



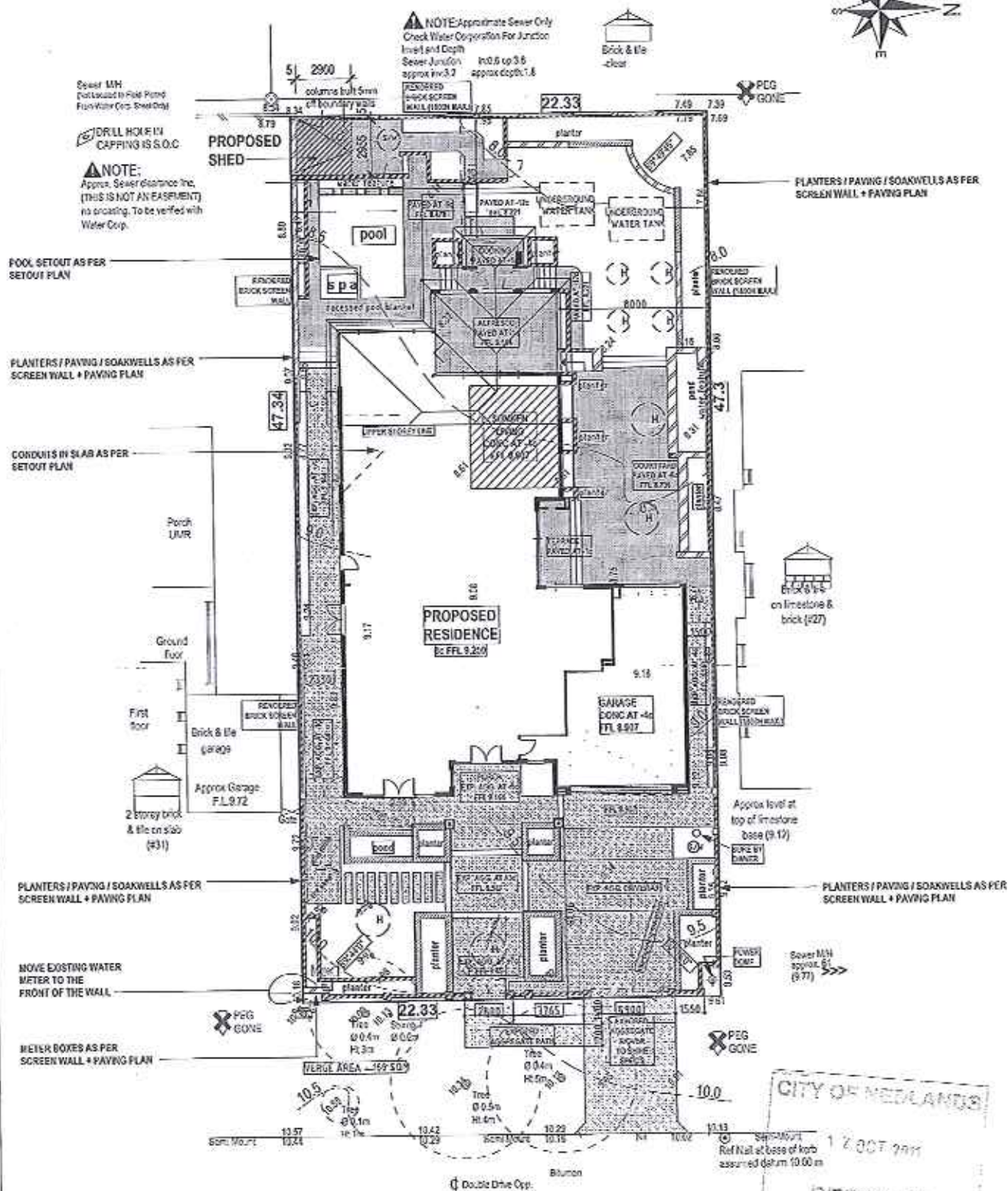
City of Nedlands



Locality Plan

1:1407

PD06.12 – Attachment 1
Locality Plan



Site Plan
SCALE 1:200

Louise Street

PD06.12 – Attachment 2
Proposed Site Plan

Mr & Mrs Wood,
29 Louise Street,
Nedlands WA,
6009

DRAWN: PJR	JOB No: 111073C
SCALE: 1:50	DATE: 10/10/2011
DRAWING No: SK2	OP: -
	REVISION: -

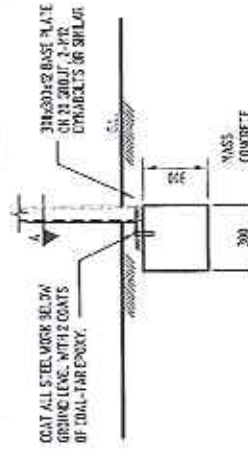
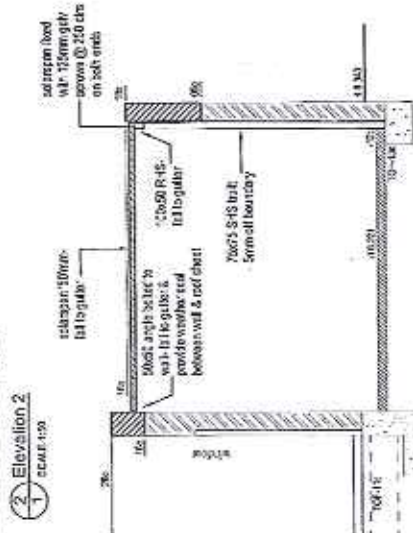
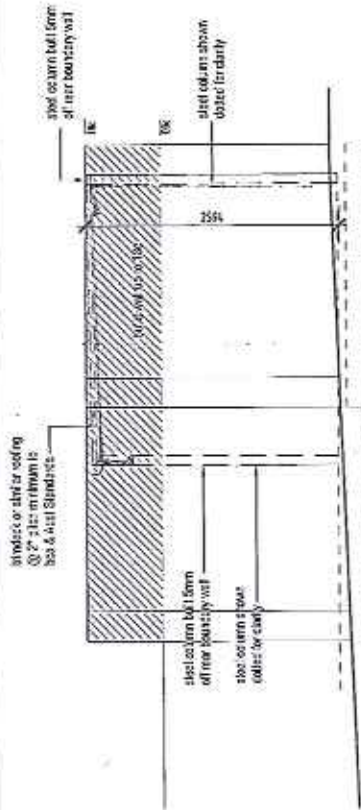
Y OF COUNCIL REGISTERED BUILDERS

PLAN AND ELEVATION DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION OF THE PROPOSED WORK

No	AMENDMENT

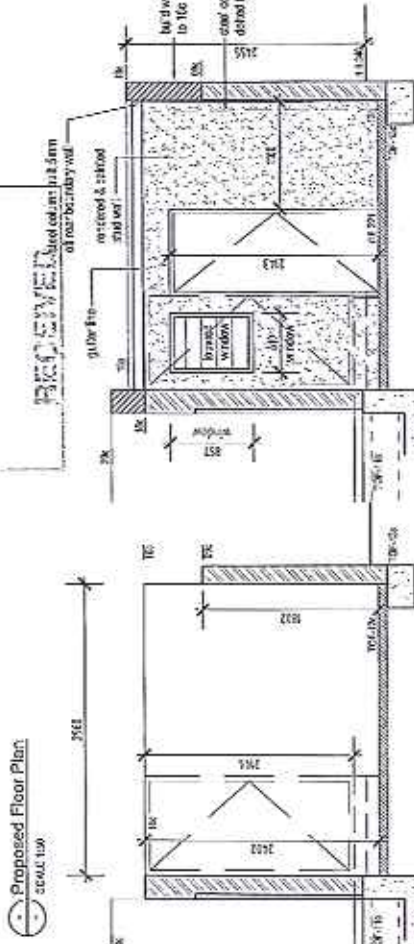
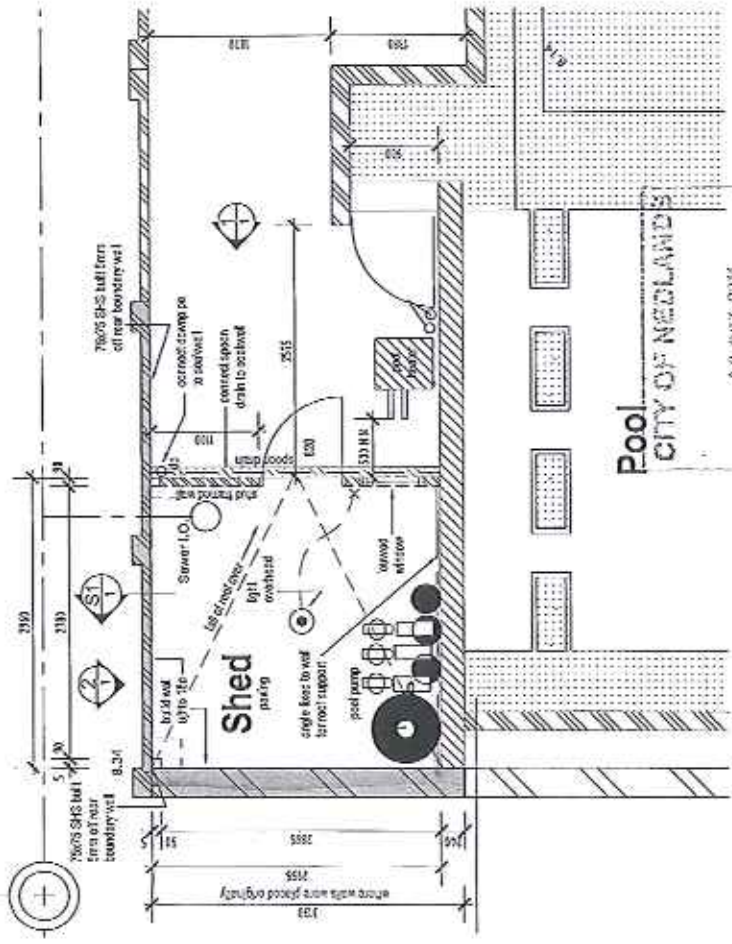
PD06.12 – Attachment 3

Elevation Plan



STANDARD FOOTING DETAIL

QUALITY HAS A NEW HOME	Mr & Mrs Wood, 29 Louise Street, Nedlands WA, 6009	DRAWN: PJR SCALE: 1:50 DATE: 06/10/2011	DATE: 06/10/2011
15 Leeway Court, Osborne Park WA 6017 Phone 9264 8522 Fax 9264 8511 enquiries@cambuild.com.au www.cambuild.com.au		DRAWING No: SK1	DATE: 06/10/2011
		DATE: 06/10/2011	DATE: 06/10/2011



Elevation 1
SCALE 1:50

Walls - Existing
SCALE 1:50

NS	AMENDMENTS	DATE	DATE



PD07.12 – Attachment 1
Locality Plan



Monday, 16 January 2012

1:464

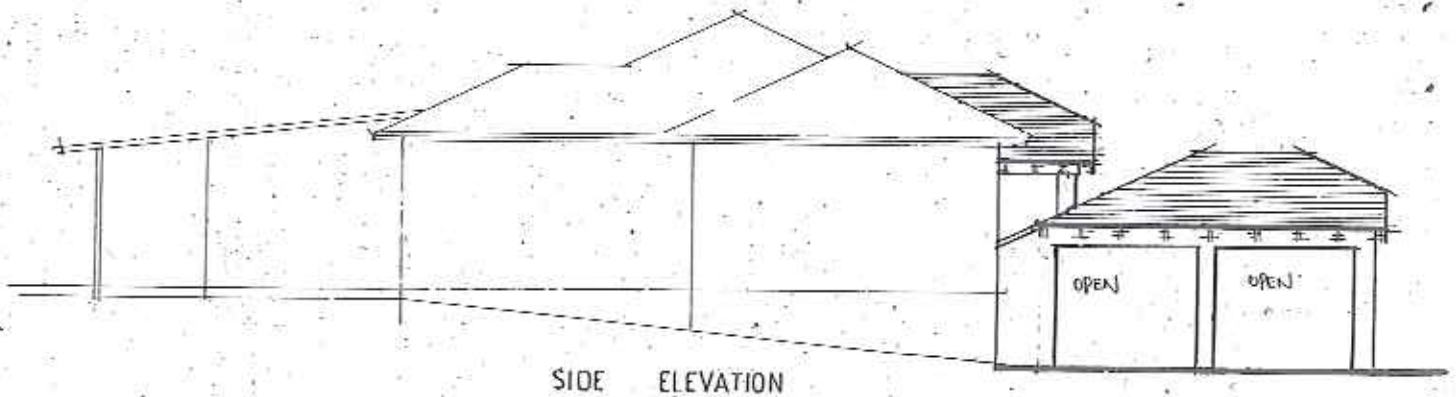
LOCALITY PLAN
Showing 116 Dakerth Road, NEDLANDS

The City of Nedlands accepts no
responsibility for the accuracy of this
image or the results of any actions
taken when using this image

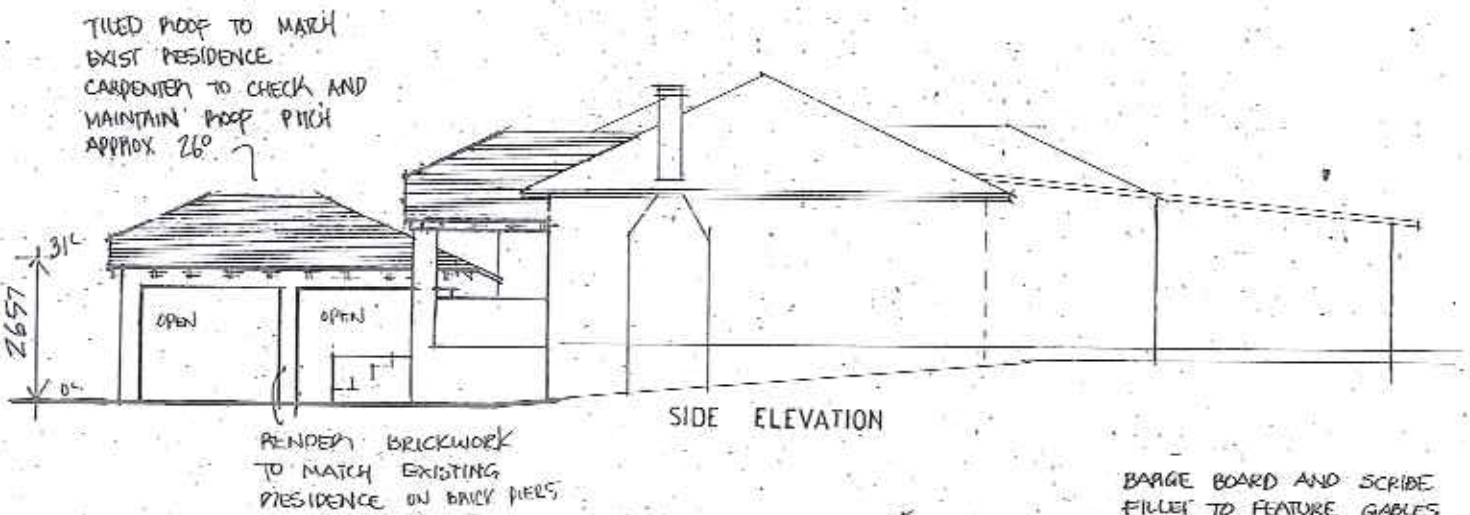


City of Nedlands

PD07.12 – Attachment 2
Approved Elevation Plan
(C.2001)



SIDE ELEVATION



SIDE ELEVATION



FRONT ELEVATION

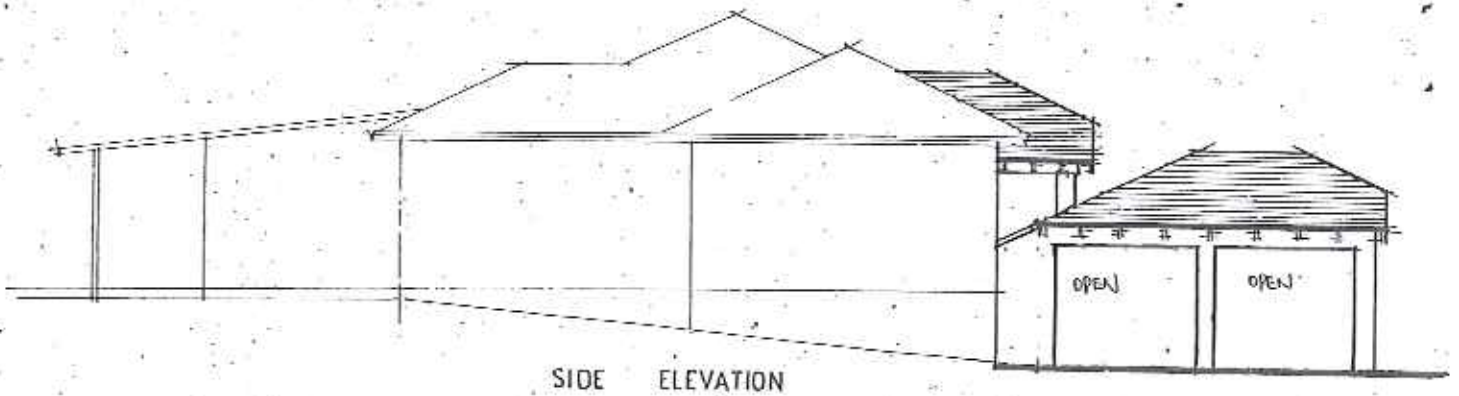
AMENDED PLANS

CITY OF NEDLANDS
DEVELOPMENT APPLICATION DATED 16-10-01
APPROVED
SUBJECT TO THE ENDORSEMENTS HEREON,
COMPLIANCE WITH THE CONDITIONS OF APPROVAL
TO COMMENCE DEVELOPMENT
FILE NO. DX1/115
DATE APPROVED: 14-12-01
NOTE: THIS APPROVAL DOES NOT
CONSTITUTE A BUILDING PERMIT

CITY OF NEDLANDS
05 DEC 2001
RECEIVED

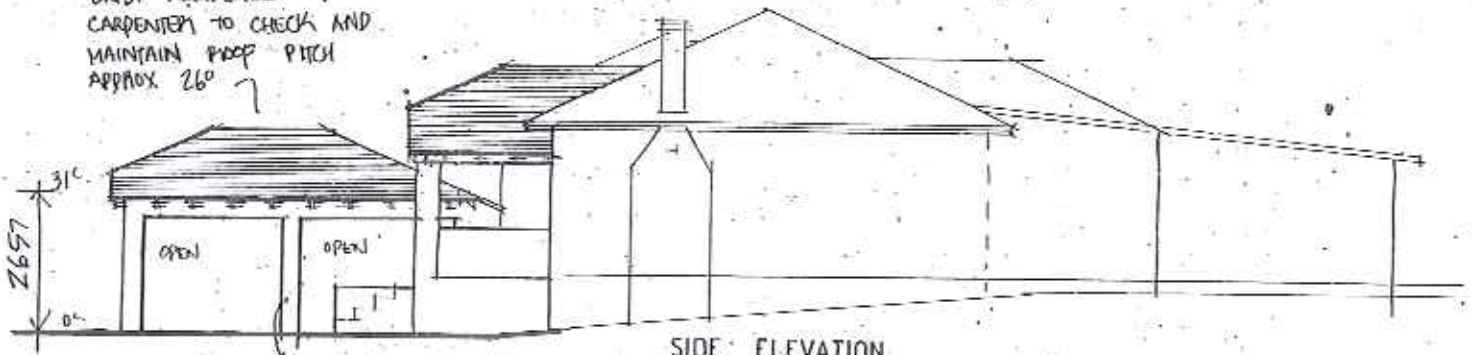
PROPOSED ADDITIONS AND ALTERATIONS FOR
MR AND MRS CLARKE AT
116 DALKIETH ROAD NEDLANDS
KELLEHER DESIGNS PH 9305,3939

PD07.12 – Attachment 3
Elevation Plan



SIDE ELEVATION

TILED ROOF TO MATCH
EXIST RESIDENCE
CARPENTERS TO CHECK AND
MAINTAIN ROOF PITCH
APPROX 26°



SIDE ELEVATION

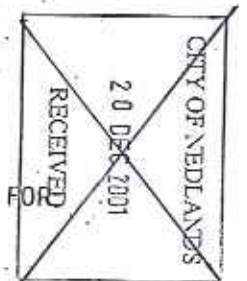
RENDERED BRICKWORK
TO MATCH EXISTING
PRESIDENCE ON BULK HEADS

BARGE BOARD AND SCRIBE
FILLET TO FEATURE GABLES
MIN 300mm VERGE
OVERHANG
80x12. FEATURE TIMBERS

STUCCO BOARD CLADDING
BEHIND 80x12 FEATURE
TIMBER TO FEATURE GABLES



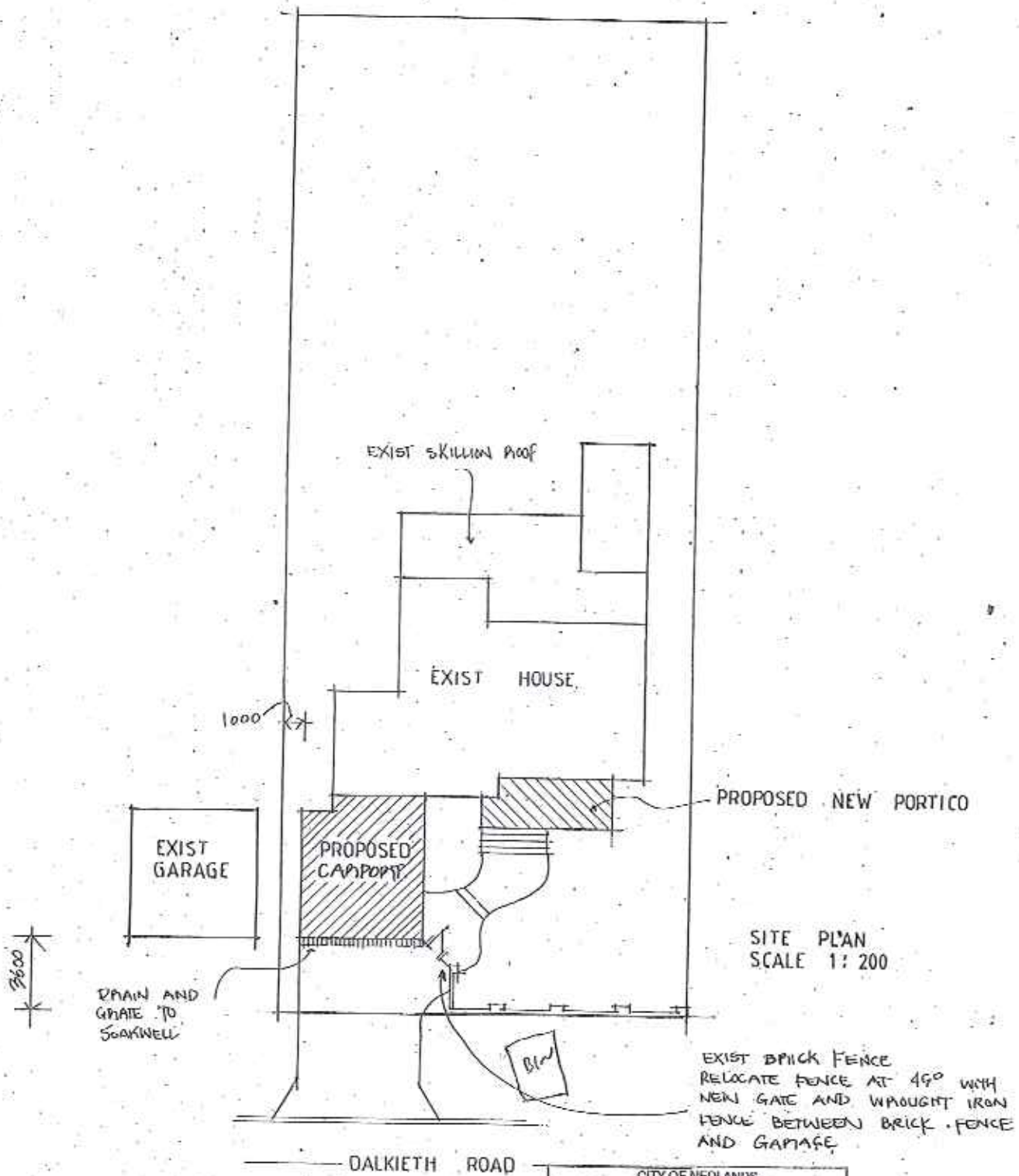
cedar - lou
garage door



PROPOSED ADDITIONS AND ALTERATIONS
MR AND MRS CLARKE AT
116 DALKIETH ROAD NEDLANDS
KELLEHER DESIGNS PH 9305 3939

PD07.12 – Attachment 4
Site Plan

CITY OF NEDLANDS
9 JAN 2012



SITE PLAN
SCALE 1:200

CITY OF NEDLANDS
Approved in accordance with the Local Government Miscellaneous Provisions
Act 1960, Building Regulations 1993, Building Code of Australia and relevant
Australian Standards.
Date: 23 JAN 2012 Licence No: 01640

CITY OF NEDLANDS
20 DEC 2011
RECEIVED FOR

PROPOSED ADDITIONS AND ALTERATIONS
MR AND MRS CLARKE AT
116 DALKIETH ROAD NEDLANDS
KELLEHER DESIGNS PH 93053939

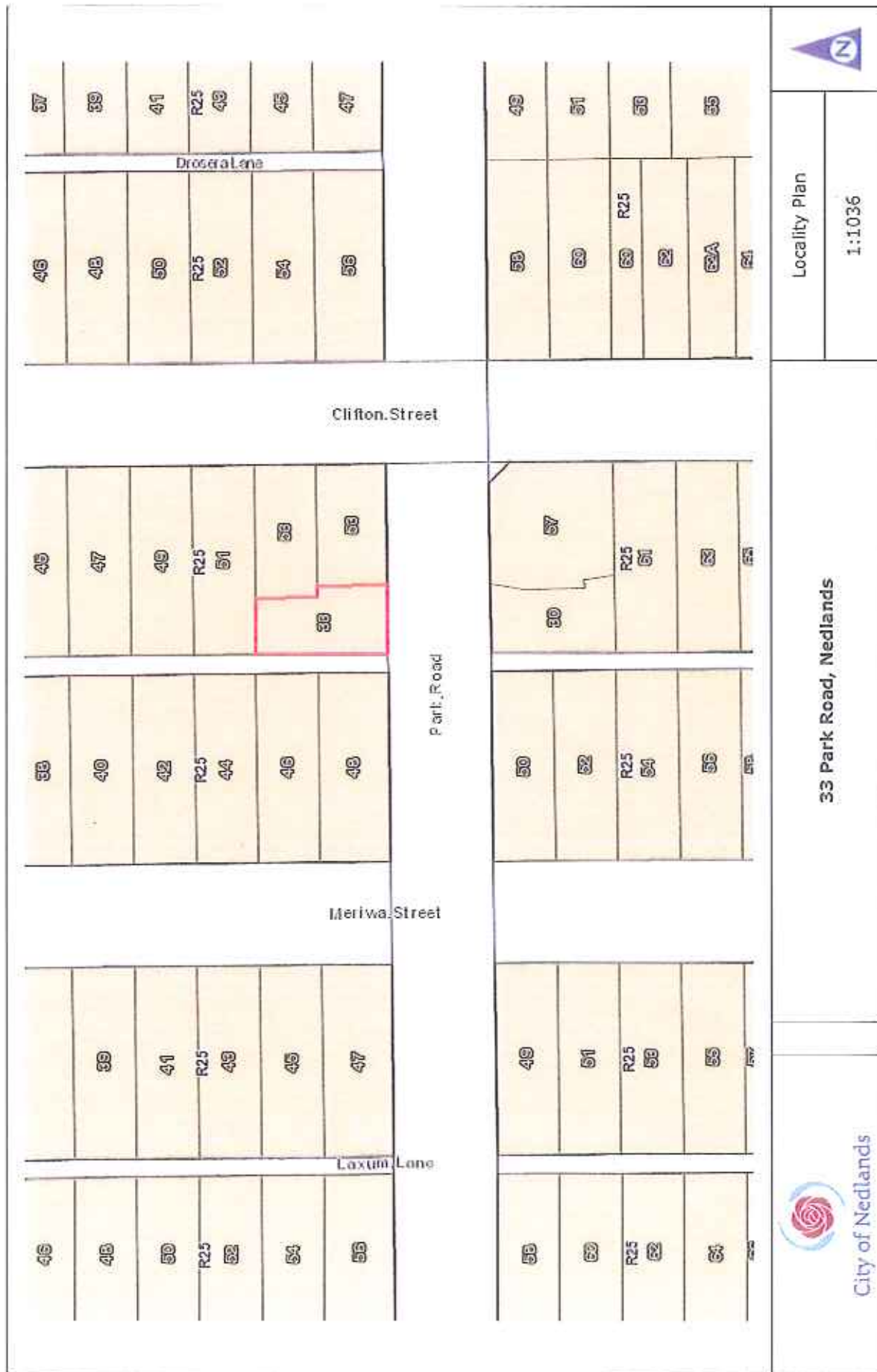
Photos showing 116 Dalkeith Road, Nedlands



Picture above: Showing carport with the side facing the street open



Picture above: Showing carport with solid garage door





Aerial Photograph

1:663

33 Park Road, Nedlands



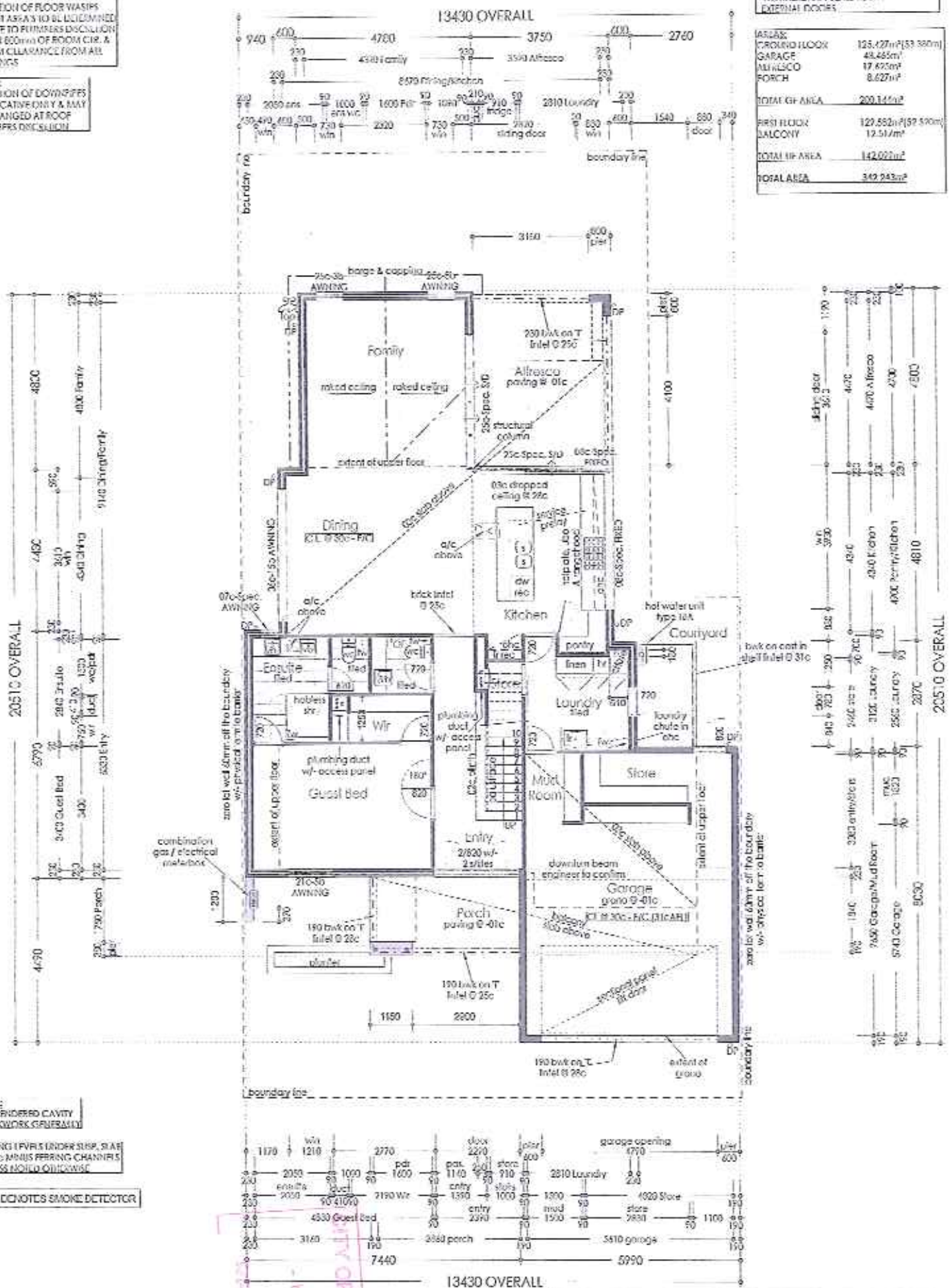
City of Nedlands

LOCATION OF FLOOR WASPS TO WH AREAS TO BE DETERMINED ON SITE TO FURNISH DISCUSSION WITHIN 600mm OF ROOM CIR. & W/ 1M CLEARANCE FROM ALL OPENINGS

NOTE: LOCATION OF DOWNPIPS IS INDICATIVE ONLY & MAY BE CHANGED AT ROOF FURNISH DISCUSSION

NOTE: PROVIDE R 3.0 CEILING INSULATION TO HOUSE GROUND FLOOR & WALLS/RAFT SEALS TO ALL EXTERNAL DOORS

HOUSE	125.427m ² (53 590m ²)
GROUND FLOOR	48.455m ²
GARAGE	17.495m ²
MULSCO	8.627m ²
PORCH	
TOTAL GF AREA	200.144m ²
FIRST FLOOR	127.552m ² (57 570m ²)
BALCONY	12.517m ²
TOTAL 1F AREA	142.020m ²
TOTAL AREA	342.164m ²



NOTE: 230 BRICKED CAVITY BRICKWORK GENERAL

CEILING 1 FURTS UNDER SLIP, SLAB 3 31c MINUS FERRING CHANNELS UNLESS NOTED OTHERWISE

Ⓢ INDICATES SMOKE DETECTOR

PD08.12 – Attachment 4 Floor Plan

HAIN
33 PARK STREET
NEDLANDS
CITY OF NEDLANDS

DATE	REVISION	DESCRIPTION	DATE
07/11/2011	Rev 1	Client Alterations	24/05/2011
01/04/11	Rev 2	Garage Setback	07/11/2011

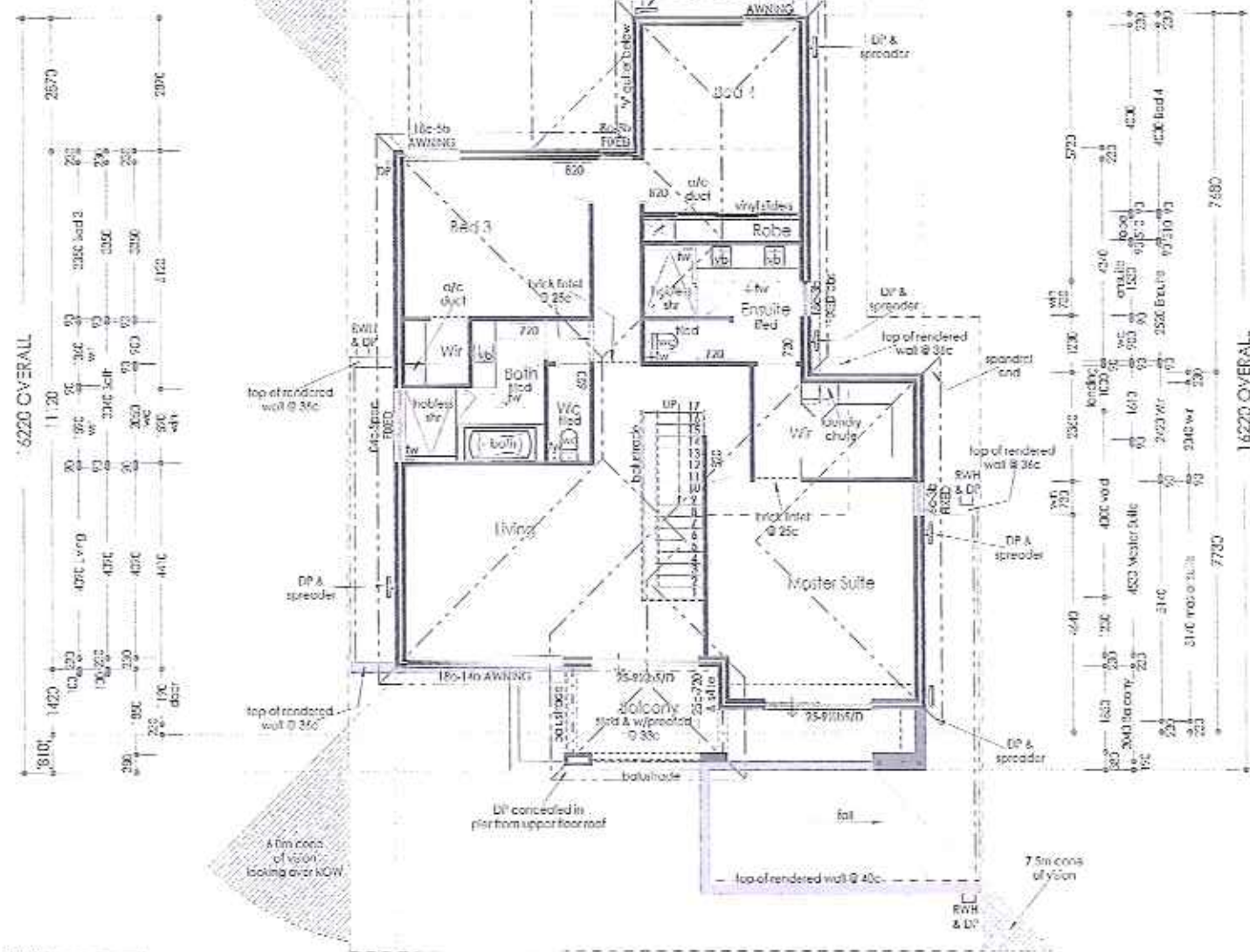
Drawn by: [Signature]
Checked by: [Signature]
Scale: 1:100

LOCATION OF ROOF WALLS TO WLT AREAS TO BE DETERMINED ON SITE TO PLUMBER'S DISCRETION WITHIN 800mm OF ROOM CTR. & W/ 1M CLEARANCE FROM ALL OPENINGS.

NOTE 1: LOCATION OF DOWNPIPES IS INDICATIVE ONLY & MAY BE CHANGED AT ROOF PLUMBER'S DISCRETION.

NOTE: PROVIDER 3.0 CEILING INSULATION IS TO BE USED IN ALL CEILING AREAS. WEATHERPROOF ALL ROOF WALLS TO ALL EXISTING DOORS.

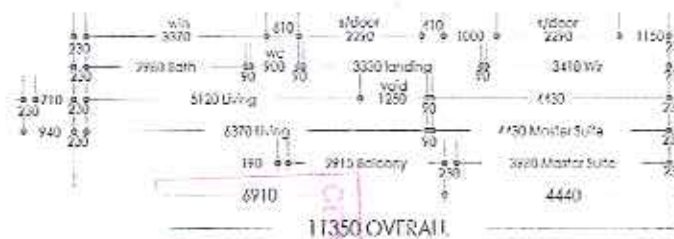
AREAS:	
GROUND FLOOR	125.42m ² (53,580sqft)
GARAGE	48.44m ²
MUXLSO	17.625m ²
PORCH	8.42m ²
TOTAL GF AREA	200.14m ²
FIRST FLOOR	127.502m ² (52,820sqft)
RAVCONY	12.517m ²
TOTAL AREA	342.043m ²



NOTE: 230 KIDUCKED CAVITY BRICKWORK CRIPRAIL.

CEILING LEVELS TO 31c + PLATE

③ DENOTES SMOKE DETECTOR

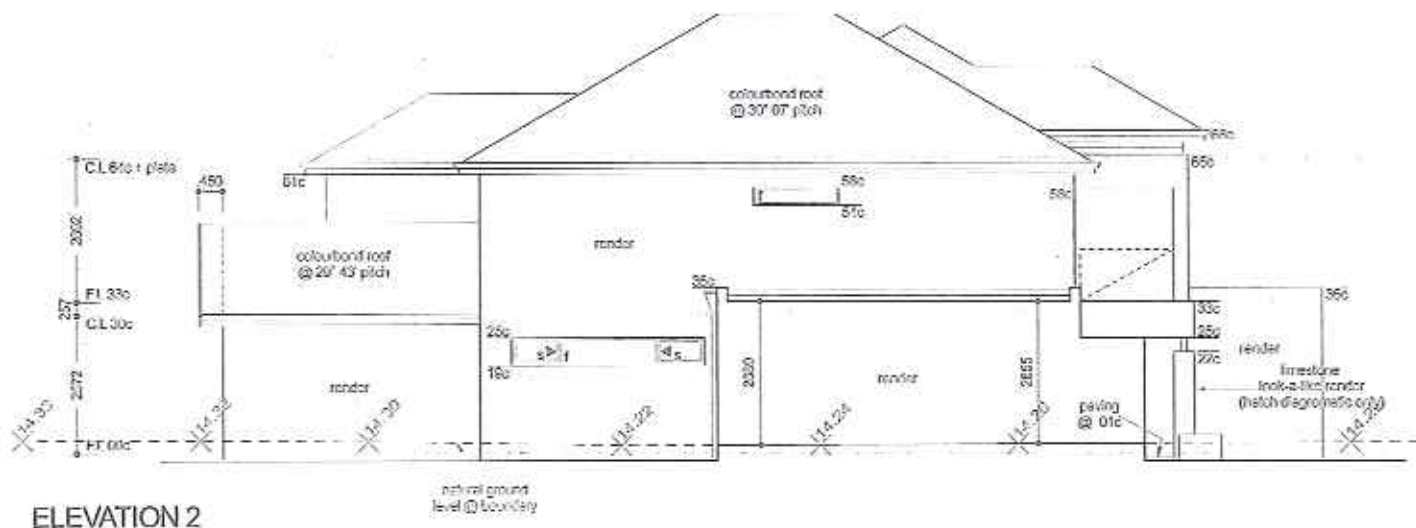
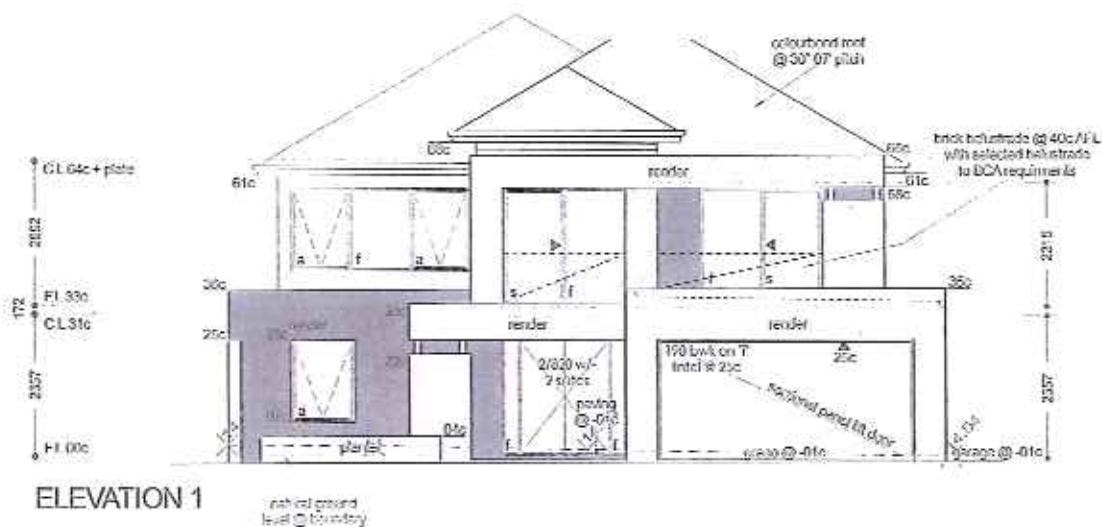


PD08.12 – Attachment 5 South & West Elevation Plan

OF 10 NOV 2011 DS 1030	PROJECT NO. 1030		DRAWING NAME UPPER FLOOR PLAN		Project description specification and standards Attendant to be preferred over over over	
	DATE 07/11/2011		revision description Rev 1 Client Allocation			date 24/05/2011
	SHEET 02 of 05		Rev 2 Garage Setback 07/11/2011			DATE 07/11/2011
	SCALE 1:100		REVISION 2			Project description specification and standards Attendant to be preferred over over over

Revisions to be made by the client. All revisions must be made in the presence of the architect. The architect is not responsible for any errors or omissions in the drawing.

NOTE:
THIS REPORT IS VALID FOR THE
PROJECT ONLY AND NOT FOR ANY OTHER
PROJECT OR GENERALITY.



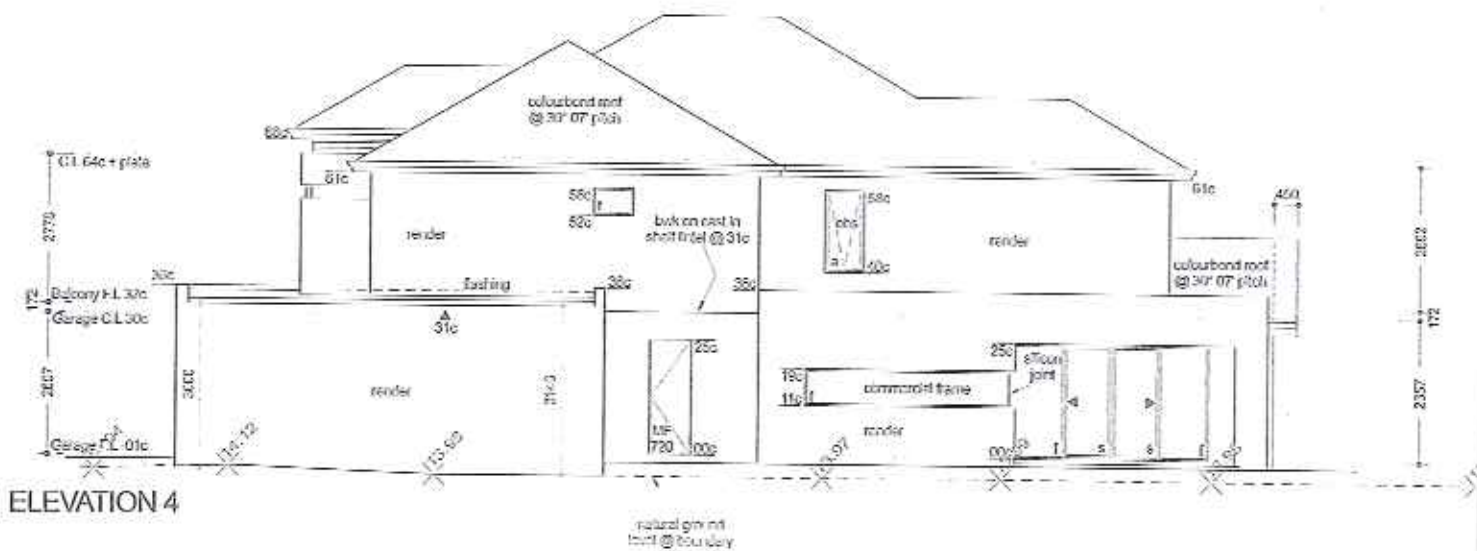
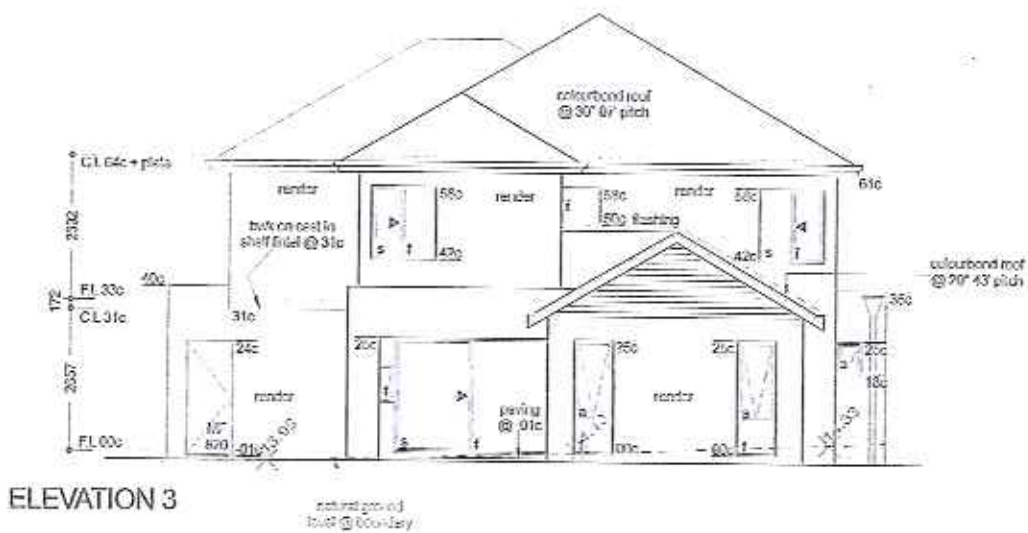
PD08.12 – Attachment 6 North & East Elevation Plan



HAIN
23 PARK STREET
NEDLANDS
CITY OF NEDLANDS

JOB NUMBER		DRAWING NAME		Revision and approval details	
1030		ELEVATIONS		All dimensions to be preferred over reading	
DATE	07/11/2011	Revision description	date	Corrected Improvement and note the property of HTR Directors and must not be given for use or release without the permission of the person issuing	
SHRPT	03 of 06	Rev 1 Client Alterations	24/05/2011		
SCALE	1:100	Rev 2 Garage Balustrade	07/11/2011		
REVISION	2				

SCALE
1:50 RENDERED CAVITY
BRICKWORK EXTERIALLY



HAIN
33 PARK STREET
NEDLANDS
CITY OF NEDLANDS

JOB NUMBER		DRAWING NAME		FROM DATA PLANS SPECIFICATION AND UNITS MUST BE CORRECTLY ALL DIMENSIONS IN METERS UNLESS OTHERWISE SPECIFIED
DATE	REVISION DESCRIPTION	DATE		
07/11/2011	Rev 1 Client Alterations	24/05/2011		
04 of 06	Rev 2 Garage Setback	07/11/2011		
SCALE 1:100	REVISION 7			

Hollywood Aged Care Retirement Village Local Planning Policy

KFA KFA 3 - Built Environment

Status Council

Responsible division Development Services

Objective To:

1. ensure that the land parcel bounded by Monash Avenue, Smyth Road, Karella Street and Williams Road (all land that is or was a part of Lot 2237 (No 118-120) Monash Avenue, Nedlands) is used exclusively to provide accommodation, health and amenity facilities for aged persons;
2. require the City to consult with residents of the site in regard to any development application received for the site or any other matter relating to the land which requires a council decision or comment and for which ordinarily public comment is sought;

Context

The demographic profile for the City of Nedlands shows that there is currently a higher proportion of older person compared to the remainder of Perth. This trend is expected to increase in the future as there is a growing trend towards an aging population in Australia. Accordingly there is demand within the boundaries of the City to cater for the needs of aged persons, including accommodation, community facilities to promote social interaction such as a hall, library, chapel, limited retail facilities and facilities to accommodate health care providers for primary health care needs.

Policy Area

The policy area relates to the land parcel 7.4147 ha in extent bounded by Monash Avenue, Smyth Road, Karella Street and Williams Road, that is or was part of Lot 2237 (No 118-120) Monash Avenue, Nedlands).

The site is zoned "Special Use" under the City of Nedlands Town Planning Scheme No2 in order to provide accommodation and facilities for aged persons and is subject to a memorial E987333 under the *Retirement Villages Act (WA)1992* which was imposed in 1992.



Definitions

For the purpose of this policy the following definitions apply:

Aged Person means a person who is aged 55 years and over

Aged Care Facilities means facilities designed to meet the needs of and intended to be used primarily by aged persons and includes suitably designed accommodation (which includes independent living units and high and low care hostel facilities), community facilities to promote social interaction such as a hall, library, chapel, limited retail facilities and facilities to accommodate health care providers for primary health care needs.

Aged Persons Dwelling means a dwelling (whether in the form of a single house, grouped dwelling or multiple dwelling), which, by incorporating appropriate provisions for the need of aged persons, is designed and used for the permanent accommodation of a person who is aged 55 years or more.

Aged Persons Hostel means a residential type development designed to provide board and lodging to a person aged 55 years or older.

Policy Area means the land parcel that this policy applies to.

Background

Since inception the site has provided aged care facilities. It was sold for this purpose to the Salvation Army in 1971 for nominal consideration by the State.

A memorial imposed under the *Retirement Village Act (WA) 1992* applies to site since 1992.

The site is zoned "Special Use" under Town Planning Scheme No 2. The intent of its zoning is to facilitate the use of the site to provide accommodation for aged persons and incidental facilities.

The development of the site is subject to masterplan which was adopted in 2003. It envisages a retirement complex that caters for most of the basic needs of its residents on site and has a high degree of legibility as a result of a design that allows for visual permeability throughout the site.

The masterplan provides for the following uses:

- Independent living units
- Hostel Care facilities
- Residential Care Facilities
- Hall
- Small number of shops
- A chapel
- A hierarchy of open spaces
- Meeting places for residents, staff and visitors.
- An internal circulation system

Site Characteristics

The site has the following characteristics that make it suitable for providing aged persons facilities:

1. Location:

- In close proximity to the regional hospital node, medical and specialist services comprising of the QEII medical centre and private providers.
- Well Served by existing public transport with major bus routes along Monash Avenue and Smyth Road, connecting to access to the wider community.
- Surrounded by residential development.
- Access to large areas of public opens space, including Highview Park and Karrakatta

2. Physical characteristics:

- Level site
- Existing building stock
- Full availability of essential services
- Established landscaping and vegetation
- Existing Masterplan

Policy Focus

The focus of this policy is to:

1. retain this site as one of only 3 sites in the City for the purpose of providing aged care facilities;
2. promote that the site continues to be used exclusively to provide for aged care facility;
3. encourage the development of the site in accordance with the development parameters as specified in the approved masterplan (including height limits, setbacks, location of facilities, provision of open space, visual permeability, provision of access routes, accommodation mix and provision of facilities);
4. retain existing mature vegetation;
5. promote the development of the total land parcel as a single self contained complex and prevent the site from being segmented or functioning as segments;
6. encourage the operators to retain a high level of occupancy of facilities at all times recognising the need for ongoing maintenance and construction of new facilities; and
7. require the City to consult with residents of the site in regard to any development application received for the site or any other matter relating to the land which requires a council decision or comment for which public comment is sought.

Statement

Recognising that the site is privately owned the policy principles are:

1. The land parcel is used in perpetuity to provide Aged Care Facilities;
2. Not to support any uses of the land other than uses to accommodate Aged Care Facilities either permanently or temporarily;
3. Not to support the removal of the memorial imposed under the *Retirement Villages Act 1992*;
4. Not to support the subdivision of the site or any form of segmentation of the site;
5. Encourage that as a minimum the facilities flagged in the 2003 masterplan are provided;
6. Provide open space and landscaping at the minimum rate as prescribed by the 2003 masterplan; and
7. To design around existing mature vegetation in order in order to retain that vegetation.

- a. Encourage development of quality accommodation that meets the acceptable development standards for residential development as prescribed under the Residential Design Codes relevant at the time;
 - b. Ensure that the architectural style of individual buildings match and complement each other so that a comprehensive complex is created;
 - c. Encourage that the communal facilities are provided within a core on the site conveniently located in relation to the accommodation facilities;
 - d. Ensure that a high level of accessibility through the total site is guaranteed irrespective of any existing or proposed subdivision lines;
 - e. Ensure that the accessibility network is maintained at a sufficient standard to be used by gophers and walking aids; and
 - f. Ensure that any planning decision requires as a minimum that letters are sent to the occupiers of the aged care facility and that any submissions are reported;
-

Related documentation

Town Planning Scheme No 2
Masterplan approved 2003

Related Local Law/legislation

Planning and Development Act 2005
Retirement Villages Act 1992

Related delegation

Issued

Date approved by Council

Amendments

Dates amendments approved by Council
