of HPH to Smyth Rd	As desired by City provided traffic flow is not cut off.	City of Nedlands %100 Education Dept. contribution?	Resolve safety issues with school.	As determined by City.

Design	Feasibility and preliminary design of Monash Avenue upgrades	QEII Medical Centre Trust. 50% City of Nedlands 30% HPH %10 City of Subiaco %10	Prove feasibility, agree design and establish costs	2007 /08
<b>Winthrop Avenue Road segment Full movement intersection.</b>	<b>Upgrade</b>	<b>Funding</b>	<b>Reason for Upgrade.</b>	<b>Time</b>
Left in Left out intersection/s	Traffic lights and all associated lane work.	QEII Medical Centre Trust.	Access requirements for development.	Part of construction of first stage of car park.
Aberdare Road to Monash Avenue	All associated intersection and lane work.	QEII Medical Centre Trust.	Access requirements for development.	Part of construction of associated car park.
Light Rail associated works	Widening to 3 lanes - long term option if required.	TBA	Predicted site development traffic volumes exceeds nominal capacity.	As required.
Design	As required by light rail project.	Light rail project.	Assist with PT capacity for development over 1200 beds.	Expansion of site over 1200 beds.
<b>Aberdare Road Hospital Avenue intersection</b>	<b>Upgrade</b>	<b>Funding</b>	<b>Reason for Upgrade</b>	<b>Time</b>
	No upgrades anticipated to be required after Winthrop access opened.	City of Subiaco.	NA	As required.







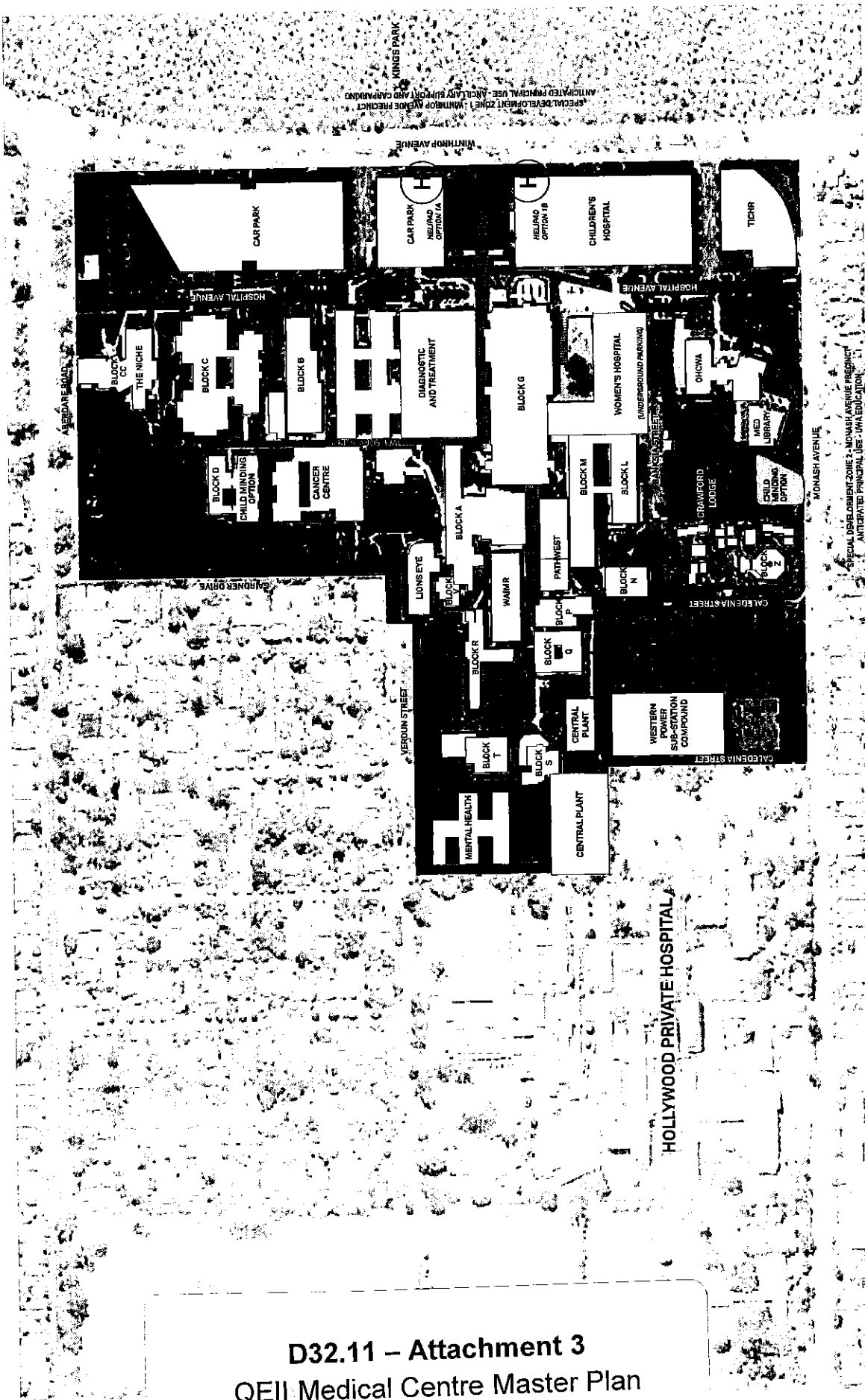
**D32.11 – Attachment 3**  
**QEI Medical Centre Master Plan**  
**Stage 1 Development Diagram**

QEI Medical Centre Stage 1 Development Diagram



SMITHGROUP

**HASSELL**



QEII Medical Centre Master Plan Stage 2 Development Diagram



HASSELL

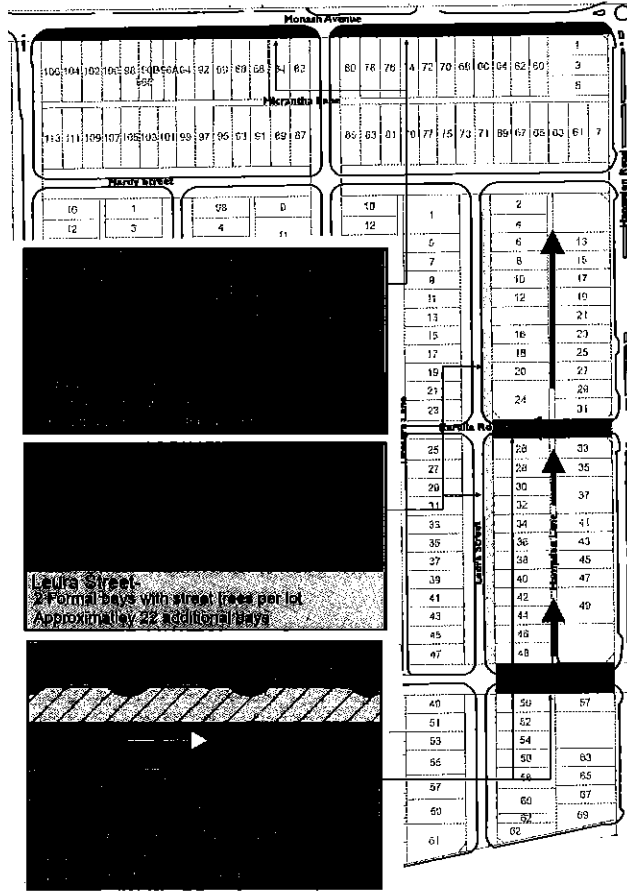
SHRIMP HOLDINGS



### Hampden Precinct Movement

A Hampden Precinct Parking and Traffic concept plan has been developed that aims to improve traffic movement within the precinct, increase on-street parking, facilitate cycling and enhance the attractive streetscapes for pedestrians.

The concept includes the creating a one way traffic loop off Hampden Road up Karella to Leura and down Park Road to Hampden Road to allow for additional on street parking and additional open space in the form of an urban plaza and creating approximately 100 additional formal on-street parking bays in landscaped tree lined streets.



**How well do you feel the Hampden Precinct Traffic and Parking concept plan will meet community needs?**

*Please circle one response.*

Will not meet community needs at all	—————→										Will meet community needs extremely well	Unsure
0	1	2	3	4	5	6	7	8	9	10	x	

**If you feel community needs will not be met, please provide reasons below:**

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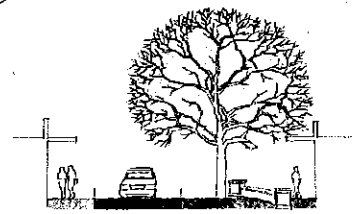
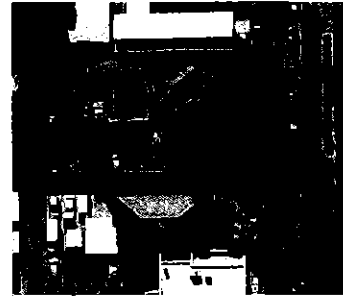
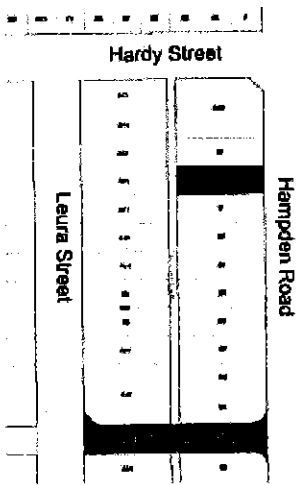
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**Hampden Precinct Open Space – Urban Plaza**

The community identified a need for an open space urban plaza in the Hampden Road retail precinct to provide space for people to eat, gather and participate in local community events. Sites being considered are 1) part of the existing council carpark (next to the Dome) and 2) part of Karella Street between Hampden Road and Hampden Lane.



How well do you feel the ~~Hampden Precinct Open Space~~ **Hampden Precinct Open Space – Urban Plaza** concept plan will meet community needs if the urban plaza was located in:

Please circle one response on each line.

	Will not meet community needs at all → Will meet community needs extremely well											Unsure
	0	1	2	3	4	5	6	7	8	9	10	
part of the existing council carpark (next to the Dome)												x
part of Karella Street, between Hampden Road and Hampden Lane												x

If you feel community needs will not be met, please provide reasons below:

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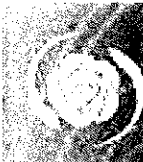
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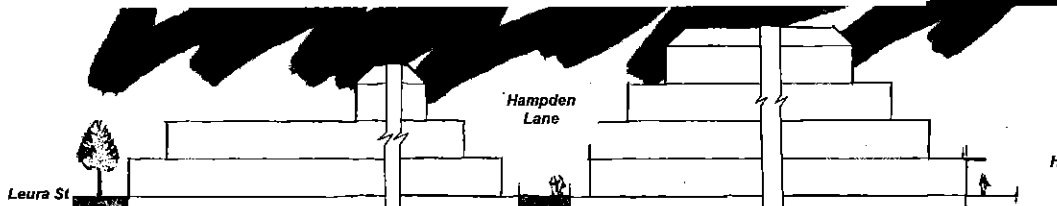
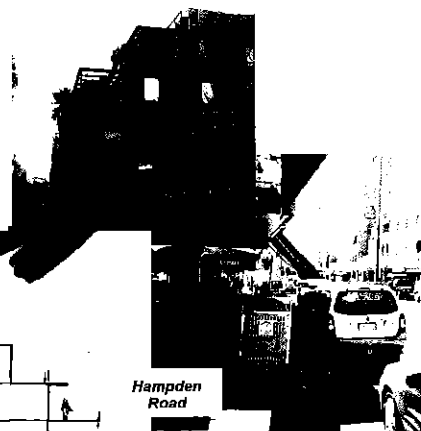


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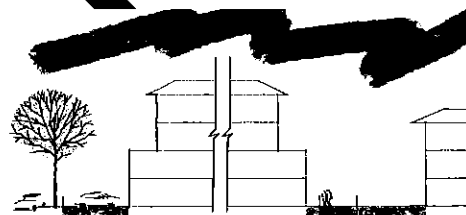


### Hampden Precinct Mixed Use

The concept for Leura Street eastern side is to provide an opportunity for new mixed use developments that are designed to reflect the residential character of the western side of the street whilst accommodating the existing smaller office uses in the street and provides apartment style living as a housing choice.



The Hampden Road streetscape character is to be retained with the wide footpaths, active shopfronts and outdoor dining with mixed use buildings with commercial uses on the ground floor and residential apartments above with balconies to the street stepping back of each floor to create an attractive built form to 4 storeys.



The concept for Monash is to create an improved streetscape and cohesive built form that provides opportunity for mixed use developments which allow for retail and office uses with residential uses in a building up to 4 storeys to reflect the retail, medical and educational uses in the vicinity. The buildings would step upper floors back and provide visitor parking at the front and additional on street car-bays.

How well do you feel the *Hampden Precinct Mixed Use* concept plans (for each of the following areas) will meet community needs:

Please circle one response on each line.

	Will not meet community needs at all										Will meet community needs extremely well	Unsure	
	0	1	2	3	4	5	6	7	8	9	10		
Leura Street													x
Hampden Lane													x
Hampden Road													x
Monash Avenue													x

If you feel community needs will not be met, please provide reasons below:

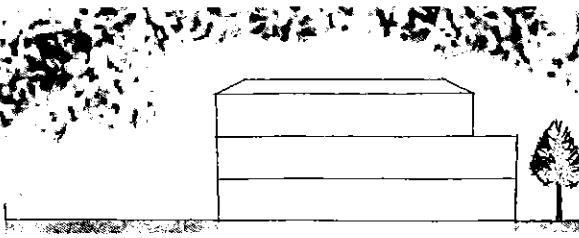
Four horizontal lines for providing reasons.



### Hampden Precinct Increased Housing Choice

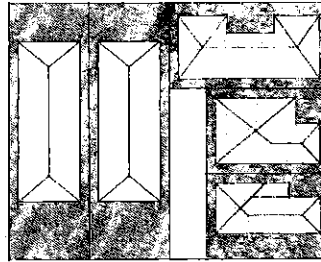
#### Hardy Street Sub-Precinct

Hardy Street as a residential area providing for greater housing choice in a mix of terrace style housing, small apartments blocks, maisonettes in close proximity to the urban village of Hampden Road.



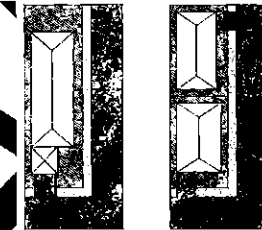
#### Leura Street/Clifton Street (south of Park Street)

To provide for additional townhouse, small lot housing or maisonette style housing designed to reflect the existing street character presenting as two storeys to the street with a setback third story.



#### Corner Lots

The concept being tested is allowing corner lots to be subdivided into 2 lots with each dwelling facing a different street to integrate with existing streetscape with the new second lot dwelling restricted to 2 storeys and 50% site cover.



How well do you feel the *Hampden Precinct Increased Housing Choice* concept plans (for each of the following areas) will meet community needs?

Please circle one response on each line.

	Will not meet community needs at all → Will meet community needs extremely well										Unsure	
	0	1	2	3	4	5	6	7	8	9	10	
Hardy Street sub-precinct												x
Leura Street and Clifton Street (south of Park St)												x
Corner lots												x

If you feel community needs will not be met, please provide reasons below:

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**Broadway Precinct (Hub And Mixed Use)**

**Broadway Hub Sub –Precinct**

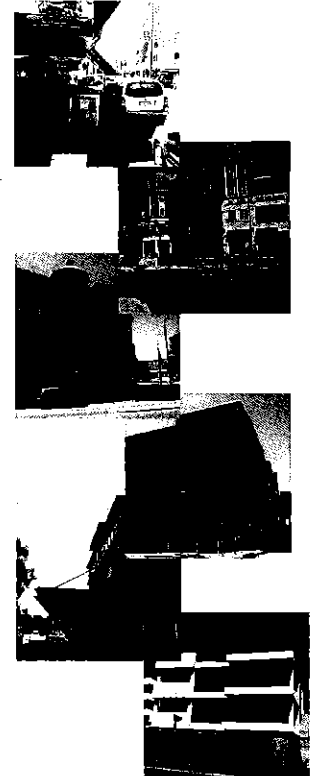
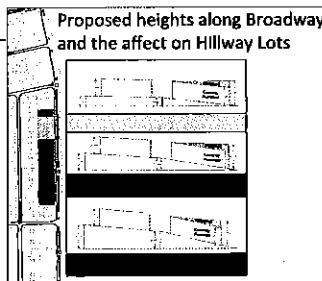
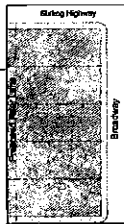
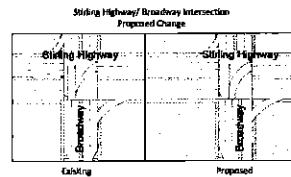
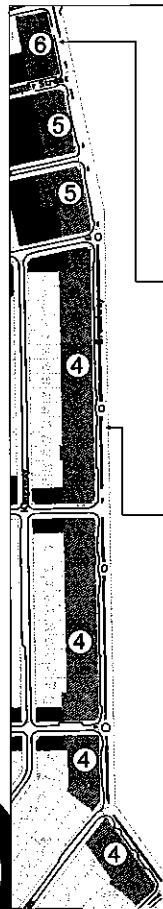
The creation of a Hub at Broadway in the first block from Stirling Highway to Cooper Street is being tested. The hub is a mixed use development as an entry statement to a maximum of 6 storeys to create an entry to the city with retail ground floor offices and residential above and access provided off a new rear laneway.

**Broadway Sub –Precinct**

Mixed Use developments along Broadway within a retail character to the street with office and residential above to a maximum of 4 storeys measured from the street level of Broadway.

**How well do you feel the *Hampden Precinct Hub and Mixed Use* concept plans will meet community needs:**

***Please circle one response on each line.***



	Will not meet community needs at all →										Will meet community needs extremely well	Unsure
	0	1	2	3	4	5	6	7	8	9	10	
Broadway Hub (mixed used entry statement, up to 6 storeys, on corner of Stirling Hwy and Broadway)												x
Broadway Sub-Precinct 1 (up to 5 storey, mixed used developments on Broadway between Cooper St and Edward St)												x
Broadway Sub-Precinct 2 (up to 4 storey, mixed used developments on Broadway between Edward St and The Avenue)												x

**If you feel community needs will not be met, please provide reasons below:**

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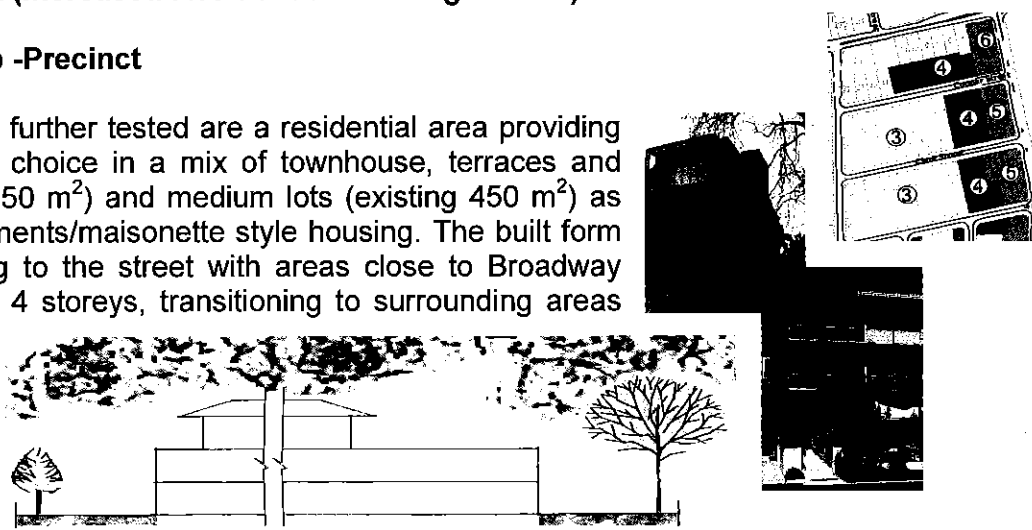


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**Broadway Precinct (Increased Residential Housing Choice)**

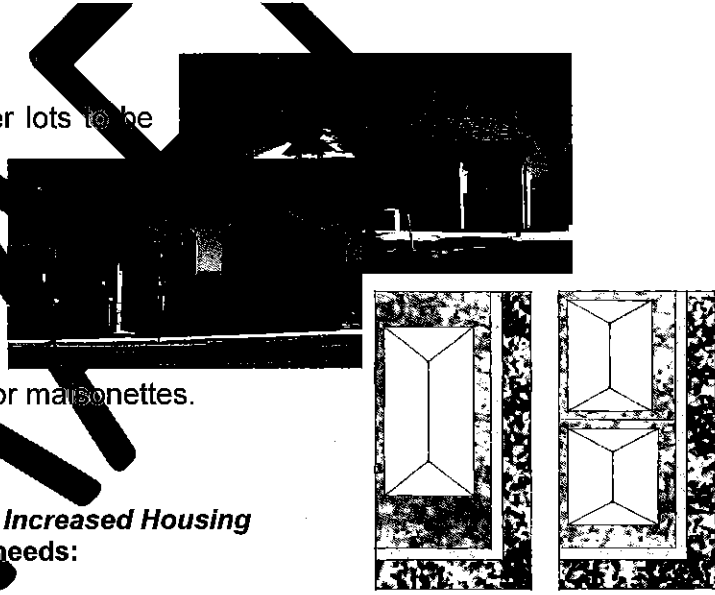
**Cooper/Clarke Sub -Precinct**

The concepts being further tested are a residential area providing for greater housing choice in a mix of townhouse, terraces and standalone small (250 m<sup>2</sup>) and medium lots (existing 450 m<sup>2</sup>) as well as small apartments/maisonette style housing. The built form is 2 storeys relating to the street with areas close to Broadway with a maximum of 4 storeys, transitioning to surrounding areas with a maximum of three storeys.



**Corner Lots**

The concept being tested is allowing corner lots to be subdivided into 2 lots with each dwelling facing a different street to integrate with existing streetscape with the new second lot dwelling restricted to 2 storeys and 50% site cover. Where there are lots between the corner lots on side streets (east-west running) these could be amalgamated to allow for townhouses and/or maisonettes.



How well do you feel the *Broadway Precinct Increased Housing Choice* concept plans will meet community needs:

Please circle one response on each line.

	Will not meet community needs at all											Will meet community needs extremely well											Unsure
	0	1	2	3	4	5	6	7	8	9	10	0	1	2	3	4	5	6	7	8	9	10	
Cooper/Clarke sub-precinct																							x
Corner Lots																							x

If you feel community needs will not be met, please provide reasons below:

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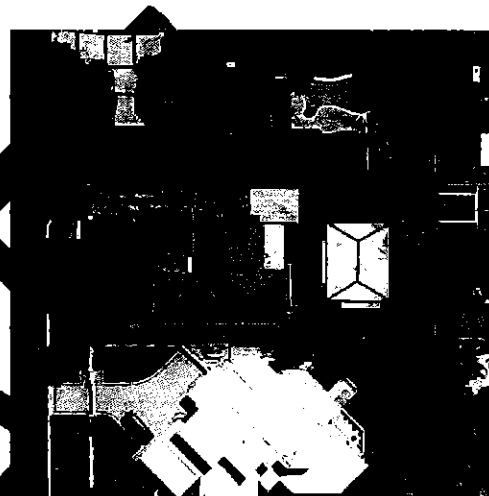
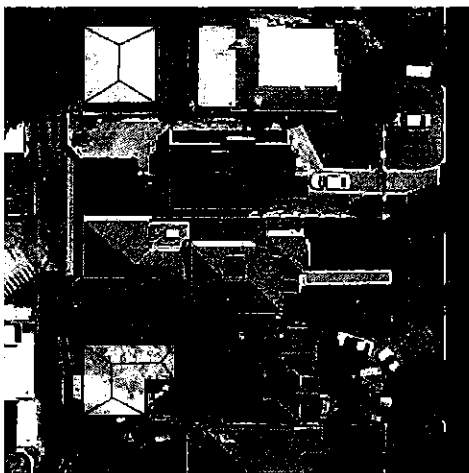


### Hampden & Broadway Precinct (Ancillary Housing)

Ancillary housing is being tested for both Hampden and Broadway precincts for the single dwelling lots which would allow a second small dwelling to a maximum of 100 m2 on a single lot that provides for greater housing choices and flexible living arrangements not limited to immediate family within this precinct but remaining in single ownership. The character of the areas is retained as the second dwelling must be within all current open space, height and setback requirements and provide additional parking.

**Hampden Precinct  
Ancillary Housing Indicative Concept**

**Broadway Precinct  
Ancillary Housing Indicative Concept**



How well do you feel the Hampden and Broadway Precinct – Ancillary Housing concept plans will meet community needs?

Please circle one response on each line.

	Will not meet community needs at all → Will meet community needs extremely well										Unsure	
	0	1	2	3	4	5	6	7	8	9	10	
Hampden Precinct												x
Broadway Precinct												x

If you feel community needs will not be met, please provide reasons below:

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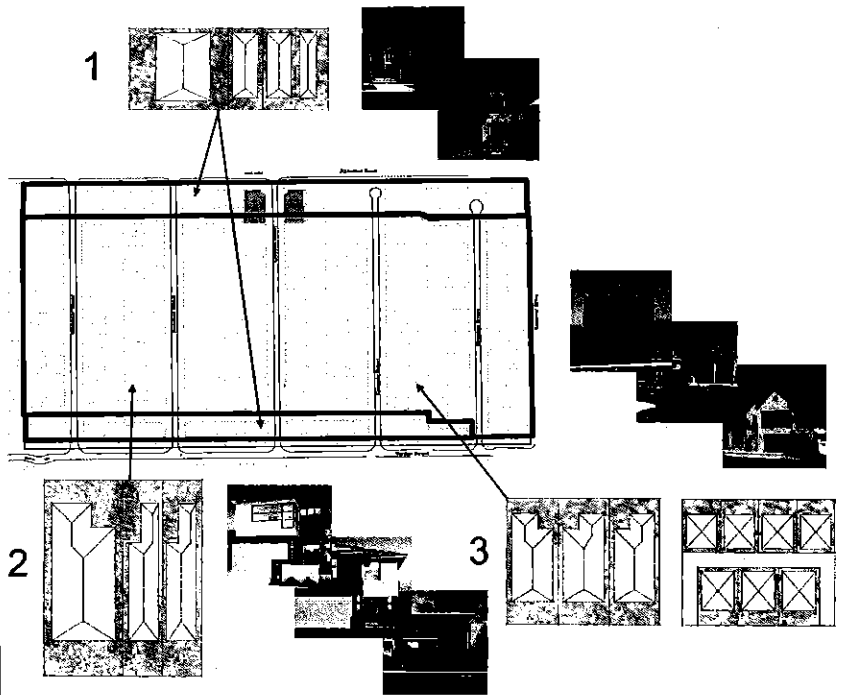
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**NORTH HOLLYWOOD PRECINCT**

A number of options are being tested in the North Hollywood precinct in regards to housing types and choice. The objective of the area is for high quality housing that meets the community's needs.

The options are:

1. Development Along the Edge: Verdun Street and Aberdare Road adjoining and fronting lots allow large lots(1000 m<sup>2</sup>) subdivide into 3 lots (300 m<sup>2</sup>)
2. Incremental Subdivision : 1 large lot (over 1000 m<sup>2</sup>) into 2 medium lots (500 m<sup>2</sup>)
3. Comprehensive Redevelopment: Allow minimum development area of 3000 m<sup>2</sup> to comprehensively redevelop to townhouse/villa style development with minimum lots of 150m<sup>2</sup>.
4. Status Quo



**How well do you feel the North Hollywood Precinct concept plans will meet community needs:**  
Please circle one response on each line.

	Will not meet community needs at all → Will meet community needs extremely well										Unsure	
	0	1	2	3	4	5	6	7	8	9	10	
Retain status quo												x
Incremental subdivision												x
Development along the edge												x
Comprehensive redevelopment												x

**If you feel community needs will not be met, please provide reasons below:**

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**DEMOGRAPHICS:** The following questions are about you. They are very important as they help us to classify responses and check that we have heard from a diverse group of people in the community.

Q1. Gender:		Male <input type="checkbox"/> <sub>1</sub>	Female <input type="checkbox"/> <sub>2</sub>
Q2. Age:	18- 24 <input type="checkbox"/> <sub>1</sub>	25-34 <input type="checkbox"/> <sub>2</sub>	35-44 <input type="checkbox"/> <sub>3</sub>
	45-54 <input type="checkbox"/> <sub>4</sub>	55-64 <input type="checkbox"/> <sub>5</sub>	65+ <input type="checkbox"/> <sub>6</sub>
Q3. In which suburb do you live?	Nedlands <input type="checkbox"/> <sub>1</sub>	Subiaco <input type="checkbox"/> <sub>2</sub>	Other <input type="checkbox"/> <sub>3</sub>
Q4. If you live in the City of Nedlands, how long have you lived in this area? Please write in the number of years. If less than 12 months please insert '0' years.			
Q5. Does anyone in your household have a disability or impairment?	Yes <input type="checkbox"/> <sub>1</sub>	No <input type="checkbox"/> <sub>2</sub>	Unsure <input type="checkbox"/> <sub>3</sub>
Q6. Are there children living in your household aged:	0-5 <input type="checkbox"/> <sub>1</sub>	6-12 <input type="checkbox"/> <sub>2</sub>	13-18 <input type="checkbox"/> <sub>3</sub>
	19+ <input type="checkbox"/> <sub>4</sub>	None <input type="checkbox"/> <sub>5</sub>	
Q7. Is anyone in your household or business employed by, or a Councillor, at the City of Nedlands or City of Subiaco?	Yes <input type="checkbox"/> <sub>1</sub>	No <input type="checkbox"/> <sub>2</sub>	Unsure <input type="checkbox"/> <sub>3</sub>

Q8. If you own or occupy property located within the Hampden, Broadway or North Hollywood Precincts, please provide the address below and indicate if a) it is used for residential or commercial uses, and b) if you are an investor, owner-occupier or leasing/renting. *Property details will assist us to see how responses vary by location. Addresses will not be used to identify individual respondents. All responses will remain confidential.*

Street name & number	Suburb	Residential	Commercial	Investor	Owner-occupier	Leasing/renting	Other
		<input type="checkbox"/> <sub>1</sub>	<input type="checkbox"/> <sub>2</sub>	<input type="checkbox"/> <sub>1</sub>	<input type="checkbox"/> <sub>2</sub>	<input type="checkbox"/> <sub>3</sub>	<input type="checkbox"/> <sub>4</sub>
		<input type="checkbox"/> <sub>1</sub>	<input type="checkbox"/> <sub>2</sub>	<input type="checkbox"/> <sub>1</sub>	<input type="checkbox"/> <sub>2</sub>	<input type="checkbox"/> <sub>3</sub>	<input type="checkbox"/> <sub>4</sub>
		<input type="checkbox"/> <sub>1</sub>	<input type="checkbox"/> <sub>2</sub>	<input type="checkbox"/> <sub>1</sub>	<input type="checkbox"/> <sub>2</sub>	<input type="checkbox"/> <sub>3</sub>	<input type="checkbox"/> <sub>4</sub>
		<input type="checkbox"/> <sub>1</sub>	<input type="checkbox"/> <sub>2</sub>	<input type="checkbox"/> <sub>1</sub>	<input type="checkbox"/> <sub>2</sub>	<input type="checkbox"/> <sub>3</sub>	<input type="checkbox"/> <sub>4</sub>

**SURVEY VALIDATION**

So that survey responses can be validated, please provide your contact details below.  
*Please note: responses to this survey will remain anonymous. Personal details will only be held by CATALYSE for the duration of this study and will not be used for any other purpose than to validate survey responses. Failure to provide name and contact details may render responses invalid.*

Name	
Street address	
Phone number	

**THANK YOU FOR COMPLETING THE SURVEY**  
 Please return your completed survey in the envelope provided to:  
 CATALYSE® Reply Paid 1609, Subiaco WA 6904....no postage stamp required

**Closing date: TO BE INSERTED**