



## **LOCAL PLANNING POLICY – SWANBOURNE DESIGN GUIDELINES B – PRECINCTS 6, 7 AND 8**

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### **1.0 Purpose**

These Design Guidelines provide background information and set the design quality for Swanbourne. Information is included on site planning; environmental performance requirements; the design of a high-quality built form and landscape that responds to the context; and integration of services.

### **2.0 Application of Policy**

2.2 This policy applies to all properties within precincts 6, 7 and 8 of the Swanbourne area as shown under Appendix 1 of this Policy.

2.3 The City of Nedlands has adopted these Design Guidelines and Detailed Area Plans (DAPs) as a Local Planning Policy under Local Planning Scheme No. 3 and they should be read in conjunction with the Scheme Text and Planning Policies and Residential Design Codes of WA (R-Codes).

2.4 In determining any application for planning approval, the Council will utilise these Guidelines and the DAPs as the primary assessment criteria to be exercised in conjunction with the Scheme and Policies and R-Codes. Where these design guidelines are silent, the Scheme and Residential Design Codes come into effect.

### **3.0 Objectives**

3.1 The aim of these Design Guidelines is to create a development that exists in harmony with the environment at the Swanbourne site and the surrounding area. These guidelines apply to all the residential Lots in Precincts 6, 7 and 8 at Swanbourne (refer Appendix 1).

3.2 The purpose of this document is to prescribe comprehensive building design guidelines to promote appropriate design solutions for development at Swanbourne. The Design Guidelines seek to protect the Lot owner's interest and investment and enhance the design quality of dwellings proposed at this development. Specifically, this document promotes the following objectives:

- development that has regard for the amenity of adjacent Lots and surrounding public areas
- a strong sense of architectural character that is distinctly contemporary and designed with integrity, and reflects different dwelling types and the characteristics of modern lifestyles
- residential development that is responsive to the site and context, incorporates passive solar design, achieves thermal comfort and ventilation, is energy efficient, and promotes sustainable water management practices
- opportunities for passive surveillance of the public realm, yet respecting individual privacy.



## **4.0 Policy Measures**

### **4.1 Building Endorsement and Statutory Planning Approval Process**

- 4.1.1 A Lot owner shall obtain building endorsement from Mirvac's Swanbourne Design Committee before a formal development application for planning approval and building licence application is lodged with the City of Nedlands – further explanation on this process is provided overleaf.
- 4.1.2 Local Planning Scheme No.3 may require that Planning Approval be obtained from the City of Nedlands. The usual local government, Building and Health By-Laws remain in force and Licences (Building and Health) must also be obtained, as necessary from the City of Nedlands.

### **4.2 Building endorsement and statutory planning approval process**

- 4.2.1 The Lot owner shall first obtain endorsement for the building from Mirvac's Swanbourne Design Committee (SDC) for all sketch design drawings and detailed design information prior to a development application for planning approval to the City of Nedlands. The SDC will guide the design development of every dwelling within the contract of sale conditions.
- 4.2.2 An SDC member will invite the Lot owner or their appointed Architect/Designer to a briefing on the intent of the Design Guidelines and to discuss any initial design concept. An SDC member will be available to answer telephone queries throughout the process.
- 4.2.3 The SDC's endorsement of a building design shall not imply or guarantee a planning approval by the City of Nedlands. The City of Nedlands will be asked to consider the SDC's endorsement of a building design as supporting advice included in the statutory planning process. The flow chart below explains the steps in the building endorsement process prior to a development application for planning approval and building licence application to Council:

### **4.3 Variations**

- 4.3.1 The Council may approve an application involving departures from the specific criteria of the Guidelines, if in its opinion, the application satisfies the objectives of the Guidelines. The Council may refuse Planning Approval for a development not considered to be in keeping with the objectives of the guidelines.

## **5.0 Site Management and Construction**

- 5.1 It is vital to preserve the amenity of the development prior to, during and after the construction on a dwelling commences. The Lot, therefore, shall be kept clear of excessive weeds and rubbish and maintained to an acceptable standard.
- 5.2 During construction, the Lot owner shall ensure that their builder is responsible for the secure storage of materials and waste on the Lot, and regular removal of any construction waste generated from the Lot.



- 5.3 No building materials, rubbish or other matter should be deposited in the public reserves, in particular the washing of waste from construction vehicles. The verge, footpath and neighbouring property should be kept clear at all times. Any damage to areas outside the Lot shall be rectified upon notification.
- 5.4 Given the compact nature of some of the Lots and the allowance for building up to the side boundary on specific Lots, an adjoining neighbour should provide reasonable access to their property where possible to facilitate development.

### **Site Planning for Precincts 6, 7 and 8**

This section outlines the site planning requirements for development on the Lots within Precincts 6, 7 and 8. Where these Design Guidelines are silent, the relevant provisions in the Local Planning Scheme and Residential Design Codes of WA come into effect.

#### **PRECINCT 6: LOTS 52 TO 59 (R60 SINGLE/GROUPED DWELLING)**

Lots 52 to 59 are east-west orientated narrow frontage lots.

##### **a) OBJECTIVES FOR DEVELOPMENT**

The design for the dwelling on the Lot shall ensure:

- an overall terraced appearance from the street front (building walls to both side Lot boundaries) for dwellings on Lots within Precinct 6;
- a response to the surrounding context of Public Open Space and streetscapes (refer to the section on Built Form and Landscape); and
- that the appearance of a garage opening on the elevation is minimised from the street.

##### **b) DETAILED AREA PLAN**

The Detailed Area Plan denotes particular site planning requirements; refer to Appendix 1 – Sheet 1: Precinct 6.

- Front setback: 2m min and 4m max
- Minor horizontal incursion into the front setback: The maximum depth of intrusion that is permitted is 0.5m and for a maximum of 50% of the site frontage (minor incursions include projections such as a balcony - roofed or unroofed - with no enclosed space underneath, porch, verandah, blade wall or chimney).
- Side setbacks: Commencing at the street front setback, at least 25% of the length of both side walls for each storey behind the front setback shall be built up to the side lot boundaries (nil setback); 1m min setback is permitted elsewhere, with R-Codes wall setbacks applicable for any upper level with major openings.
- Walls are permitted to be built up to both side boundaries to a height of 12m maximum provided the development's shadow cast at midday, 21 June onto the adjoining lot's outdoor living area does not exceed 50% (refer to DAP for location of outdoor living area).
- Additional side setback provisions for Lots 52 and 59:
- Lot 52 - All habitable rooms with walls built on the northern boundary shall have at least one 'major' opening. All other rooms with walls built on the northern boundary shall have at least one 'minor' opening.



- Lot 59 - All habitable rooms with walls built on the southern boundary shall have at least one 'major' opening. All other rooms with walls built on the southern boundary shall have at least one 'minor' opening.
- Rear setbacks: 3m min at ground level and 6m min for upper levels. A non weather-proof light weight structure is permitted within the rear setback.
- Privacy: Any balcony at the upper level that is located at the 6m min rear setback position shall be deemed as complying with the R-Codes privacy provisions. A balcony at the upper level that is set further eastwards into the lot shall be required to comply with R-Codes privacy provisions.
- Garage setback and design requirements: 2.5m minimum and located by at least 0.5m behind the dwelling's elevation. A verandah, porch or balcony are included as elements on the "elevation". Any element of the elevation that serves to reduce the visual impact of the garage on the street is deemed to be the dwelling's elevation. The garage may exceed the maximum front setback depth if required.
- The enclosed garage shall accommodate a minimum of two car spaces, and shall be integrated into the design of the dwelling.
- Principal outdoor living area: The courtyard shall be located at the rear western part of the Lot to receive winter sunlight (refer to DAP).
- Minimum total open space: 35%
- Plot ratio: No plot ratio shall apply.
- Maximum building height: 12m calculated from the finished level for each site at the front property boundary established as part of the subdivision works. The height of the building height envelope does not change with the changes in lot levels.
- Habitable loft space and windows in the roof are not permitted. A skylight will be considered subject to appropriate detailing including no openings to be permitted.

Refer to Built Form and Landscape section (f) for fence and letter box requirements.

### **PRECINCT 7: LOT 60 (R80 MULTIPLE DWELLINGS)**

Lot 60 is a site for multiple dwellings.

**All previous policy measures are now removed as Design WA will take effect.**

#### **a) DETAILED AREA PLAN**

- The Detailed Area Plan denotes particular site planning requirements, refer to Appendix 1 -Sheet 2: Precinct 7.
- Minimum total open space: 50%.

#### **b) OTHER REQUIREMENTS**

- The development shall respond to the surrounding context of streetscapes and Public Open Space by orienting elevations (with habitable rooms, openings and balconies) towards these areas.
- Residents' car parking shall be screened on site from view of the public realm.

## **PRECINCT 8: LOT 61 (R60 MULTIPLE/GROUPED DWELLINGS)**

Lot 61 is a site for multiple dwellings.

### **a) OBJECTIVES FOR DEVELOPMENT**

The design for the building on the Lot shall ensure:

- a built form that includes articulation of all the elevations. Architectural features such as contrasting materials and colours, awnings, canopies, balconies and bay windows shall provide visual interest;
- a response to the surrounding context of Public Open Spaces and streetscapes (refer to the section on Built Form and Landscape); and
- passive surveillance opportunities of the Public Open Spaces.

### **b) DETAILED AREA PLAN**

The Detailed Area Plan denotes particular site planning requirements; refer Appendix 1.

- Setbacks: Refer to the DAP (note that the utilities easement on the western side of the Lot where development is not permitted is within the setback area);
- Minor horizontal incursions into the setbacks: 1m max and maximum of 50% of the elevation of the proposed dwelling (minor incursions include projections such as a balcony - roofed or unroofed - with no enclosed space underneath, porch, verandah, blade wall or chimney);
- Minimum total open space: 40%; and
- Plot ratio: No plot ratio shall apply.

### **c) OTHER REQUIREMENTS**

- Habitable loft space and windows in the roof are not permitted. A skylight will be considered subject to appropriate detailing including no openings to be permitted;
- The development shall respond to its location abutting northern and southern Public Open Spaces by orientating elevations (with habitable rooms, openings and balconies) towards these areas;
- For the west facing elevation (towards West Coast Highway), openings, other than those with fixed opaque glazing, are not permitted. The west facing elevation shall be articulated however, with architectural richness being encouraged through the bold use of a variety of high quality materials and colours;
- Except as noted for the west facing elevation, a design response that includes large expanses of blank walls and minimal articulation of the elevation and landscape will not be permitted;
- Any “back of development” appearance (for example, exposed mechanical plant and servicing areas) visible from the public realm will not be accepted;
- Residents’ car parking shall be screened on site from view of the public realm;
- Signage shall be of a high quality graphic design, simple in format and appropriately located and integrated with the building design and landscape to minimize a cluttered appearance. Entry communication and mail delivery boxes shall be discreet and integral to the building design;
- Entrances shall be well lit for safe use for after dark;



- A screened, central waste storage and collection space shall be included to accommodate bins (in accordance with City of Nedlands’ standard waste and recycling system requirements);
- Refer to Built Form and Landscape section (f) for fence requirements; and
- A Management Plan shall be submitted that details the operation of building services and any tenancy agreements.

**Environmental Performance**

For Precincts 6 to 8, single dwelling and multiple dwelling development shall be designed to minimise heating and cooling costs; improve upon energy efficiency and minimise greenhouse gas generation. Listed below are mandatory and recommended items for single dwellings and multiple dwelling development.

**Precinct 6 (Lots 52 to 59): Single dwelling**

**Mandatory Items**

The mandatory items listed must be shown as part of the design or referenced on an Environmental Performance schedule for assessment and compliance by Mirvac’s SDC.

Item	Theme	Requirement	Assessment stage
M1	<b>Solar Access</b>	A solar hot water system shall be installed to receive sufficient solar gain on a suitable and preferred north facing roof, or a secondary west facing roof. The solar hot water system (with gas booster) shall achieve a minimum of 36 Renewable Energy Certificates.  Where the preferred north or secondary west facing roof is visible from the public domain, the storage tank is to be screened from public view (a split system). As far as practicable, the solar panels shall integrate with the roof, be frameless and mounted flush with the roof. All solar collectors, tanks (where permitted) and associated mounting equipment shall be colour coordinated with the roof to minimise adverse visual impacts.	SDC Step 3 and City of Nedlands Step 4
M2		Openings shall be appropriately sized and shaded to reduce solar heat gain in summer.	
M3	<b>Energy</b>	The thermal performance of the dwelling should achieve a minimum 6 star Accurate rating, or similar under deemed- to-comply provisions of the Building Code of Australia. The thermal performance of the building envelope shall be maximised through solar access, insulation, shade devices and draught prevention.	SDC Step 5 and City of Nedlands Step 6
M4		At least one bathroom shall include an openable window to the outside.	



<b>M5</b>		Any external clothes drying area shall be concealed from public view and well ventilated to dry clothes efficiently.	SDC Step 3 and City of Nedlands Step 6
<b>M6</b>		Any mechanical heating and cooling system shall be sized to match the affected spaces. Any mechanical heating and cooling system shall be minimum 5-star rated.	SDC Step 5 and City of Nedlands Step 6
<b>M7</b>		A gas hob shall be specified.	SDC Step 5 and City of Nedlands Step 6
<b>M8</b>		Natural day light into the dwelling shall be maximised. Glazing, however, shall be minimised on the eastern and western elevations and be appropriately shaded.	SDC Step 3 and City of Nedlands Step 6
<b>M9</b>		Openings shall be located to promote cross ventilation to passively cool the dwelling and reduce reliance on mechanical cooling.	SDC Step 3 and City of Nedlands Step 6
<b>M10</b>		The dwelling's living and sleeping areas shall be capable of being closed off from each other to allow for any localised heating and cooling.	SDC Step 3 and City of Nedlands Step 6
<b>M11</b>	<b>Water</b>	Water efficient fixtures (for example taps & shower heads) shall achieve a minimum 3 star rating. Toilets shall achieve a minimum 4 star rating.	SDC Step 5 and City of Nedlands Step 6
<b>M12</b>		A rainwater tank of 2500 litres minimum capacity shall be installed to use stormwater, such as from the roof. The tank shall be designed as an integral feature of the dwelling and screened from public view or buried. The tank shall be plumbed for irrigation or toilet use or both.	SDC Step 3 and City of Nedlands Step 6
<b>M13</b>		The required disposal of stormwater on-site shall be made using means such as soakwells, soft paving, segmented and permeable pavers and decking.	SDC Step 5 and City of Nedlands Step 6
<b>M14</b>		Programmable irrigation controllers and tap timers with waterwise irrigation (sub-surface drip irrigation trickle irrigation, drippers, and coarse drop sprays) shall be installed in garden areas.	SDC Step 5 and City of Nedlands Step 6
<b>M15</b>	<b>Materials</b>	Agricultural forestry timbers shall be specified throughout.	SDC Step 5 and City of Nedlands Step 6
<b>M16</b>	<b>Recycling</b>	Suitable provision shall be made internally for waste and recycling - i.e. two bins provided within kitchen cabinetry for recyclables and non-recyclables.	SDC Step 5 and City of Nedlands Step 6
<b>M17</b>	<b>Noise</b>	All mechanical equipment shall be designed and installed to operate at maximum capacity within the Noise requirements of the <i>Environmental Protection (Noise) Regulations 1997</i> .	City of Nedlands investigates any possible noise issue after installation of equipment and upon notification to Council



## Recommended Items

At least one main living area (for example a lounge, dining or kitchen) and at least one major opening should be located to face north to receive solar heat gain in winter. This space should receive direct sun at 12 noon on 21 June.

The dwelling should incorporate principles of Universal Design. Key practical initiatives for a 'robust' dwelling design are:

- At least one level entry accessible from the street:
- Living areas and at least one bedroom and bathroom accessible by a wheelchair user
- Circulation spaces suitable for a wheelchair user
- Fixtures and fittings (such as light switches and power outlets) within reach of a wheelchair user
- Future adaptation possibilities for a dwelling for 'ageing in place'.

## Precinct 7 (Lot 60): Multiple dwellings

### Mandatory items

Item	Theme	Requirement	Assessment stage
M1	<b>Solar Access</b>	Access of summer sun into openings and outdoor living areas shall be controllable (eg. through the use of full height and moveable screens).	SDC Step 3 and City of Nedlands Step 4
M2	<b>Energy</b>	The overall building and each dwelling at the top floor shall achieve at least 3.5 star NatHers rating.	City of Nedlands Step 6
M3		A suitably sized solar boosted gas centralised hot water system shall be installed.	SDC Step 5 and City of Nedlands Step 6
M4		Motion sensors shall be installed for lighting in basement car parks and other locations as appropriate.	SDC Step 5 and City of Nedlands Step 6
M5		Photovoltaic cells shall be installed to light publicly accessible areas.	SDC Step 5 and City of Nedlands Step 6
M6		Where supplied, minimum 3-star rated energy efficient appliances shall be installed	SDC Step 5 and City of Nedlands Step 6
M7		Draught seals or weather stripping shall be installed on openings.	SDC Step 5 and City of Nedlands Step 6
M8		<b>Water</b>	Water efficient fixtures (for example taps and shower heads) shall achieve a minimum 3-star rated. Toilets shall be dual flush type and minimum 4-star rated.
M9	<b>Materials</b>	Agricultural forestry timbers shall be specified throughout.	SDC Step 5 and City of Nedlands Step 6



<b>M10</b>	<b>Recycling</b>	A screened, central waste collection space shall be included for bins for recyclable waste and other materials, or as required by the City of Nedlands, for the separation of waste at the source.	SDC Step 5 and City of Nedlands Step 6
<b>M11</b>		Suitable provision shall be made internally for waste and recycling - i.e. two bins provided within kitchen cabinetry for recyclables and non-recyclables.	SDC Step 5 and City of Nedlands Step 6

**Recommended Items**

- Capturing of cooling breezes (cross ventilation) to minimise use of mechanical cooling systems.
- Minimising daytime living areas and single aspect apartments with an orientation and openings to the south only to encourage use of natural heating through solar gain in winter.
- A suitably sized underground water tank shall be installed as a back up for the purpose of reticulating landscaped areas and will augment the standard irrigation system.

**Precinct 8 (Lot 61): Multiple/Grouped dwellings**

**Mandatory item**

The lot owner shall demonstrate a commitment to sustainability and, where possible, attempt a high level of efficiency in the following key objectives for the building’s performance:

- Conservation of water (for example, through the use of minimum 3-star rated water saving devices and dual flush toilets) and energy (for example, through the installation of high star rated energy efficient appliances)
- Increase of indoor environmental quality and amenity for the occupants (for example, through passive solar heat gain in winter to living areas and openable windows for cross ventilation in summer)
- Reduction, recycling and responsible management of waste (for example, through the provision of two bins provided within kitchen cabinetry for recyclables and non-recyclables)
- Careful selection of materials (for example, with consideration given to durability, ease of construction, availability and environmental impacts).

**6.0 Built Form and Landscape**

The vision for Swanbourne is to create a memorable development that reflects its unique context. The elements detailed below should create a high quality living environment incorporating design principles that will help to maintain a distinctive sense of place. Note that ‘Precincts 7 and 8 – ‘multiple dwellings’ have additional built form requirements that are separately listed in the previous section on Site Planning.



## **7.0 Architectural character and integrity**

- 7.1 The building character for Swanbourne shall be distinctly contemporary and designed and constructed with architectural integrity that is of a high quality. Designs for dwellings shall reflect modern lifestyles, a neighbourly co-existence, and 'robustness' to allow for possible future changes.
- 7.2 Here, contemporary architecture is defined as being bold, 'edgy' and original; the clarity of appearance shall be emphasised by highly sophisticated construction detailing. The images shown below are local examples of contemporary architecture. While the examples may not wholly comply with these Design Guidelines, they do represent the architectural qualities and character required at the Swanbourne development.
- 7.3 The strong identity for Swanbourne shall also relate to the objectives of the development, context and site conditions, the dwelling type and modern lifestyles, and be environmentally responsive.
- 7.4 The copying and direct application of imported or historical architectural colours and styles, such as Mediterranean and Federation, is inappropriate and not permitted.
- 7.5 Design integrity and the quality of detailing are imperative, therefore excessive ornamentation, mouldings/contrast banding, finials, classical style columns/scrolls and stick-on elements will not be permitted.
- 7.6 Contextual aspects to be taken into consideration in the design include:
- parks and streetscape
  - surrounding existing development and land use
  - topography
  - microclimate
  - views and vistas (subject to conditions – refer to section on Site Planning)
  - orientation and ability to provide "eyes on the street" for passive surveillance of the public realm
  - access by pedestrians and vehicles.

## **8.0 Elevations**

- 8.1 The design of a dwelling shall achieve architectural excellence and respond in an appropriate or neighbourly manner as required to the public realm. Except as noted in the Site Planning section, generally, elevations visible from the primary and secondary streets and Public Open Spaces shall include major openings and features related to habitable rooms and their associated activity, with the more private spaces and functions located elsewhere.
- 8.2 A dwelling's major public elevation shall address the primary street.
- 8.3 The elevations of a dwelling on a corner Lot shall address the primary and secondary streets, or Public Open Space with openings and a consistent level of design quality.



- 8.4 The elevation facing the rear shall match the quality of design of the dwelling's major public elevations so as not to lower the amenity of neighbouring Lots.
- 8.5 Any wall built up to the boundary that is visible and faces a neighbouring Lot shall be built to the same quality of finish as the primary elevation.
- 8.6 Elevations shall provide interest and expression of a contemporary architectural identity and integrity through careful articulation and fine detailing, and inclusion of feature elements such as balconies, porches, openings, shade devices and clearly defined and sheltered entrances.
- 8.7 Large areas and long lengths (typically no more than 9m) of unarticulated, monotone or blank wall visible from the public street are not permitted.
- 8.8 Clear glass or clear solar control glass shall be in openings facing the primary and any secondary street. Curved, dark tinted and reflective glass shall not be visible from these streets.
- 8.9 The garage shall be limited to one opening at 6m maximum width, or a double garage may include two openings with a central pier. A carport or parking garage parallel to the street is not permitted.
- 8.10 The garage door facing the street shall be a non-patterned segmented panel type door in a muted colour.

## **9.0 Roofscape**

- 9.1 Careful consideration shall be given to achieving an integrated roof, eaves detail, and dwelling elevation (refer roof diagram below).
- 9.2 A principal duo-pitched roof shall have a minimum pitch of 26.5 degrees. Other minor roofs incorporated as part of the dwelling design may have a shallower pitch. Any gables shall include overhangs of at least 300mm.
- 9.3 A principal roof, other than a flat roof and a roof built up to the boundary, shall have overhanging eaves of 400mm minimum width.
- 9.4 A skillion roof pitch shall be 5 degrees minimum.
- 9.5 A flat roof shall include a fascia edge detail or be screened behind a parapet wall.
- 9.6 A lighter roof colour shall be selected to help reduce heat absorption (i.e. black, charcoal and dark colours, such as Colorbond Ironstone, are not permitted).
- 9.7 A pronounced roof tile pattern will be considered on aesthetic and functional merits.

## **10.0 Materials and colours**

- 10.1 The materials and colours of a dwelling shall convey a contemporary aesthetic. Architectural richness is encouraged through the bold use of a variety of high quality materials and colours, such as:



- rendered masonry
- feature stone and limestone
- small areas of feature face brickwork
- recycled, plantation or sustainable harvested timber
- metal elements and details.

The use of alternative materials will be considered on aesthetic and functional merits.

### **11.0 Outdoor living area**

- 11.1 The size, orientation and location of the principal outdoor living area shall relate to at least one living area within the dwelling (other than a bedroom) by being accessible and visible from the interior.
- 11.2 The outdoor living area should be located on the Lot to receive winter sunlight.
- 11.3 Consideration should be given to access for daylight, air circulation and privacy. One useable outdoor area is preferred as opposed to many smaller areas unsuitable for outdoor activities.

### **12.0 Fences and letterbox**

#### **Precinct 6 (Lots 52 to 59)**

- 12.1 Any front fence facing the primary street including any corner truncation, and 4m minimum along any secondary street shall be 0.9m maximum height, or in accordance with BCA safety requirements where applicable, (excluding any retaining wall on which the fence is constructed). The fence shall be constructed in materials, colours and style to match and complement the dwelling.
- 12.2 Any fence in front of the dwelling and dividing Lots shall be 0.9m maximum height or in accordance with BCA safety requirements where applicable (excluding any retaining wall on which the fence is constructed). The fence shall be constructed in materials, colours and style to match and complement the dwelling.
- 12.3 The fence behind the front setback and dividing Lots shall be at a nominal height of 1.8m maximum (excluding any retaining wall on which the fence is constructed). The fence shall be constructed in materials, colours and style to match and complement the dwelling.
- 12.4 Fibrous cement (i.e. Supersix), corrugated metal sheeting (i.e. Colorbond), and timber pinelap fences are not permitted in this development.

#### **Letterbox:**

The letterbox shall be incorporated into the design of any front fence or, if freestanding, constructed in materials and colours to match and complement the dwelling. Australia Post's delivery requirements should be met.

#### **Precincts 7 (Lot 60) and 8 (Lot 61)**

- 12.5 Any fence facing the street reserve shall be maximum 1.8m height (excluding any retaining wall on which the fence is constructed). The fence shall match the



design and quality of the existing solid and visually permeable Estate fence installed by Mirvac where it faces the Public Open Space.

- 12.6 The specification for the Mirvac fence, and a list of suggested suppliers and installers is available from Mirvac. The proposed fence design shall be submitted to Mirvac for consideration and approval prior to construction.

### 13.0 Existing and any Proposed Retaining Wall

- 13.1 The dimensions and positions of all proposed retaining walls that are visible from public areas shall be provided to Mirvac as part of the building endorsement process, and to the City of Nedlands with the application for a Development Approval.
- 13.2 Any new retaining walls shall be constructed in the same materials and colours as the existing retaining walls built by Mirvac; alternative designs may be considered for approval. Copies of the engineering criteria for the existing retaining walls can be obtained from Mirvac or the City of Nedlands. No existing retaining wall or fence installed by Mirvac shall be altered without first applying for and obtaining written approval from Mirvac.

### 14.0 Landscape

- 14.1 Careful consideration shall be given to the design of the open space on the Lot and the useable outdoor living area - whether a mostly paved courtyard, elevated timber deck or larger garden with some lawn area. The landscape design should minimise water use and include appropriate structures or planting that assist with providing shade in summer and solar access in winter.
- 14.2 Where verges are reticulated prior to purchase, they are to be maintained by the adjoining lot owner. On lots where the verge is not reticulated prior to purchase, the adjoining lot owner shall provide reticulation to the verge as part of the landscaping work and continue to maintain the verge area. The following is a list of recommended water wise plant species:

Tree selection			
Botanical name	Common name	Mature ht (m)	Form
<i>Acacia rostellifera</i>	Summer-scented Wattle	5	shrub/tree
<i>Agonis flexuosa</i>	Peppermint	to 10	tree
<i>Allocasuarina fraseriana</i>	WA Sheoak	5 to 15	tree
<i>Arbutus unedo</i>	Irish Strawberry Tree	5 to 6	tree or shrub
<i>Banksia attenuata</i>	Slender Banksia	to 10	tree or shrub
<i>Callitris preissii</i>	Rottneest Island Cypress	to 10	tree or shrub
<i>Citrus sp.</i>	Lemon/ Orange Trees	5 to 6	tree
<i>Dracaena draco</i>	Dragon's-blood Tree	6 to 10	tree
<i>Eucalyptus caesia</i>	Silver Princess	5 to 10	tree
<i>Eucalyptus erythrocorys</i>	Illyarrie	6 to 8	tree
<i>Eucalyptus ficifolia</i>	Red Flowering Gum	to 15	tree
<i>Eucalyptus macrocarpa</i>	Mottlecrah	4 to 5	tree
<i>Eucalyptus torquata</i>	Coral Gum	6 to 10	tree
<i>Eucalyptus utilis</i> (syn. <i>platypus</i> )	Coastal Moort	5 to 10	tree
<i>Hakea laurina</i>	Pincushion Hakea	2 to 6	tree



<i>Laurus nobilis</i>	Bay Tree	10 to 15	tree
<i>Melaleuca lanceolata</i>	Rottnest Tea Tree	5	tree
<i>Melaleuca nesophila</i>	Showey Honey Myrtle	4 to 5	tree
<i>Metrosideros excelsa</i>	New Zealand Christmas tree	5 to 7	tree
<i>Olea europea</i>	Olive	4 to 5	tree
<i>Pittosporum phylliraeoides</i>	Native Willow	4	tree

Shrub selection			
Botanical name	Common name	Mature ht (m)	Form
<i>Adenanthos sericeus</i>	Coastal Woolly Bush	3	shrub
<i>Anigizanthos sp.</i>	Kangaroo Paws	0.5 to 2	shrub
<i>Agonis flexuosa 'nana'</i>	Dwarf Peppermint	0.5 to 2	shrub
<i>Calothamnus quadrifidus</i>	One-sided Bottlebrush	3	shrub
<i>Coprosma repens</i>	Mirror Bush	2 to 4	tree or shrub
<i>Cordyline australis</i>	Cabbage Tree	1 to 4	tree or shrub
<i>Diplolaena dampieri</i>	Southern Diplolaena	2	shrub
<i>Diplopeltis huegelii var huegelii</i>		0.5 to 1	shrub
<i>Eremophila glabra</i>	Tar Bush	1.5	shrub
<i>Exocarpus sparteus</i>	Broom Ballart	3	shrub
<i>Frankenia pauciflora</i>	Seaheath	0.5	shrub
<i>Gahnia trifida</i>	Coast Saw-sedge	1.5	shrub
<i>Grevillea crithmifolia</i>		1.5	shrub
<i>Grevillea olivacea</i>	Olive grevillea	1.5	shrub
<i>Grevillea preissii</i>	Marriott	0.5	shrub
<i>Gyrostemon ramulosus</i>	Corkybark	0.5–5	tree or shrub
<i>Hibbertia subvaginata</i>		1	shrub
<i>Hibbertia spicata subsp leptotheca</i>		0.5	shrub
<i>Lavatera plebia</i>	Australian Hollyhock	2	shrub
<i>Lechenaultia linarioides</i>	Yellow Leschenaultia	0.5	shrub
<i>Leucopogon parviflorus</i>	Coast Beard Heath	2.5	shrub
<i>Lomandra longifolia</i>	Spiny headed mat rush	0.5-1	shrub
<i>Lomandra 'Tanika'</i>		0.5-1	shrub
<i>Macropidia fuliginosa</i>	Black paw	1.5	shrub
<i>Melaleuca cardiophylla</i>	Tangling Melaleuca	0.5 – 2	shrub
<i>Melaleuca huegelii</i>		3	shrub
<i>Melaleuca systema</i>		0.5 – 2	shrub
<i>Myoporum insulare</i>	Blueberry Tree	0.2 – 5	shrub
<i>Phormium tenax</i>	Flax	1 to 2	shrub
<i>Phyllanthus calycinus</i>	False Boronia	0.5	shrub
<i>Pimelea calcicola</i>		0.5 – 1	shrub
<i>Pimelea rosea</i>	Magenta Mist'	1	shrub
<i>Scaevola crassifolia</i>	Thick-leaved Fan-flower	0.1 – 1.5	shrub
<i>Spyridium globulosum</i>	Basket Bush	0.5 – 5	shrub
<i>Templetonia retusa</i>	Cockies Toungue	0.3 -4	shrub
<i>Westringia 'Jervis Gem'</i>		1	shrub
<i>Westringia fruticosa</i>	Coastal Rosemary	1	shrub
<i>Westringia dampieri</i>		1	shrub
<i>Xanthorrhoea preissii</i>	Grass Tree	4 to 6	tree or shrub
<i>Yucca elephantipes</i>	Soft-tipped Yucca	3	tree or shrub



Ground Cover Selection			
Botanical name	Common name	Mature ht (m)	Form
<i>Adenanthos cuneatus</i> 'Coral Carpet'		0.3	groundcover
<i>Brachyscome iberidifolia</i>	Swan River Daisy	0.4	groundcover
<i>Carpobrotus virescens</i>	Pigface	0.3	groundcover
<i>Clematis microphylla</i>	Old Mans Beard	0.5	groundcover
<i>Conostylis candicans</i>	Grey Cottonhead	0.5	groundcover
<i>Dianella</i> 'Little Rev'		0.5	groundcover
<i>Eremophila glabra</i> 'Kalbarri Carpet'		0.5 to 1	groundcover
<i>Ficinia nodosa</i> (syn. <i>Isolepis nodosa</i> )	Knotted club rush	0.5	groundcover
<i>Gazania</i> 'Buccaneer'		0.3	groundcover
<i>Grevillea crithmifolia</i>		1.5	groundcover
<i>Hardenbergia comptoniana</i>	Native Wisteria	0.3	climber
<i>Hemiandra pungens</i>	Snakebush	0.5	groundcover
<i>Juniperus conferta</i>	Shore Juniper	0.5	groundcover
<i>Kennedia prostrata</i>	Running postman	0.2	groundcover
<i>Lepidosperma gladiatum</i>	Coast Sword Sedge	0.5 - 1.5	groundcover
<i>Leucophyta brownii</i> 'Canal Rocks'		0.5 to 1	groundcover
<i>Lomandra maritima</i>	Matrush	0.5	groundcover
<i>Orthrosanthus laxus</i>	Morning Iris	0.5	groundcover
<i>Patersonia occidentalis</i>		0.5	groundcover
<i>Scaevola anchusifolia</i>	Silky Scaevola	0.5	groundcover
<i>Scaevola crassifolia</i>	Thick-leaved Fan-flower	0.5 to 1.5	groundcover
<i>Schoenia filifolia</i> ssp. <i>subulifolia</i>	Showy Everlasting	0.4	groundcover
<i>Sollya heterophylla</i>	Blue-bell creeper	0.3	creeper
<i>Verticordia chrysantha</i>		0.6	groundcover
<i>Viola hederacea</i>	Native Violet	0.2	groundcover

Prepared by Blackwell &amp; Associates

## 15.0 Driveways

15.1 Driveway finishes shall complement the materials and colours of the building and landscape design and be segmented to allow surface water to permeate. Approved finishes are:

- Masonry or clay paving
- Precast pavers

Alternative finishes are subject to Mirvac's consideration and approval.

15.2 Existing paths constructed by Mirvac shall not be altered in any way. Any damage caused to existing paths shall be repaired at the expense of the lot owner to match the existing colour and material. Design specifications are available from Mirvac.

## 16.0 Services

16.1 The following points outline the final details for consideration in the dwelling design. These elements include pipes, TV antennae, wiring, air conditioners, drainage systems and storage areas.



16.2 These Design Guidelines establish the best way to locate items that are essential for everyday living, but may not contribute to an appealing environment. To create an attractive development we have outlined ways in which such items can be concealed or positioned in a non-intrusive way. Unless otherwise stated in the Site Planning section:

**a) Services**

- All pipes, wired services, clothes drying areas, hot water storage tanks and such items shall be concealed on the Lot, and shall not be seen from anywhere in the public realm.
- Meter boxes shall be located in the least obtrusive location from public view.
- TV antennae, satellite dishes and radio masts shall not be seen from the primary or secondary streets. These items shall be located where they are in the least obtrusive location from the neighbour's property (for example, located at the rear of the roof and below the roof ridge level away from the neighbour's outdoor living area).
- Roof and wall mounted air conditioning units are not permitted unless fully concealed.
- Refer to the section on Environmental Performance for mandatory requirements and recommendations on passive solar and energy efficiency measures.

**b) Stormwater**

- Stormwater shall be collected within the Lot.

**c) Waste and recycling**

- Waste bin/s shall be stored and concealed from public view on the Lot.
- Provision shall be made for the appropriate number of bin pads (in accordance with City of Nedlands' standard waste and recycling system requirements).

**d) Storage**

- Commercial vehicles, including caravans, boats, trailers etc. shall not be parked or stored on the Lot unless enclosed within a garage or fully screened from public view.

**APPENDIX 1: PRECINCT PLAN AND DETAILED AREA PLANS**

(i) Precinct Plan

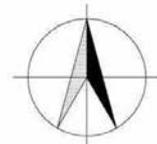


**Design Guidelines A**

- Precinct 1 : Lots 1 - 7
- Precinct 2 : Lots 8 - 12
- Precinct 3 : Lots 13 - 40
- Precinct 4 : Lots 41 - 47
- Precinct 5 : Lots 48 - 51
- Precinct 9 : Lots 62 - 64

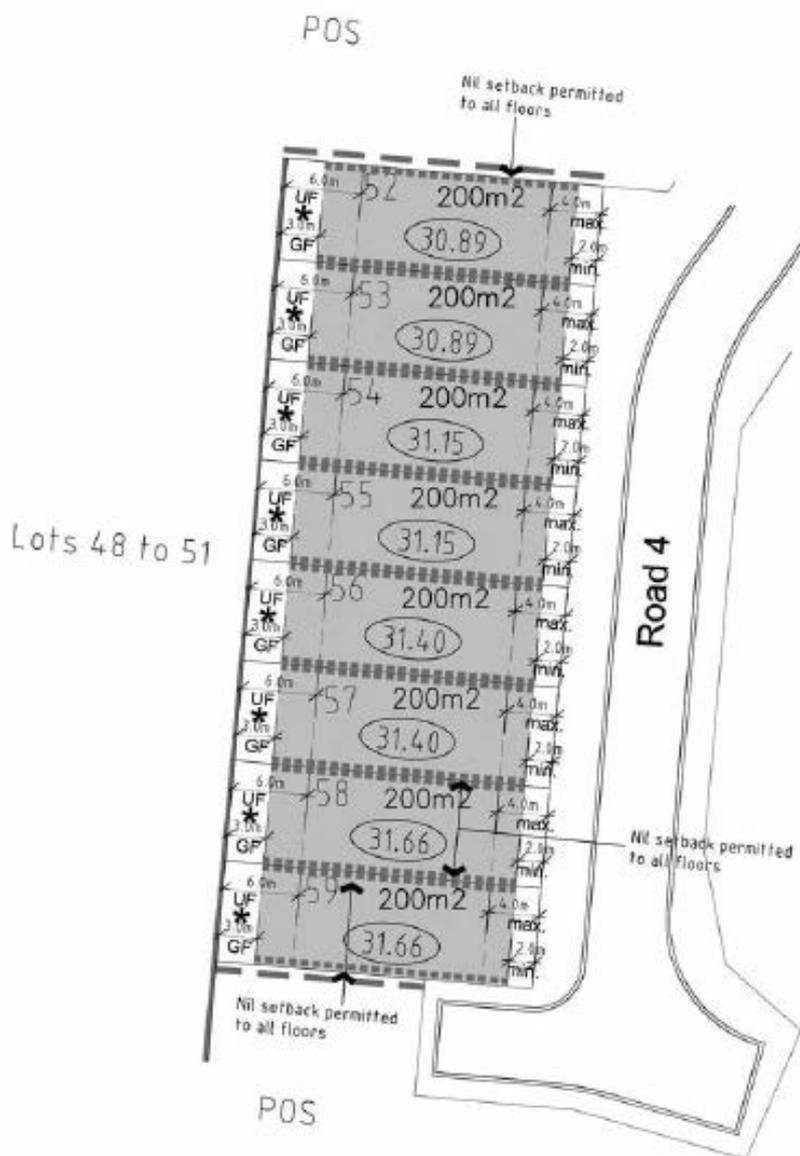
**Design Guidelines B**

- Precinct 6 : Lots 52 - 59
- Precinct 7 : Lot 60
- Precinct 8 : Lot 61



Not to scale

Sheet 1: Precinct 6, Lots 52 to 59



Legend (P6):

- ★ location of outdoor living area
- development area
- no access permitted
- nominated nil lot line location  
NB. 12m height maximum
- pad level at completion of subdivision
- 351m<sup>2</sup> lot area

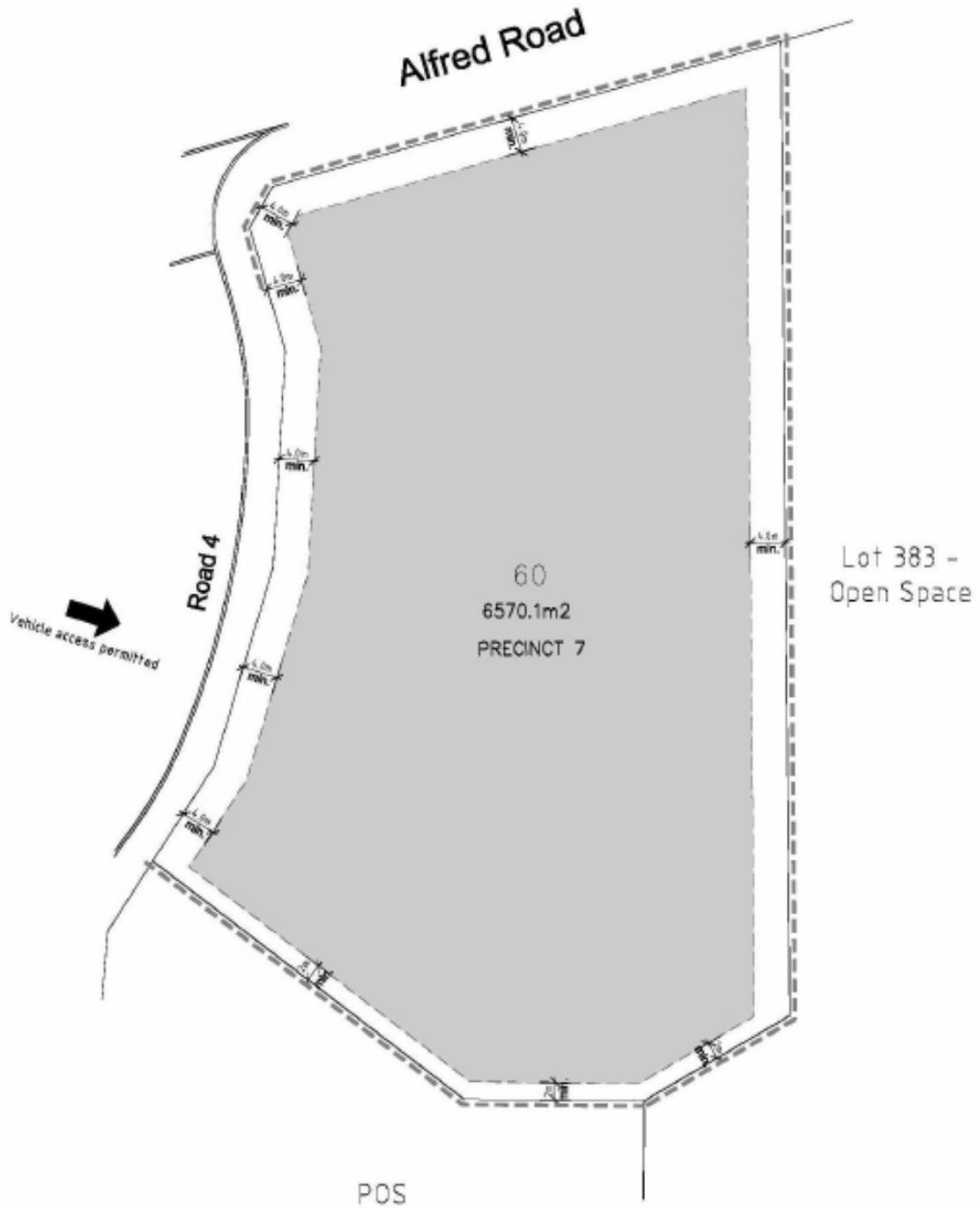


Not to scale

Legend CP7:

- development area

--- pedestrian access only 351m<sup>2</sup> lot area



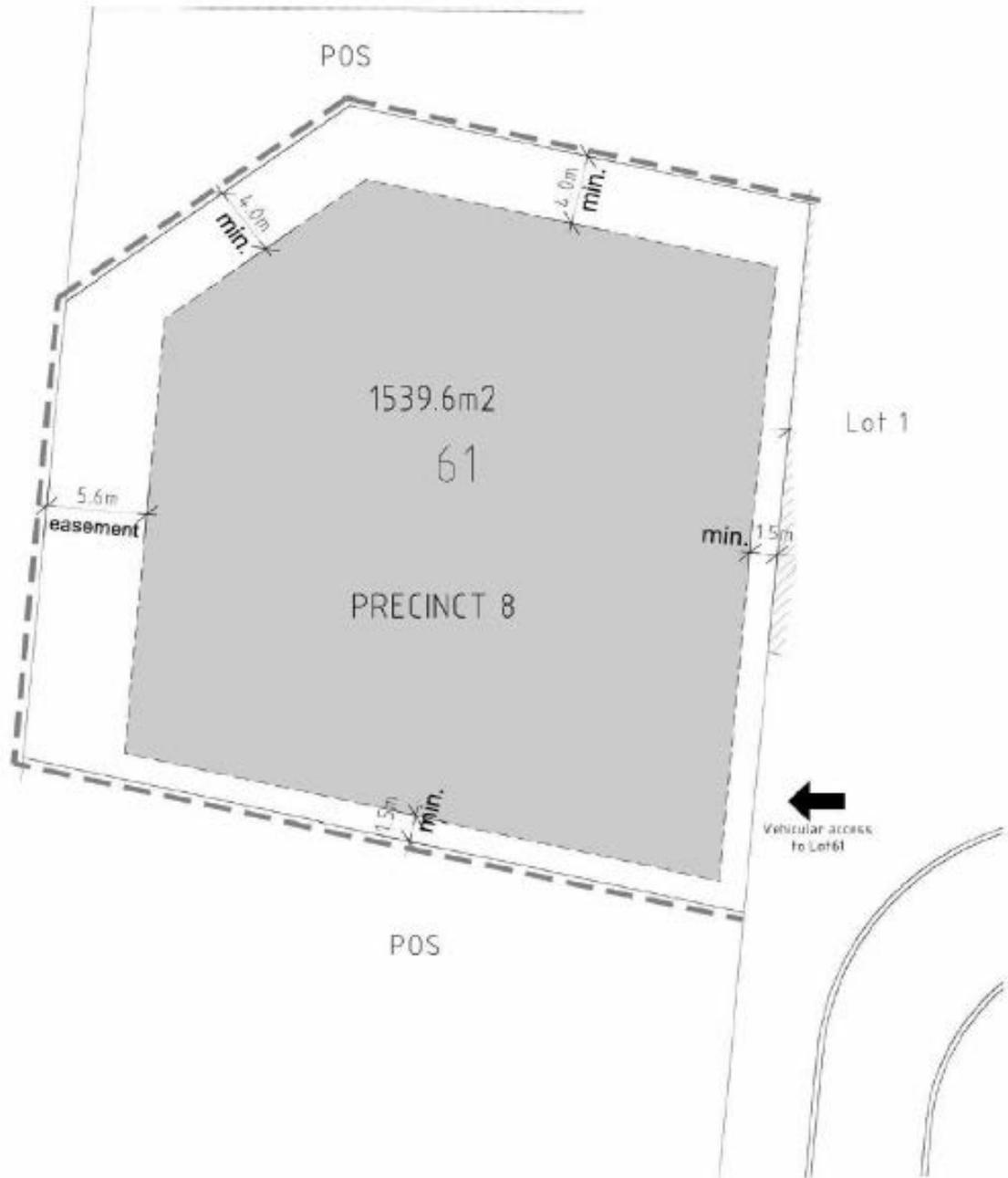
**Legend (P7):**

-  development area
-  pedestrian access only
-  35m<sup>2</sup> lot area



Not to scale

Sheet 3: Precinct 8, Lot 61



Legend (P8):

-  development area
-  pedestrian access only
-  lot area



Not to scale