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**1 APPLICATION OF POLICY**

- 1.1** This Policy applies to the properties in Precincts 1 – 9 of the Swanbourne area as identified in Figure 1 of this Policy.
- 1.2** This Policy applies to all development applications for single house, grouped dwelling and multiple dwelling developments in the identified area.

2 PURPOSE OF POLICY

- 2.1** To provide site planning, environmental performance, built form and landscape requirements that respond to the context of the area.
- 2.2** To prescribe comprehensive building design guidelines that promote appropriate design solutions for development at Swanbourne and enhance the design quality of proposed dwellings.

3 OBJECTIVES OF POLICY

- 3.1** To ensure development exists in harmony with the environment of the local precinct and the surrounding area.
- 3.2** To provide for development that has regard for the amenity of adjacent Lots and surrounding public areas.
- 3.3** To encourage a strong sense of architectural character that is distinctly contemporary and designed with integrity, reflecting different dwelling types and the characteristics of modern lifestyles.
- 3.4** To provide guidance for residential development that is responsive to the site and context, incorporates passive solar design, achieves thermal comfort and ventilation, is energy efficient, and promotes sustainable water management practices.
- 3.5** To encourage opportunities for passive surveillance of the public realm whilst respecting individual privacy.

4 RELATIONSHIP TO OTHER POLICIES AND GUIDELINES

- 4.1** This Policy has been prepared in accordance with Schedule 2 Part 2 Clause 4 of the *Planning and Development (Local Planning Schemes) Regulations 2015*.
- 4.2** In accordance with Schedule 2, Clause 57 of the Planning and Development (Local Planning Schemes) Regulations 2015 the Swanbourne Detailed Area Plan A and B (herein known as a Local Development Plan) will expire and be rescinded on 19 October 2025. This Local Planning Policy shall remain in effect.
- 4.3** This Policy should be read in conjunction with the following planning instruments and its requirements apply unless specifically stipulated elsewhere in any of the below:
- *State Planning Policy 7.3 – Residential Design Codes Volume 1*
 - *State Planning Policy 7.3 – Residential Design Codes Volume 2 – Apartments*
 - *State Planning Policy 7.2 – Precinct Design*
 - *City of Nedlands Local Planning Scheme No. 3*
 - *City of Nedlands Local Planning Policy – Residential Development*
- 4.4** In determining any application for planning approval, the Council will utilise these Guidelines and the DAPs as the primary assessment criteria to be exercised in conjunction with the Scheme, Policies and R-Codes.
- 4.5** Where these Design Guidelines are silent, the Scheme and R-Codes apply.



5 CONTEXT

5.1 PRECINCT MAP

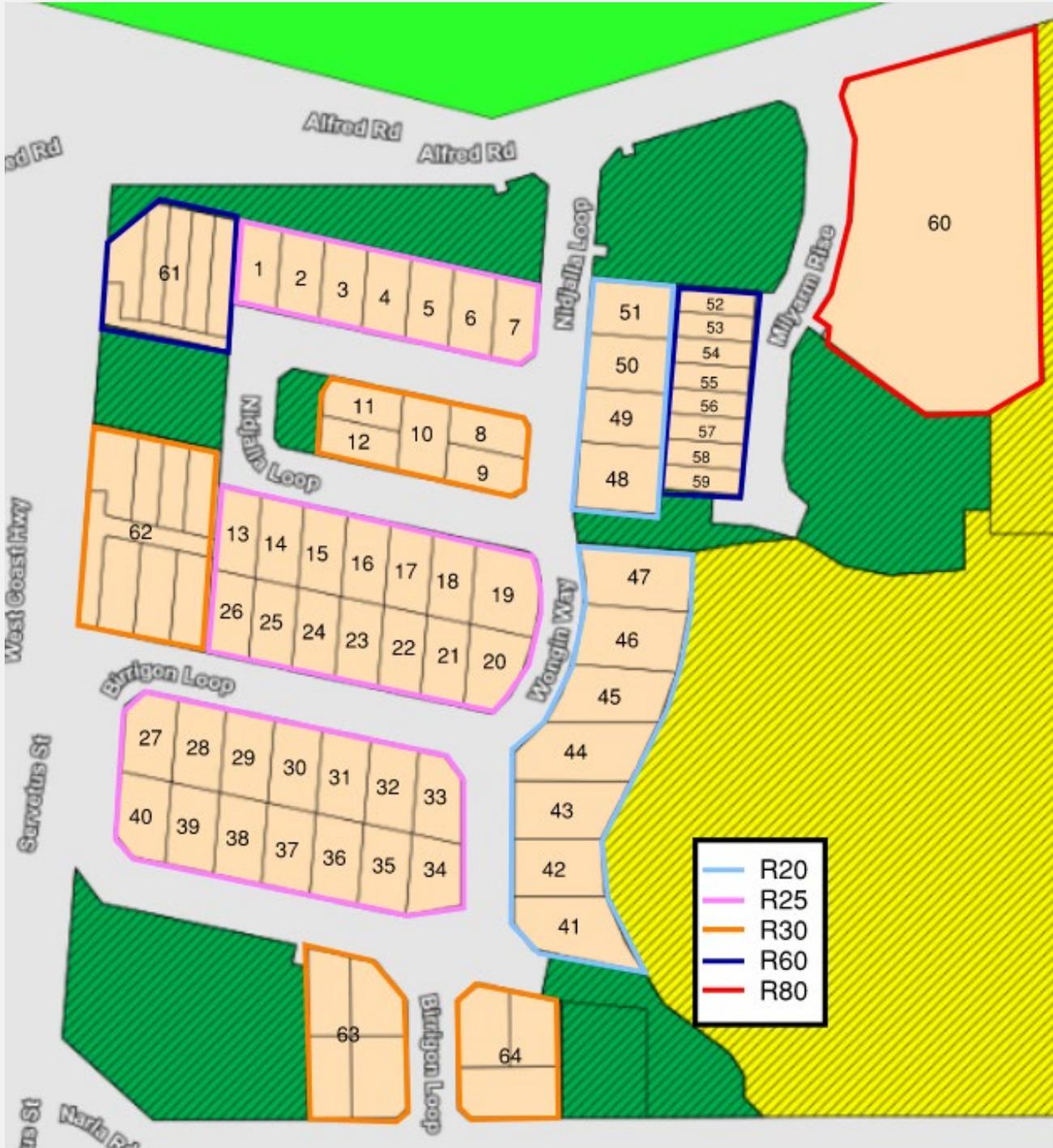


Figure 1 – Precinct Map



6 POLICY MEASURES

6.1 Building Endorsement and Statutory Planning Approval Process

A Lot owner shall obtain building endorsement from Mirvac's Swanbourne Design Committee for new dwellings before a formal development application for planning approval and building license application is lodged with the City of Nedlands.

Local Planning Scheme No. 3 may require that Planning Approval be obtained from the City of Nedlands. All Local Government, Building and Health By-Laws remain in force and Licenses (Building and Health) must be obtained, as necessary from the City of Nedlands

- 6.1.1** The Lot owner shall first obtain endorsement for the building from Mirvac's Swanbourne Design Committee (SDC) for all sketch design drawings and detailed design information prior to a development application for planning approval to the City of Nedlands. The SDC will guide the development of every dwelling within the contract of sale conditions.
- 6.1.2** An SDC member will invite the Lot owner or their appointed Architect/Designer to a briefing on the intent of the Design Guidelines and to discuss any initial design concept. An SDC member will be available to answer telephone queries throughout the process.
- 6.1.3** The SDC's endorsement of a building design shall not imply or guarantee a planning approval by the City of Nedlands. The City of Nedlands will be asked to consider the SDC's endorsement of a building design as supporting advice included in the statutory planning process. The flow chart below explains the steps in the building endorsement process prior to a development application for planning approval and building license application to Council:

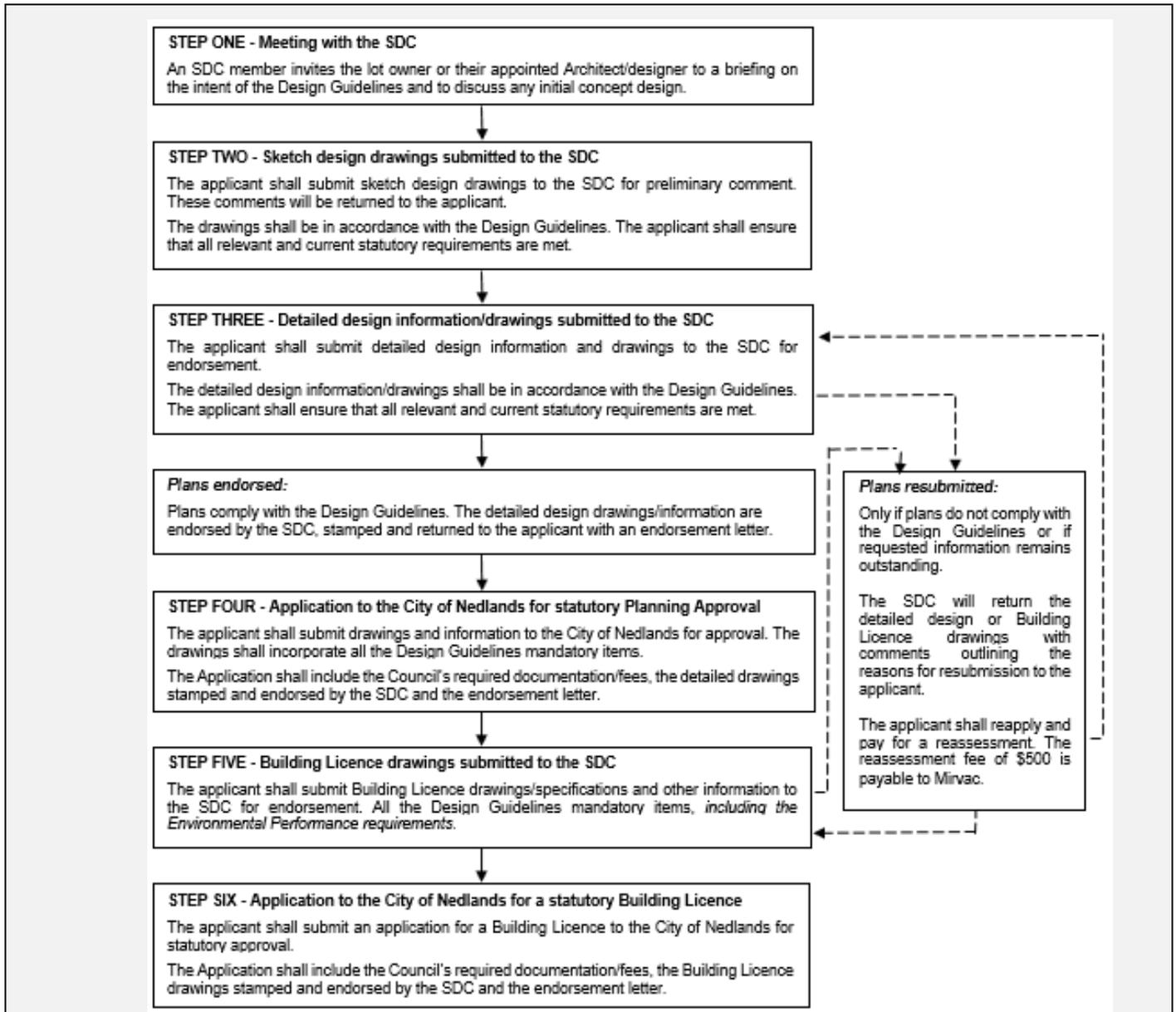


Figure 2: Building Endorsement and Statutory Planning Approval Process Flowchart

6.2 Variations

- 6.2.1 The Council may approve an application involving departures from the specific criteria of the Guidelines, if in its opinion, the application satisfies the objectives of the Guidelines.
- 6.2.2 The Council may refuse Planning Approval for a development not considered to be in keeping with the objectives of the Guidelines.
- 6.2.3 Applicants seeking variations to this Policy are required to submit a detailed written statement addressing each of the objectives of this Policy for the City's assessment.

7 SITE MANAGEMENT AND CONSTRUCTION

- 7.1 The Lot shall be kept clear of excess weeds and rubbish and maintained to an acceptable standard.
- 7.2 During construction, the Lot owner shall ensure that their builder is responsible for the secure



storage of materials and waste on the Lot, and regular removal of any construction waste generated from the Lot.

7.3 No building materials, rubbish or other matter should be deposited in the public reserves, in particular the washing of waste from construction vehicles. The verge, footpath and neighbouring property should be kept clear at all times. Any damage to areas outside the Lot shall be rectified upon notification.

7.4 Given the compact nature of some of the Lots and the allowance for building up to the side boundary on specific Lots, an adjoining neighbour should provide reasonable access to their property where possible to facilitate development.

8 SITE PLANNING

This section outlines the site planning requirements for development on the Lots within Precincts 1 - 9. Where these Design Guidelines are silent, the relevant provisions in the Local Planning Scheme and R-Codes come into effect.

8.1 PRECINCT 1: Lots 1 to 7 (R25 Single Dwelling)

Lots 1 to 7 are hillside Lots that slope downwards to the street

Objectives	<p>The design for the dwelling on the Lot shall ensure:</p> <ul style="list-style-type: none"> a) a detached built form that is in a landscaped setting (including the setbacks of both side boundaries) b) a contemporary architectural built form where the elevations on all sides are consistent in design quality, composition and detailing c) a built form that follows the contours of the land d) a response to the surrounding context of Public Open Space and streetscapes e) the use of lightweight materials to facilitate ease of construction on a sloping Lot. f) the mandatory outdoor living area shall interface with the Public Open Space and receive winter sunlight.
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Detailed Area Plan <i>The Detailed Area Plan denotes site particular planning requirements; refer to Appendix 1 – Precincts 1 and 2.</i>	Front setback	<ul style="list-style-type: none"> • Minimum 4m • Maximum 6m
	Side setback	<ul style="list-style-type: none"> • <u>All storeys</u>: Minimum 1m • <u>Any upper storey with major openings</u>: As per R-Codes boundary setbacks • Boundary walls or variations to the 1m minimum are not permitted.
	Secondary street setback	<ul style="list-style-type: none"> • Minimum 1.5m
	Rear setback	<ul style="list-style-type: none"> • <u>All storeys</u>: Minimum 4m • A non weather-proof light weight structure is permitted within the rear setback.
	Minor horizontal incursions into the front and rear setback	<ul style="list-style-type: none"> • The maximum depth of intrusion that is permitted is 1m, for a maximum of 50% of the elevation. (Minor incursions include projections such as a balcony with no enclosed space underneath, porch, verandah, blade wall or chimney).
	Garage setback and design	<ul style="list-style-type: none"> • <u>Setback</u>: Minimum 4.5m • <u>Located</u>: Minimum 0.5m behind the dwelling's elevation. (A verandah, porch or balcony are included as elements on the "elevation". Any element of the elevation that serves to reduce the visual impact of the garage on the street is deemed to be the dwellings elevation). • The enclosed garage shall accommodate a maximum of two car spaces and be integrated into the design of the dwelling. • Carports are not permitted.



		<ul style="list-style-type: none"> Garages with car spaces parallel to the street are not permitted. Lots 1 and 7: Garage locations are mandatory (see Appendix 1)
	Privacy	<ul style="list-style-type: none"> Overlooking from any balcony or opening at the upper storey into the 4m rear garden of adjoining properties is acceptable. A balcony or opening at the upper storey that is set further southwards into the lot shall be required to comply with R-Codes privacy provisions.
	Maximum site cover	<ul style="list-style-type: none"> 55%
	Other	<ul style="list-style-type: none"> Rear boundary fence shall not be altered. No excavation is permitted by the lot owner within 1m minimum of the rear fence. Habitable loft spaces and windows in the roof are not permitted. The nominated “ground level” for measurement of building and wall heights shall coincide with the “natural ground level” created as part of subdivisional works. Changing lot levels from those provided by more than 50mm will not be permitted. The finished floor level of the ground floor slab shall not be more than 300mm above the as-constructed level provided by the Developer.

8.2 PRECINCT 2: Lots 8 to 12 (R30 Single Dwelling)

Lots 8 to 12 are compact Lots

Objectives	<p>The design for the dwelling on the Lot shall ensure:</p> <ol style="list-style-type: none"> a contemporary architectural built form where the elevations on all sides are consistent in design quality, composition and detailing. a response to the surrounding context of Public Open Space (for Lots 11 and 12); and streetscapes in general. A primary garden area that receives winter sunlight. 	
<p>Detailed Area Plan <i>The Detailed Area Plan denotes site particular planning requirements; refer to Appendix 1 – Precincts 1 and 2.</i></p>	General for Lots 8 to 12	
	Minor horizontal incursions into the front setback	<ul style="list-style-type: none"> The maximum depth of intrusion that is permitted is 1m, for a maximum of 50% of the elevation. (Minor incursions include projections such as a balcony with no enclosed space underneath, porch, verandah, blade wall or chimney).
	Maximum site cover	<ul style="list-style-type: none"> 60%
	Garage setback and design requirements	<ul style="list-style-type: none"> Setback: Minimum 4.5m Located: Minimum 0.5m behind the dwelling’s elevation. (A verandah, porch or balcony are included as elements on the “elevation”. Any element of the elevation that serves to reduce the visual impact of the garage on the street is deemed to be the dwellings elevation). The enclosed garage shall accommodate a maximum of two car spaces and be integrated into the design of the dwelling. Carports are not permitted Garages with car spaces parallel to the street are not permitted. Garage locations are mandatory (see Appendix 1)
	Overshadowing	<ul style="list-style-type: none"> Lot 8 and 11 shall be designed so that its shadow cast at midday, 21 June onto the adjoining property’s outdoor living area (in accordance with the location shown on the DAP) does



		not exceed 50% of the adjoining outdoor living area
Other Requirements		<ul style="list-style-type: none"> Habitable loft spaces and windows in the roof are not permitted. The nominated "ground level" for measurement of building and wall heights shall coincide with the "natural ground level" created as part of subdivisional works. Changing lot levels from those provided by more than 50mm will not be permitted. The finished floor level of the ground floor slab shall not be more than 300mm above the as-constructed level provided by the Developer. Compliance with designated vehicular access points from the street, garage locations and pedestrian access from the Public Open Space is mandatory
Setbacks for Lot 8		
Front setback (east)		<ul style="list-style-type: none"> Minimum 3m Maximum 4.5m
Side setback (south)		<ul style="list-style-type: none"> <u>Ground floor:</u> At nominated nil lot line location minimum nil or 1m <u>Any upper storey:</u> Minimum 1m <u>Any upper storey with major openings:</u> As per R-Codes boundary setbacks.
Side setback (north)		<ul style="list-style-type: none"> <u>All storeys:</u> Minimum 1.5m
Rear setback (west)		<ul style="list-style-type: none"> <u>Ground floor:</u> Min 1.5m <u>Any upper storey:</u> Minimum 4m <u>Any upper storey with major openings:</u> As per R-Codes boundary setbacks. A non weather-proof light weight structure is permitted within the rear setback.
Setbacks for Lot 9		
Front setback (east)		<ul style="list-style-type: none"> Minimum 3m Maximum 4.5m
Side setback (north)		<ul style="list-style-type: none"> <u>Ground floor:</u> At nominated nil lot line location minimum nil or 1m <u>Any upper storey:</u> Minimum 1m <u>Any upper storey with major openings:</u> As per R-Codes boundary setbacks.
Side setback (south)		<ul style="list-style-type: none"> <u>All storeys:</u> Minimum 1.5m
Rear setback (west)		<ul style="list-style-type: none"> <u>All storeys:</u> Min 1.5m <u>Any upper storey with major openings:</u> As per R-Codes boundary setbacks. A non weather-proof light weight structure is permitted within the rear setback.
Setbacks for Lot 10		
Front setback (south)		<ul style="list-style-type: none"> Minimum 3m Maximum 4.5m
Side setback (west)		<ul style="list-style-type: none"> <u>Ground floor:</u> At nominated nil lot line location minimum nil or 1m <u>Any upper storey:</u> Minimum 1m <u>Any upper storey with major openings:</u> As per R-Codes boundary setbacks.



Side setback (east)	<ul style="list-style-type: none"> • <u>Ground floor</u>: Minimum 1m (except for the garage location built up to the boundary as shown on the DAP). • <u>Any upper storey</u>: Minimum 1m • <u>Any upper level with openings</u>: As per R-Codes boundary setbacks
Rear setback (north)	<ul style="list-style-type: none"> • <u>All storeys</u>: Min 1.5m
Setbacks for Lot 11	
POS setback (west)	<ul style="list-style-type: none"> • Minimum 3m • Maximum 4.5m
Side setback (south)	<ul style="list-style-type: none"> • <u>Ground floor</u>: At nominated nil lot line location minimum nil or 1m • <u>Any upper storey</u>: Minimum 1m • <u>Any upper storey with major openings</u>: As per R-Codes boundary setbacks.
Side setback (north)	<ul style="list-style-type: none"> • <u>All storeys</u>: Min 1.5m
Rear setback (east)	<ul style="list-style-type: none"> • <u>Ground floor</u>: Minimum 1.5m (except for the garage location built up to the boundary as shown on the DAP). • <u>Any upper storey</u>: Minimum 10.5m • <u>Any upper level with openings</u>: As per R-Codes boundary setbacks • A non weather-proof light weight structure is permitted within the rear setback.
Setbacks for Lot 12	
POS setback (west)	<ul style="list-style-type: none"> • Minimum 3m • Maximum 4.5m
Side setback (north)	<ul style="list-style-type: none"> • <u>Ground floor</u>: At nominated nil lot line location minimum nil or 1m • <u>Any upper storey</u>: Minimum 1m • <u>Any upper storey with major openings</u>: As per R-Codes boundary setbacks.
Side setback (south)	<ul style="list-style-type: none"> • <u>All storeys</u>: Min 1.5m
Rear setback (east)	<ul style="list-style-type: none"> • <u>Ground floor</u>: Minimum 1.5m (except for the garage location built up to the boundary as shown on the DAP). • <u>Any upper storey</u>: Minimum 1.5m • <u>Any upper level with openings</u>: As per R-Codes boundary setbacks • A non weather-proof light weight structure is permitted within the rear setback.

8.3 PRECINCT 3: Lots 12 to 40 (R25 Single Dwelling)

Lots 13 to 40 are north-south orientated lots

Objectives	<p>The design for the dwelling on the Lot shall ensure:</p> <ol style="list-style-type: none"> A detached built form that is in a landscaped setting A contemporary architectural built form where the elevations on all sides are consistent in design quality, composition and detailing A response to the surrounding context of streetscapes and Public Open Space.
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	d) A principal outdoor living area that receives winter sunlight.	
Detailed Area Plan <i>The Detailed Area Plan denotes site particular planning requirements; refer to Appendix 2 – Precinct 3.</i>	Front setback	<ul style="list-style-type: none"> Minimum 4m Maximum 6m Lot 20 & 34 only: Minimum 4m
	Rear setback	<ul style="list-style-type: none"> A non-weather proof light weight structure is permitted within the rear setback.
	Minor horizontal incursions into the front setback	<ul style="list-style-type: none"> The maximum depth of intrusion that is permitted is 1m, for a maximum of 50% of the elevation. (Minor incursions include projections such as a balcony with no enclosed space underneath, porch, verandah, blade wall or chimney).
	Side setback (west)	<ul style="list-style-type: none"> <u>Ground floor:</u> At nominated nil lot line location minimum nil or 1m <u>Any upper storey:</u> Minimum 1m <u>Any upper storey with major openings:</u> As per R-Codes boundary setbacks.
	Side setback (east)	<ul style="list-style-type: none"> <u>All storeys:</u> Min 1m <u>Any upper storey with major openings:</u> As per R-Codes boundary setbacks.
	Secondary street setback	<ul style="list-style-type: none"> <u>All storeys:</u> Min 1.5m
	Maximum site cover	<ul style="list-style-type: none"> 55%
	Private open space	<ul style="list-style-type: none"> <u>North facing Lot:</u> Courtyard shall be located at the rear eastern part of the Lot to receive winter sunlight. <u>South facing Lot:</u> Courtyard shall be located at the rear northern part of the lot to receive winter sunlight.
	Garage setback and design requirements	<ul style="list-style-type: none"> <u>Setback:</u> Minimum 4.5m <u>Located:</u> Minimum 0.5m behind the dwelling's elevation. (A verandah, porch or balcony are included as elements on the "elevation". Any element of the elevation that serves to reduce the visual impact of the garage on the street is deemed to be the dwellings elevation). The enclosed garage shall accommodate a maximum of two car spaces and be integrated into the design of the dwelling. Carpports are not permitted. Garages with car spaces parallel to the street are not permitted. Lots 20 and 34: Garage locations are mandatory (see Appendix 2)
Other requirements	<ul style="list-style-type: none"> Habitable loft spaces and windows in the roof are not permitted. The nominated "ground level" for measurement of building and wall heights shall coincide with the "natural ground level" created as part of subdivisional works. Changing lot levels from those provided by more than 50mm will not be permitted. The finished floor level of the ground floor slab shall not be more than 300mm above the as-constructed level provided by the Developer. 	

8.4 PRECINCT 4: Lots 41 to 47 (R20 Single Dwelling)

Lots 41 to 47 are wide frontage east-west orientated lots. Each lot includes an approximate 2.5m change in level (slope down towards the Primary School site) generally near the mid point. The location and alignment of the slope on each Lot varies, but generally is parallel to the Lot's rear boundary.



<p>Objectives</p>	<p>The design for the dwelling on the Lot shall ensure:</p> <ul style="list-style-type: none"> a) a detached built form that is in a landscaped setting (including the setbacks of both side boundaries) b) a contemporary architectural built form where the elevations on all sides are consistent in design quality, composition and detailing c) a built form that follows the contours of the land d) a response to the surrounding context of the existing Primary School site, Public Open Spaces and streetscapes e) that any two-storey portion is located predominantly at the front western part of the Lot to minimise overshadowing of any neighbouring southern lot's rear outdoor living area f) the outdoor living area receives winter sunlight. 	
<p>Detailed Area Plan <i>The Detailed Area Plan denotes site particular planning requirements; refer to Appendix 3–Precinct 4.</i></p>	<p>Front setback</p>	<ul style="list-style-type: none"> • Minimum 4m • Maximum 6m • Lots 41 & 44 only Minimum 4m.
<p>Minor horizontal incursions into the front and rear setback</p>	<ul style="list-style-type: none"> • The maximum depth of intrusion that is permitted is 1m, for a maximum of 50% of the elevation. (Minor incursions include projections such as a balcony with no enclosed space underneath, porch, verandah, blade wall or chimney). 	
<p>Side setback</p>	<ul style="list-style-type: none"> • <u>All storeys</u>: Minimum 1m • <u>Any upper storey with major openings</u>: As per R-Codes boundary setbacks. • Boundary walls or variations to the 1m minimum are not permitted. 	
<p>POS side setback</p>	<ul style="list-style-type: none"> • <u>All storeys</u>: Lots 41 and 47 Minimum 1.5m 	
<p>Rear setback</p>	<ul style="list-style-type: none"> • <u>All storeys</u>: Minimum 4m. • A non weather-proof light weight structure is permitted within the rear setback 	
<p>Privacy</p>	<ul style="list-style-type: none"> • Overlooking from any balcony or opening at the upper level into the 4m rear garden of adjoining properties is acceptable. • A balcony or opening at the upper level that is set further westwards into the lot shall be required to comply with R-Codes privacy provisions 	
<p>Maximum site cover</p>	<ul style="list-style-type: none"> • 55% 	
<p>Private Open space</p>	<ul style="list-style-type: none"> • A courtyard shall be located at the rear northern part of the Lot to receive winter sunlight or in any other location such that its shadow cast at midday, 21 June onto the adjoining property's outdoor living area (in accordance with the location shown on the DAP) does not exceed 50%. 	
<p>Garage setback and design requirements</p>	<ul style="list-style-type: none"> • <u>Setback</u>: Minimum 4.5m • <u>Located</u>: Minimum 0.5m behind the dwelling's elevation. (A verandah, porch or balcony are included as elements on the "elevation". Any element of the elevation that serves to reduce the visual impact of the garage on the street is deemed to be the dwellings elevation). • The enclosed garage shall accommodate a maximum of two car spaces and be integrated into the design of the dwelling. • Carports are not permitted. • Garages with car spaces parallel to the street are not permitted. 	



		<ul style="list-style-type: none"> • Lot 41: Garage location is mandatory (see Appendix 3)
	Other requirements	<ul style="list-style-type: none"> • Habitable loft spaces and windows in the roof are not permitted. • The nominated “ground level” for measurement of building and wall heights shall coincide with the “natural ground level” created as part of subdivisional works. • Changing lot levels from those provided by more than 50mm will not be permitted. The finished floor level of the ground floor slab shall not be more than 300mm above the as-constructed level provided by the Developer.

8.5 PRECINCT 5: Lots 48 to 51 (R20 Single Dwelling)

Lots 48 to 51 are wide frontage east-west orientated lots.

Objectives	<p>The design for the dwelling on the Lot shall ensure:</p> <ol style="list-style-type: none"> a detached built form that is in a landscaped setting (including the setbacks of both side boundaries) a contemporary architectural built form where the elevations on all sides are consistent in design quality, composition and detailing. a response to the surrounding context of the Public Open Spaces and streetscapes that any two-storey portion is located at the front western part of the Lot to minimise overshadowing of any neighbouring southern lot’s rear outdoor living area outdoor living area that receives winter sunlight. 	
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<p>Detailed Area Plan <i>The Detailed Area Plan denotes site particular planning requirements; refer to Appendix 4 – Precinct 5.</i></p>	Front setback	<ul style="list-style-type: none"> • Minimum 4m • Maximum 6m
	Minor horizontal incursions into the front and rear setback	<ul style="list-style-type: none"> • The maximum depth of intrusion that is permitted is 1m, for a maximum of 50% of the elevation. (Minor incursions include projections such as a balcony with no enclosed space underneath, porch, verandah, blade wall or chimney).
	Side setback	<ul style="list-style-type: none"> • <u>All storeys:</u> Minimum 1m • <u>Any upper storey with major openings:</u> As per R-Codes boundary setbacks. • <u>Single storey element at rear of the Lot:</u> Minimum 6m from northern boundary • Boundary walls or variations to the 1m minimum are not permitted.
	POS side setback	<ul style="list-style-type: none"> • <u>All storeys:</u> Lots 48 and 51 minimum 1.5m.
	Rear setback	<ul style="list-style-type: none"> • <u>Ground floor:</u> Minimum 1m. • <u>Any upper storey:</u> Minimum 7.5m • A non weather-proof light weight structure is permitted within the rear setback
	Maximum site cover	<ul style="list-style-type: none"> • 55%
	Private open space	<ul style="list-style-type: none"> • A courtyard shall be located at the rear northern part of the Lot to receive winter sunlight or in any other location such that the above objective (e) is met.
	Garage setback and design requirements	<ul style="list-style-type: none"> • <u>Setback:</u> Minimum 4.5m • <u>Located:</u> Minimum 0.5m behind the dwelling’s elevation. (A verandah, porch or balcony are included as elements on the “elevation”. Any element of the elevation that serves to reduce the visual impact of the garage on the street is deemed to be the



		<p>dwelling's elevation).</p> <ul style="list-style-type: none"> The enclosed garage shall accommodate a maximum of two car spaces and be integrated into the design of the dwelling. Carports are not permitted. Garages with car spaces parallel to the street are not permitted.
	Building height	<ul style="list-style-type: none"> Lots 49, 50 & 51: Maximum 10m (except a mezzanine level up to 12m in addition to 2 storeys only in accordance with the Detailed Area Plan and Design Guidelines for the area as adopted by Council)
	Other requirements	<ul style="list-style-type: none"> Habitable loft spaces and windows in the roof are not permitted. The nominated "ground level" for measurement of building and wall heights shall coincide with the "natural ground level" created as part of subdivisional works. Changing lot levels from those provided by more than 50mm will not be permitted. The finished floor level of the ground floor slab shall not be more than 300mm above the as-constructed level provided by the Developer.

8.6 PRECINCT 6: Lots 52 to 59 (R60 Single/Grouped Dwelling)

Lots 52 to 59 are east-west narrow frontage lots

Objectives	<p>The design for the dwelling on the Lot shall ensure:</p> <ol style="list-style-type: none"> An overall terraced appearance from the street front (building walls to both side Lot boundaries) for dwelling on Lots within Precinct 6. A response to the surrounding context of Public Open Space and streetscapes That the appearance of a garage opening on the elevation is minimized from the street. 	
<p>Detailed Area Plan <i>The Detailed Area Plan denotes site particular planning requirements; refer to Appendix 5 – Precinct 6.</i></p>	Front setback	<ul style="list-style-type: none"> Minimum 2m Maximum 4m
	Minor horizontal incursions into the front setback	<ul style="list-style-type: none"> The maximum depth of intrusion that is permitted is 0.5m, for a maximum of 50% of the site frontage. (Minor incursions include projections such as a balcony – roofed or unroofed - with no enclosed space underneath, porch, verandah, blade wall or chimney).
	Side setback	<ul style="list-style-type: none"> Commencing at the street front setback, at least 25% of the length of both side walls for each storey behind the front setback shall be built up to the side lot boundaries. 1m min setback is permitted elsewhere. R-Codes wall setbacks applicable for any upper level with major openings. Walls are permitted to be built up to both side boundaries to a height of 12m maximum provided the development's shadow cast at midday, 21 June onto the adjoining lot's outdoor living area does not exceed 50% (refer to DAP for location of outdoor living area). Lot 52 – All habitable rooms with walls built on the northern boundary shall have at least one 'major' opening. All other rooms with walls built on the northern boundary shall have at least one 'minor' opening. Lot 59 - All habitable rooms with walls built on the southern boundary shall have at least one 'major' opening. All other rooms with walls built on the southern boundary shall have at



		least one 'minor' opening.
	Rear setback	<ul style="list-style-type: none"> • <u>Ground level</u> – minimum 3m • <u>Upper storeys</u> – minimum 6m • A non weather-proof light weight structure is permitted within the rear setback.
	Privacy	<ul style="list-style-type: none"> • Any balcony at the upper level that is located at the 6m min rear setback position shall be deemed to comply with the R-Codes privacy provisions. • A balcony at the upper level that is set further eastwards into the lot shall be required to comply with the R-Codes privacy provisions.
	Garage setback and design	<ul style="list-style-type: none"> • <u>Setback</u>: Minimum 2.5m • <u>Location</u>: Minimum 0.5m behind the dwelling's elevation. (A verandah, porch or balcony are included as elements on the "elevation". Any element of the elevation that serves to reduce the visual impact of the garage on the street is deemed to be the dwelling's elevation). • The garage may exceed the maximum front setback depth if required. • The enclosed garage shall accommodate a minimum of two car spaces and be integrated into the design of the dwelling.
	Private open space	<ul style="list-style-type: none"> • The courtyard shall be located at the rear western part of the lot to receive winter sunlight (refer to DAP).
	Maximum site cover	<ul style="list-style-type: none"> • 65%
	Building Height	<ul style="list-style-type: none"> • Maximum 12m (Calculated from the finished floor level for each site at the front property boundary established as part of the subdivision works. The height of the building envelope does not change with the changes in lot levels.)
	Other	<ul style="list-style-type: none"> • Habitable loft space and windows in the roof are not permitted. A skylight will be considered subject to appropriate detailing including no openings to be permitted.

8.7 PRECINCT 7: Lot 60 (R80 Multiple Dwellings)

Lot 60 is a site for multiple dwellings

All previous policy measures are now removed as Design WA will take effect.

Detailed Area Plan <i>The Detailed Area Plan denotes site particular planning requirements; refer to Appendix 6 – Precinct 7.</i>	Maximum site cover	<ul style="list-style-type: none"> • 50%
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Other Requirements	<ul style="list-style-type: none"> • The development shall respond to the surrounding context of streetscapes and Public Open Space by orientating elevations (with habitable rooms, openings and balconies) towards these areas. • Residents' car parking shall be screened on site from view of the public realm.
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8.8 PRECINCT 8: Lot 61 (R60 Multiple/Grouped Dwellings)

Lot 61 is a site for multiple dwellings

Objectives	The design for the dwelling on the Lot shall ensure: <ul style="list-style-type: none"> a) A built form that includes articulation of all the elevations. Architectural
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	<p>features such as contrasting materials and colours, awnings, canopies, balconies and bay windows shall provide visual interest.</p> <p>b) A response to the surrounding context of Public Open Space and streetscapes</p> <p>c) Passive surveillance opportunities of the Public Open Space.</p>	
<p>Detailed Area Plan <i>The Detailed Area Plan denotes site particular planning requirements; refer to Appendix 1 – Sheet 3: Precinct 8.</i></p>	Setbacks	<ul style="list-style-type: none"> Refer to the DAP (note that the utilities easement on the western side of the Lot where development is not permitted is within the setback area).
	Minor horizontal incursions into setback	<ul style="list-style-type: none"> The maximum depth of minor horizontal incursion permitted is 1m, for a maximum of 50% of the elevation of the proposed dwelling. Minor incursions include projections such as a balcony – roofed or unroofed - with no enclosed space underneath, porch, verandah, blade wall or chimney).
	Maximum site cover	<ul style="list-style-type: none"> 60%
	Plot ratio	<ul style="list-style-type: none"> No plot ratio shall apply
<p>Other Requirements</p>	<ul style="list-style-type: none"> Habitable loft space and windows in the roof are not permitted. A skylight will be considered subject to appropriate detailing including no openings to be permitted. The development shall respond to its location abutting northern and southern Public Open Spaces by orientating elevations (with habitable rooms, openings and balconies) towards these areas. For the west facing elevations (towards West Coast Highway), openings, other than those with fixed opaque glazing, are not permitted. The west facing elevation shall be articulated however, with architectural richness being encouraged through the bold use of a variety of high-quality materials and colours. Except as noted for the west elevation, a design response that includes large expanses of blank walls and minimal articulation of the elevation and landscape will not be permitted. Any “back of development” appearance (for example, exposed mechanical plant and servicing areas) visible from the public realms will not be accepted. Residents’ car parking shall be screened on site from view of the public realm. Signage shall be of a high-quality graphic design, simple in format and appropriately located and integrated within the building design and landscape to minimise a cluttered appearance. Entry communication and mail delivery boxed shall be discreet and integral to the building design. Entrances shall be well lit for safe use after dark. A screened, central waste storage and collection space shall be included to accommodate bins (in accordance with City of Nedlands standard waste and recycling system requirements). A Management Plan shall be submitted that details the operation of building services and any tenancy agreements. 	
<p>8.9 PRECINCT 9: Lots 62 to 64 (R30 Grouped Dwelling)</p>		
<p><i>Lots 62 to 64 are for grouped dwelling development. Lots 63 and 64 are either side of the Narla Road southern entry to the Swanbourne development.</i></p>		
<p>Objectives</p>	<p>The design for the dwelling on the Lot shall ensure:</p> <p>a) a contemporary architectural built form where the elevations on all sides are consistent in design quality, composition and detailing.</p> <p>b) a response to the surrounding context of the Public Open Spaces and streetscapes.</p>	
<p>Objectives Detailed Area</p>	<p>Lot 62</p>	
	Setbacks	<ul style="list-style-type: none"> Refer to the DAP



<p>Plan <i>The Detailed Area Plan denotes site particular planning requirements; refer to Appendix 8 – Precinct 9.</i></p>		<p>(note that the utilities easement on the western side of the Lot, where development is not permitted, is within the setback area).</p> <ul style="list-style-type: none"> • Non weather-proof light weight structures are permitted within setback areas.
	Minor horizontal incursions into the front setback	<ul style="list-style-type: none"> • The maximum depth of intrusion that is permitted is 1m, for a maximum of 50% of the elevation. (Minor incursions include projections such as a balcony with no enclosed space underneath, porch, verandah, blade wall or chimney).
	Maximum site cover	<ul style="list-style-type: none"> • 60%
	Built form requirement	<ul style="list-style-type: none"> • For the west facing elevation (towards West Coast Highway), any upper floor openings, other than those with fixed opaque glazing, are not permitted. The west facing elevation shall be articulated and architectural richness is encouraged through the bold use of a variety of high-quality materials and colours. • Except as noted above, development shall respond to the context of Public Open Spaces and surrounding residential development and streetscapes by orientating elevations (with habitable rooms, openings and balconies) towards these areas.
	Lot 63 and 64	
	Setbacks	<ul style="list-style-type: none"> • Refer to the DAP. • Where the setback is permitted to be nil or 1m min up to the boundary with the POS, a wall built up to the boundary is permitted to be 9m maximum in length and 6m maximum to eaves height. • Non weather-proof light weight structure are permitted within the setback areas
	Minor horizontal incursions into the front setback	<ul style="list-style-type: none"> • The maximum depth of intrusion that is permitted is 1m, for a maximum of 50% of the elevation. (Minor incursions include projections such as a balcony with no enclosed space underneath, porch, verandah, blade wall or chimney).
	Maximum site cover	<ul style="list-style-type: none"> • 60%
	Built form requirement	<ul style="list-style-type: none"> • The corner of the building at Narla Road and Birrignon Loop shall be architecturally expressed (through the use of a contrast material or colour, a feature window or tower) to define a sense of entry into the new Swanbourne development. • Development shall respond to the surrounding context of Public Open Spaces and streetscapes by orientating elevations (with habitable rooms, openings and balconies) towards these areas.
	Other Requirements for Lots 62 to 64	
<ul style="list-style-type: none"> • A design response that includes large expanses of blank walls and minimal articulation of the elevation and landscape; and any “back of development” appearance (for example, exposed mechanical plant and servicing areas) visible from the public realm will <i>not</i> be accepted. • Signage shall be of a high-quality graphic design, simple in format and appropriately located and integrated with the building design and landscape to minimise a cluttered appearance. • Entrances shall be well lit for safe use for after dark. • Entry communication and mail delivery boxes shall be discreet and integral to the building design. 		



- A central screened waste storage and collection space shall be included to accommodate bins.
- Habitable loft spaces and windows in the roof are not permitted.
- The nominated “ground level” for measurement of building and wall heights shall coincide with the “natural ground level” created as part of subdivisional works.
- Changing lot levels from those provided by more than 50mm will not be permitted. The finished floor level of the ground floor slab shall not be more than 300mm above the as-constructed level provided by the Developer.

9 PRECINCT REQUIREMENTS

Development shall be designed to minimise heating and cooling costs; improve upon energy efficiency and minimise greenhouse gas generation and reduce water consumption. Listed in the table below are **mandatory items** for inclusion in development.

9.1 Precincts 1 to 5 and 9 (Single Houses and Grouped Dwellings)

9.1.1 Mandatory Items

The mandatory items listed must be shown as part of the design or referenced on an Environmental Performance schedule for assessment and compliance by Mirvac’s SDC at Step 3 (Detailed Design drawings to SDC) and Step 5 (Building Licence drawings to SDC) as stated, and by the City of Nedlands at Step 4 (Development Application submission) and Step 6 (Building Licence submission).

Item	Theme	Requirement	Assessment Stage
M1	Solar Access	At least one main living area (for example a lounge, dining or kitchen) and at least one major opening shall be located to face north to receive solar heat gain in winter. This space shall receive direct sun at 12 noon on 21 June.	SDC Step 3 and City of Nedlands Step 4
M2		A solar hot water system shall be installed to receive sufficient solar gain on a suitable and preferred north facing roof, or a secondary west facing roof. The solar hot water system (with gas booster) shall achieve a minimum of 36 Renewable Energy Certificates. Where the preferred north or secondary west facing roof is visible from the public domain, the storage tank is to be screened from public view (a split system). As far as practicable, the solar panels shall integrate with the roof, be frameless and mounted flush with the roof. All solar collectors, tanks (where permitted) and associated mounting equipment shall be colour coordinated with the roof to minimise adverse visual impacts.	SDC Step 3 and City of Nedlands Step 4
M3		Openings shall be appropriately sized and shaded to reduce solar heat gain in summer.	SDC Step 3 and City of Nedlands Step 6
M4	Energy	While a rating at least one star above the current BCA energy star rating is encouraged, the thermal performance of the dwelling shall achieve the minimum Accurate rating, or similar, under deemed-to-comply provisions of the Building Code of Australia. The thermal performance of the building envelope shall be maximised through solar access, insulation, shade devices and draught prevention.	City of Nedlands Step 6
M5		At least one bathroom shall include an openable window to the outside.	SDC Step 3 and City of Nedlands Step 6
M6		Any external clothes drying area shall be concealed from public view and well ventilated to dry clothes efficiently.	SDC Step 3 and City of Nedlands Step 6
M7		Any mechanical heating and cooling system shall be sized	SDC Step 5 and City



		to match the affected spaces. Any mechanical heating and cooling system shall be minimum 5-star rated.	of Nedlands Step 6
M8		A gas hob shall be specified.	SDC Step 5 and City of Nedlands Step 6
M9		Natural day light into the dwelling shall be maximised. Glazing, however, shall be minimised on the eastern and western elevations and be appropriately shaded.	SDC Step 3 and City of Nedlands Step 6
M10		Openings shall be located to promote cross ventilation to passively cool the dwelling and reduce reliance on mechanical cooling.	SDC Step 3 and City of Nedlands Step 6
M11		The dwelling's living and sleeping areas shall be capable of being closed off from each other to allow for any localised heating and cooling.	SDC Step 3 and City of Nedlands Step 6
M12	Water	Water efficient fixtures (for example taps & shower heads) shall achieve a minimum 3 star rating. Toilets shall achieve a minimum 4 star rating.	SDC Step 5 and City of Nedlands Step 6
M13		A rainwater tank of 2500 litres minimum capacity shall be installed to use stormwater, such as from the roof. The tank shall be designed as an integral feature of the dwelling and screened from public view or buried. The tank shall be plumbed for irrigation or toilet use or both.	SDC Step 3 and City of Nedlands Step 6
M14		The required disposal of stormwater on-site shall be made using means such as soakwells, soft paving, segmented and permeable pavers and decking.	SDC Step 5 and City of Nedlands Step 6
M15		Programmable irrigation controllers and tap timers with waterwise irrigation (sub-surface drip irrigation trickle irrigation, drippers, and coarse drop sprays) shall be installed in garden areas.	SDC Step 5 and City of Nedlands Step 6
M16	Materials	Agricultural forestry timbers shall be specified throughout.	SDC Step 5 City of Nedlands Step 6
M17	Recycling	Suitable provision shall be made internally for waste, green waste, and recycling – i.e., three bins provided within kitchen cabinetry for recyclable and non-recyclables.	SDC Step 5 City of Nedlands Step 6
M18	Noise	All mechanical equipment shall be designed and installed to operate at maximum capacity within the Noise requirements of the <i>Environmental Protection (Noise) Regulation 1997</i> .	City of Nedlands investigates any possible noise issue after installation of equipment and upon notification to Council.

9.1.2 Recommended Items

The dwelling is recommended to incorporate principles of Universal Design. Key practical initiatives for a 'robust' dwelling design are:

- At least one level entry accessible from the street
- Living areas and at least one bedroom and bathroom accessible by a wheelchair user
- Circulation spaces suitable for a wheelchair user
- Fixtures and fittings (such as light switches and power outlets) within reach of a wheelchair user
- Future adaptation possibilities for a dwelling for 'ageing in place'.



9.2 Precinct 6 (Lots 52 to 59): Single Dwelling

9.2.1 Mandatory Items

These mandatory items listed must be shown as part of the design or referenced on an Environmental Performance schedule for assessment and compliance by Mirvac's SDC.

Item	Theme	Requirement	Assessment Stage
M1	Solar Access	A solar hot water system shall be installed to receive sufficient solar gain on suitable and preferred north facing roof, or a secondary west facing roof. The solar hot water system (with gas booster) shall achieve a minimum of 36 Renewable Energy Certificates.	SDC Step 3 City of Nedlands Step 4
M2		Where the preferred north or secondary west facing roof is visible from the public domain, the storage tank is to be screened from public view (a split system). As far as practicable, the solar panels shall integrate with the roof, be frameless and mounted flush with the roof. All solar collectors, tanks (where permitted) and associated mounting equipment shall be colour coordinated with the roof to minimise adverse visual impacts.	
M3	Energy	Openings shall be appropriately sized and shaded to reduce solar heat gain in summer.	SDC Step 3 City of Nedlands Step 6
M4		The thermal performance of the dwelling should achieve a minimum energy star rating of one star above current requirements under deemed-to-comply provisions of the Building Code of Australia. The thermal performance of the building envelope shall be maximized through solar access, insulation, shade devices and draught prevention.	SDC Step 5 City of Nedlands Step 6
M5		At least one bathroom shall include an openable window to the outside.	SDC Step 3 City of Nedlands Step 6
M6		Any external clothes drying area shall be concealed from public view and well ventilated to dry clothes efficiently.	SDC Step 3 City of Nedlands Step 6
M7		Any mechanical heating and cooling system shall be sized to match the affected spaces. Any mechanical heating and cooling system shall be a minimum 5-star rated	SDC Step 5 City of Nedlands Step 6
M8		A gas hob shall be specified	SDC Step 5 City of Nedlands Step 6
M9		Natural day light into the dwelling shall be maximised. Glazing, however, shall be minimised on the eastern and western elevations and shall be appropriately shaded.	SDC Step 3 City of Nedlands Step 6
M10		Openings shall be located to promote cross ventilation to passively cool the dwelling and reduce reliance on mechanical cooling	SDC Step 3 City of Nedlands Step 6
M11		The dwelling's living and sleeping areas shall be capable of being closed off from each other to allow for any localized heating and cooling.	SDC Step 3 City of Nedlands Step 6
M12		Water	Water efficient fixtures (for example taps & shower heads) shall achieve a minimum 3 star rating. Toilets shall achieve a minimum 4 star rating
M13		A rainwater tank of 25000 litres minimum capacity shall be installed to use stormwater, such as from the roof. The tank shall be designed as an integral feature of the dwelling and screened from public view or buried. The tank shall be plumbed for irrigation or toilet use or both.	SDC Step 3 City of Nedlands Step 6
M14		The required disposal of stormwater on-site shall be made using means such as soakwells, soft paving, segmented and permeable pavers and decking.	SDC Step 5 City of Nedlands Step 6
		Programmable irrigation controllers and tap timers with	SDC Step 5



		waterwise irrigation (sub-surface drip irrigation, trickle irrigation, drippers and course drop sprays) shall be installed in garden areas.	City of Nedlands Step 6
M15	Materials	Agricultural forestry timbers shall be specified throughout.	SDC Step 5 City of Nedlands Step 6
M16	Recycling	Suitable provision shall be made internally for waste and recycling – i.e., three bins provided within kitchen cabinetry for recyclable and non-recyclables.	SDC Step 5 City of Nedlands Step 6
M17	Noise	All mechanical equipment shall be designed and installed to operate at maximum capacity within the Noise requirements of the <i>Environmental Protection (Noise) Regulation 1997</i> .	City of Nedlands investigates any possible noise issue after installation of equipment and upon notification to Council.

9.2.2 Recommended Items

- a) At least one main living area (for example a lounge, dining or kitchen) and at least one major opening should be located to face north to receive solar heat gain in winter. This space should receive direct sun at 12 noon on 21 June.
- b) The dwelling should incorporate principles of Universal Design. Key practical initiatives for a robust dwelling design are:
 - At least one level entry accessible from the street
 - Living areas and at least one bedroom and bathroom accessible by a wheelchair user
 - Circulation spaces suitable for a wheelchair user
 - Fixtures and fittings (such as light switches and power outlets) within reach of a wheelchair user
 - Future adaption possibilities for a dwelling for ‘aging in place’

9.3 Precinct 7 (Lot 60): Multiple Dwellings

9.3.1 Mandatory Items

Item	Theme	Requirement	Assessment Stage
M1	Solar Access	Access of summer sun into opening and outdoor living areas shall be controllable (e.g. Through the use of full height and moveable screens)	SDC Step 3 City of Nedlands Step 4
M2	Energy	The overall building and each dwelling at the top floor shall achieve at least half a star above the minimum required NatHERS rating under the Building Codes of Australia.	City of Nedlands Step 6
M3		A suitably sized solar boosted gas centralised hot water system shall be installed.	SDC Step 5 City of Nedlands Step 6
M4		Motion sensors shall be installed for lighting in basement car parks and other locations as appropriate.	
M5		Photovoltaic cells shall be installed to light publicly accessible areas.	
M6		Where supplied, minimum 3-star rated energy efficient appliances shall be installed.	
M7		Draught seals or weather stripping shall be installed on openings.	
M8		Water	Water efficient fixtures (for example taps & shower heads) shall achieve a minimum 3-star rating. Toilets shall be a dual flush type and minimum 4-star rating
M9	Materials	Agricultural forestry timbers shall be specified throughout.	
M10	Recycling	A screened, central waste collection space shall be included for bins for recyclable waste and other materials, or as required by the City of Nedlands, for the separation of waste at the source.	
M11		Suitable provision shall be made internally for waste, green waste, and recycling – i.e., three bins provided within kitchen cabinetry for recyclable and non-recyclables	



9.3.2 Recommended Items

- a) Capturing of cooling breezes (cross ventilation) to minimise use of mechanical cooling systems.
- b) Minimising daytime living areas and single aspect apartments with an orientation and openings to the south only to encourage use of natural heating through solar gain in winter.
- c) A suitably sized underground water tank shall be installed as a back up for the purpose of reticulating landscaped areas and will augment the standard irrigation system.

9.4 Precinct 8 (Lot 61): Multiple /Grouped Dwellings

9.4.1 Mandatory Item

- a) The lot owner shall demonstrate a commitment to sustainability and, where possible, attempt a high level of efficiency in the following key objectives for the building's performance:
 - Conservation of water (for example, through the use of minimum 3-star rated water saving devices and dual flush toilets) and energy (for example, through the installation of high star rated energy efficient appliances).
 - Increase of indoor environmental quality and amenity for the occupants (for example, through passive solar heat gain in winter to living areas and openable windows for cross ventilation in summer).
 - Reduction, recycling and responsible management of waste (for example, through the provision of two bins provided within kitchen cabinetry for recyclables and non-recyclables).
 - Careful selection of materials (for example, with consideration given to durability, ease of construction, availability and environmental impacts).

10 BUILT FORM AND LANDSCAPE

The vision for Swanbourne is to create a memorable development that reflects its unique context. The elements detailed below should create a high-quality living environment incorporating design principles that will help maintain a distinctive sense of place.

Note that Precincts 7 and 8 (multiple dwellings) and Precinct 9 (grouped dwellings) have additional built form requirements that are listed separately in the previous section Site Planning.

10.1 Architectural Character and Integrity

- 10.1.1** The building character for Swanbourne shall be distinctly contemporary and designed and constructed with architectural integrity that is of a high quality. Designs for dwellings shall reflect modern lifestyles, a neighbourly co-existence, and 'robustness' to allow for possible future changes.
- 10.1.2** Here, contemporary architecture is defined as being bold, 'edgy' and original; the clarity of appearance shall be emphasised by highly sophisticated construction detailing. The images shown below are local examples of contemporary architecture. While the examples may not wholly comply with these Design Guidelines, they do represent the architectural qualities and character required at the Swanbourne development.
- 10.1.3** The strong identity for Swanbourne shall also relate to the objectives of the development, context and site conditions, the dwelling type and modern lifestyles, and be environmentally responsive.
- 10.1.4** The copying and direct application of imported or historical architectural colours and styles, such as Mediterranean and Federation, is inappropriate and not permitted.
- 10.1.5** Design integrity and the quality of detailing are imperative, therefore excessive ornamentation, mouldings/contrast banding, finials, classical style columns/scrolls and stick-on elements will not be permitted.
- 10.1.6** Contextual aspects to be taken into consideration in the design include:
 - Parks and streetscape
 - Surrounding existing development and land use



- Topography
- Microclimate
- Views and vistas (subject to conditions – refer to section on site planning)
- Orientation and ability to provide “eyes on the street” for passive surveillance of the public realm
- Access by pedestrians and vehicles



Figure 3: Examples of high-quality contemporary architecture in Perth

10.2 Elevations

10.2.1 The design of a dwelling shall achieve architectural excellence and respond in an appropriate or neighbourly manner as required to the public realm. Except as noted in the Site Planning section, generally, elevations visible from the primary and secondary streets and Public Open Spaces shall include major openings and features related to habitable rooms and their associated activity, with the more private spaces and functions located elsewhere.

- A dwelling’s major public elevation shall address the primary street.
- The elevations of a dwelling on a corner Lot shall address the primary and secondary streets, or Public Open Space with openings and a consistent level of design quality.
- The elevation facing the rear shall match the quality of design of the dwelling’s major public elevations so as not to lower the amenity of neighbouring Lots.
- Any wall built up to the boundary that is visible and faces a neighbouring Lot shall be built to the same quality of finish as the primary elevation.
- Elevations shall provide interest and expression of a contemporary architectural identity and integrity through careful articulation and fine detailing, and inclusion of feature elements such as balconies, porches, openings, shade devices and clearly defined and sheltered entrances.
- Large areas and long lengths (typically no more than 9m) of unarticulated, monotone or blank wall visible from the public street are not permitted.
- Clear glass or clear solar control glass shall be in openings facing the primary and any secondary street. Curved, dark tinted and reflective glass shall not be visible from these streets.
- The garage shall be limited to one opening at 6m maximum width, or a double garage may



include two openings with a central pier. A carport or parking garage parallel to the street is not permitted.

- The garage door facing the street shall be a non-patterned segmented panel type door in a muted colour.

10.3 Roofscape

10.3.1 Careful consideration shall be given to achieving an integrated roof, eaves detail, and dwelling elevation (refer roof diagram below).

- A principal duo-pitched roof shall have a minimum pitch of 26.5 degrees. Other minor roofs incorporated as part of the dwelling design may have a shallower pitch. Any gables shall include overhangs of at least 300mm.
- A principal roof, other than a flat roof and a roof built up to the boundary, shall have overhanging eaves of 400mm minimum width.
- A skillion roof pitch shall be 5 degrees minimum.
- A flat roof shall include a fascia edge detail or be screened behind a parapet wall.
- A lighter roof colour shall be selected to help reduce heat absorption (i.e. black, charcoal and dark colours, such as Colorbond Ironstone, are not permitted).
- A pronounced roof tile pattern will be considered on aesthetic and functional merits.

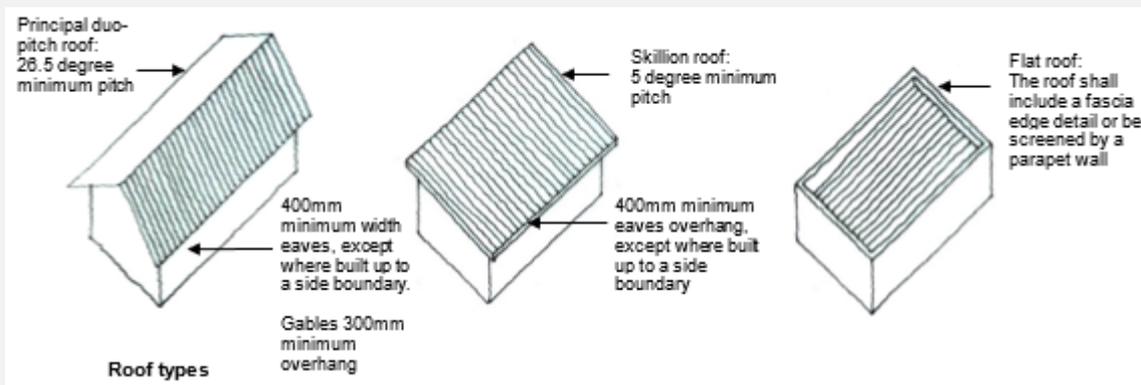


Figure 4: Roof Types

10.4 Materials and Colours

10.4.1 The materials and colours of a dwelling shall convey a contemporary aesthetic. Architectural richness is encouraged through the bold use of a variety of high-quality materials and colours, such as:

- Rendered masonry
- Feature stone and limestone
- Small areas of feature face brickwork
- Recycled, plantation or sustainable harvested timber
- Metal elements and details.

10.4.2 The use of alternative materials will be considered on aesthetic and functional merits.

10.5 Private Open Space

10.5.1 The size, orientation and location of the primary private open space shall relate to at least one



living area within the dwelling (other than a bedroom) by being accessible and visible from the interior.

10.5.2 The private open space should be located on the Lot to receive winter sunlight.

10.5.3 Consideration should be given to access for daylight, air circulation and privacy.

10.5.4 One useable private open space is preferred as opposed to many smaller areas unsuitable for outdoor activities.

10.6 Fences and Letterbox

10.6.1 Fences

Precinct 1 Lots 1 to 7	Dividing fence	Timber lap only (not pine lap) up to 1.8m maximum height (excluding any retaining wall in which the fence is constructed). The fence shall follow the slope of the land.
	Lot 7 Secondary Street fence	To match Mirvac's Estate fencing (dividing lots 1 to 7 and the northern POS).
	Lot 1 and Lot 61 Dividing fence	Timber lap (not pine lap) or painted rendered fence in colours to match the dwelling. The fence is permitted to be 1.8m maximum height (excluding any retaining wall on which the fence is constructed).
	Any front fence	As fence notes 1 and 2.
Precinct 2 Lots 8 to 12	Dividing fence	As fence note 3
	Lots 8 & 9 Side Street fence	To match Mirvac's Estate fence (dividing lots 11 and 12 and the western POS) for 4m minimum along the boundary from the lot's corner truncation. Thereafter the fence shall continue to match the design of the Estate fence, however a solid limestone panel may be incorporated to provide privacy for private open space.
	Lots 11 & 12 Side Street fence	To match Mirvac's Estate fence (dividing lots 11 and 12 and the western POS) for 4m minimum along the boundary from the POS. Thereafter the fence shall continue to match the design of the Estate fence, however a solid limestone panel may be incorporated to provide privacy for an outdoor living area.
	Lot 10 Rear fence	The fence shall match Mirvac's Estate fencing (dividing Lots 11 and 12 and the western POS).
	Any front fence	To match Mirvac's Estate fence (dividing Lots 11 and 12 and the western POS).
Precinct 3 Lots 13 to 40	Dividing fence	As fence note 3
	Secondary fence	As fence note 4
	Any front fence	As fence notes 1 and 2
Precinct 4 Lots 41 to 47 & Precinct 5 Lots 48 to 51	Dividing fence	As fence note 3
	Any front fence	As fence notes 1 and 2
Precinct 6 Lots 52 to 59	Any front fence	As fence note 1 and 2
	Dividing fence	As fence note 3
	The letterbox shall be incorporated into the design of the front fence or, if freestanding, constructed in materials and colours to match and complement the dwelling. Australia Post's delivery requirements should be met.	
Precinct 7 Lot 60 & Precinct 8	Any fence the street reserve shall be maximum 1.8m height (excluding any retaining wall on which the fence is constructed). The fence shall match the design and quality of the existing solid and visually permeable Estate fencing installed by Mirvac where it	



Lot 61	<p>faces the Public open Space.</p> <p>The specification for the Mirvac fence, and a list of suggested suppliers and installers is available from Mirvac. The proposed fence design shall be submitted to Mirvac for consideration and approval prior to construction.</p>
Precinct 9 Lots 61 to 63	<p>Any fence facing the street reserve shall be maximum 1.8m height (excluding any retaining wall on which the fence is constructed). The fence shall match the design and quality of the existing solid and visually permeable Estate fence installed by Mirvac where it faces a POS.</p> <p>The specification for a Mirvac fence, and a list of suggested suppliers and installers is available from Mirvac. The proposed fence design shall be submitted to Mirvac for consideration and approval prior to construction.</p>

Fence Notes	
<ol style="list-style-type: none"> 1. Any front fence facing the primary street including any corner truncation, and 4m minimum along any secondary street shall be 0.9m maximum height, or in accordance with BCA safety requirements where applicable, (excluding any retaining wall on which the fence is constructed). The fence shall be constructed in materials, colours and style to match and complement the dwelling. 2. Any fence <i>in front</i> of the dwelling and dividing Lots shall be 0.9m maximum height (excluding any retaining wall on which the fence is constructed). The fence shall be constructed in materials, colours and style to match and complement the dwelling. 3. The fence <i>behind</i> the front setback and dividing Lots shall be at a nominal height of 1.8m maximum (excluding any retaining wall on which the fence is constructed). The fence shall be constructed in materials, colours and style to match and complement the dwelling. 4. The side fence facing the secondary street shall commence 4m minimum from the Lot's corner truncation and shall be 1.8m maximum height (excluding any retaining wall on which the fence is constructed). The fence shall be constructed with a minimum of three equally spaced visually permeable infill panels installed above 0.9m height. The fence shall be constructed in materials and colours to complement the dwelling and public reserve. <p>The panels shall be typically 2m minimum in length, or to suit the fence length, and may consist, for example, of decorative ironwork, vertical railings or jarrah slats to complement the design of the dwelling and to add interest to the public reserve.</p> <p>Fibrous cement (i.e., Supersix), corrugated metal sheeting (i.e., Colorbond), and timber pinelap fences are not permitted in this development.</p>	

Existing and Proposed Retaining Walls	
<p>The dimensions and positions of all proposed retaining walls that are visible public areas shall be provided to Mirvac as part of the building endorsement process, and to the City of Nedlands with the application for a Development Approval.</p> <p>Any new retaining walls shall be constructed in the same materials and colours as the existing retaining walls built by Mirvac; alternative designs may be considered for approval. Copies of the engineering criteria for the existing retaining walls can be obtained from Mirvac or the City of Nedlands.</p> <p>No existing retaining wall or fence installed by Mirvac shall be altered without first applying for and obtaining written approval from Mirvac.</p>	

10.6.2 Letterboxes	
<p>The letterbox shall be incorporated into the design of any front fence or, if freestanding, constructed in</p>	



materials and colours to match and complement the dwelling. Australia Post’s delivery requirements should be met.

5.1 Landscape

5.1.1 Careful consideration shall be given to the design of the open space on the Lot and the useable outdoor living area – whether a mostly paved courtyard, elevated timber deck or larger garden with some lawn area. The landscape design should minimize water use and include appropriate structures or planting that assist with shade in summer and solar access in winter.

5.1.2 Where verges are reticulated prior to purchase, they are to be maintained by the adjoining lot owner. On lots where the verge is not reticulated prior to purchase, the adjoining Lot owner shall provide reticulation to the verge as part of the landscaping work and continue to maintain the verge area.

5.1.3 The following is a list of recommended plant species suited to the Swanbourne development:

Botanical Name	Common Name	Mature Height (m)	Form
Tree Selection			
<i>Acacia rostellifera</i>	Summer-scented Wattle	5	shrub/tree
<i>Agonis flexuosa</i>	Peppermint	to 10	tree
<i>Allocasuarina fraseriana</i>	WA Sheoak	5 to 15	tree
<i>Arbutus unedo</i>	Irish Strawberry Tree	5 to 6	tree or shrub
<i>Banksia attenuata</i>	Slender Banksia	to 10	tree or shrub
<i>Callitris preissii</i>	Rottnest Island Cypress	to 10	tree or shrub
<i>Citris sp.</i>	Lemon/ Orange Trees	5 to 6	tree
<i>Dracaena draco</i>	Dragon's-blood Tree	6 to 10	tree
<i>Eucalyptus caesia</i>	Silver Princess	5 to 10	tree
<i>Eucalyptus erythrocorys</i>	Illyarrie	6 to 8	tree
<i>Eucalyptus ficifolia</i>	Red Flowering Gum	to 15	tree
<i>Eucalyptus macrocarpa</i>	Mottlecah	4 to 5	tree
<i>Eucalyptus torquata</i>	Coral Gum	6 to 10	tree
<i>Eucalyptus utilis (syn. platypus)</i>	Coastal Moort	5 to 10	tree
<i>Hakea laurina</i>	Pincushion Hakea	2 to 6	tree
<i>Laurus nobilis</i>	Bay Tree	10 to 15	tree
<i>Melaleuca lanceolata</i>	Rottnest Tea Tree	5	tree
<i>Melaleuca nesophila</i>	Showey Honey Myrtle	4 to 5	tree
<i>Metrosideros excelsa</i>	New Zealand Christmas tree	5 to 7	tree
<i>Pittosporum phylliraeoides</i>	Native Willow	4	tree
Shrub Selection			
<i>Adenanthos sericeus</i>	Coastal Woolly Bush	3	shrub
<i>Anigizanthos sp.</i>	Kangaroo Paws	0.5 to 2	shrub
<i>Agonis flexuosa 'nana'</i>	Dwarf Peppermint	0.5 to 2	shrub
<i>Calothamnus quadrifidus</i>	One-sided Bottlebrush	3	shrub
<i>Remo cordyline australis</i>	Cabbage Tree	1 to 4	tree or shrub
<i>Diplolaena dampieri</i>	Southern Diplolaena	2	shrub
<i>Diplopeltis huegelii var huegelii</i>		0.5 to 1	shrub
<i>Eremophila glabra</i>	Tar Bush	1.5	shrub
<i>Exocarpus sparteus</i>	Broom Ballart	3	shrub
<i>Frankenia pauciflora</i>	Seaheath	0.5	shrub
<i>Gahnia trifida</i>	Coast Saw-sedge	1.5	shrub
<i>Grevillea crithmifolia</i>		1.5	shrub
<i>Grevillea preissii</i>	Marriott	0.5	shrub
<i>Gyrostemon ramulosus</i>	Corkybark	0.5–5	tree or shrub
<i>Hibbertia subvaginata</i>		1	shrub
<i>Hibbertia spicata subsp leptotheca</i>		0.5	shrub
<i>Lavatera plebia</i>	Australian Hollyhock	2	shrub
<i>Lechenaultia linarioides</i>	Yellow Leschenaultia	0.5	shrub
<i>Leucopogon parviflorus</i>	Coast Beard Heath	2.5	shrub
<i>Lomandra longifolia</i>	Spiny headed mat rush	0.5-1	shrub



<i>Lomandra 'Tanika'</i>		0.5-1	shrub
<i>Macropidia fuliginosa</i>	Black paw	1.5	shrub
<i>Melaleuca cardiophylla</i>	Tangling Melaleuca	0.5 – 2	shrub
<i>Melaleuca huegelii</i>		3	shrub
<i>Melaleuca systena</i>		0.5 – 2	shrub
<i>Myoporum insulare</i>	Blueberry Tree	0.2 – 5	shrub
<i>Phormium tenax</i>	Flax	1 to 2	shrub
<i>Phyllanthus calycinus</i>	False Boronia	0.5	shrub
<i>Pimelea calcicola</i>		0.5 – 1	shrub
<i>Pimelea rosea</i>	Magenta Mist'	1	shrub
<i>Scaevola crassifolia</i>	Thick-leaved Fan-flower	0.1 – 1.5	shrub
<i>Spyridium globulosum</i>	Basket Bush	0.5 – 5	shrub
<i>Templetonia retusa</i>	Cockies Toungue	0.3 -4	shrub
<i>Westringia 'Jervis Gem'</i>		1	shrub
<i>Westringia fruticosa</i>	Coastal Rosemary	1	shrub
<i>Westringia dampieri</i>		1	shrub
<i>Xanthorrhoea preissii</i>	Grass Tree	4 to 6	tree or shrub
<i>Yucca elephantipes</i>	Soft-tipped Yucca	3	tree or shrub

Ground Cover / Climber / Low Shrub Selection

<i>Adenanthos cuneatus 'Coral Carpet'</i>		0.3	groundcover
<i>Brachyscome iberidifolia</i>	Swan River Daisy	0.4	groundcover
<i>Carpobrotus virescens</i>	Pigface	0.3	groundcover
<i>Clematis microphylla</i>	Old Mans Beard	0.5	groundcover
<i>Conostylis candicans</i>	Grey Cottonhead	0.5	groundcover
<i>Dianella 'Little Rev'</i>		0.5	groundcover
<i>Eremophila glabra 'Kalbarri Carpet'</i>		0.5 to 1	groundcover
<i>Ficinia nodosa (syn. Isolepis nodosa)</i>	Knotted club rush	0.5	groundcover
<i>Grevillea crithmifolia</i>		1.5	groundcover
<i>Hardenbergia comptoniana</i>	Native Wisteria	0.3	climber
<i>Hemiantra pungens</i>	Snakebush	0.5	groundcover
<i>Juniperus conferta</i>	Shore Juniper	0.5	groundcover
<i>Kennedia prostrata</i>	Running postman	0.2	groundcover
<i>Lepidosperma gladiatum</i>	Coast Sword Sedge	0.5 - 1.5	groundcover
<i>Leucophyta brownii 'Canal Rocks'</i>		0.5 to 1	groundcover
<i>Lomandra maritima</i>	Matrush	0.5	groundcover
<i>Orthrosanthus laxus</i>	Morning Iris	0.5	groundcover
<i>Patersonia occidentalis</i>		0.5	groundcover
<i>Scaevola anchusifolia</i>	Silky Scaevola	0.5	groundcover
<i>Scaevola crassifolia</i>	Thick-leaved Fan-flower	0.5 to 1.5	groundcover
<i>Schoenia filifolia ssp. subulifolia</i>	Showy Everlasting	0.4	groundcover
<i>Sollya heterophylla</i>	Blue-bell creeper	0.3	creeper
<i>Verticordia chrysantha</i>		0.6	groundcover
<i>Viola hederacea</i>	Native Violet	0.2	groundcover

Prepared by Blackwell & Associates

11 Driveways

11.1 Driveway finishes shall compliment the materials and colours of the building and landscape design and be segmented to allow for surface water to permeate. Approved finishes are:

- Masonry or clay paving
- Precast pavers

11.2 Alternative finishes are subject to Mirvac’s consideration and approval.

11.3 Existing paths constructed by Mirvac shall not be altered in any way. Any damage caused to existing paths shall be repaired at the expense of the Lot owner to match the existing colour and



material. Design specifications are available from Mirvac.

12 Services

The following points outline the final details for consideration in the dwelling design. These elements include pipes, TV antennae, wiring, air conditioners, drainage systems and storage areas. These Design Guidelines establish the best way to locate items that are essential for everyday living but may not contribute to an appealing environment. To create an attractive development, we have outlined ways in which such items can be concealed or positioned in a non-intrusive way.

Unless stated in the Site Planning section:

Services

- a) All pipes, wired services, clothes drying areas, hot water storage tanks and such items shall be concealed on the Lot, and shall not be seen from anywhere in the public realm.
- b) Meter boxes shall be located in the least obtrusive location from public view.
- c) TV antennae, satellite dishes and radio mats shall not be seen from the primary or secondary streets. These items shall be located where they are in the least obtrusive location from the neighbour's property (for example, located at the rear of the roof and below the roof ridge level away from the neighbours outdoor living area).
- d) Roof and wall mounted air conditioning units are not permitted unless fully concealed.
- e) Refer to the section on Environmental Performance for mandatory requirements and recommendations on passive solar and energy efficiency measures.

Stormwater

- a) Stormwater shall be collected within the Lot.

Water and Recycling

- a) Waste bin/s shall be stored and concealed from public view on the Lot.
- b) Provision shall be made for the appropriate number of bin pads (in accordance with City of Nedlands standard waste and recycling system requirements).

Storage

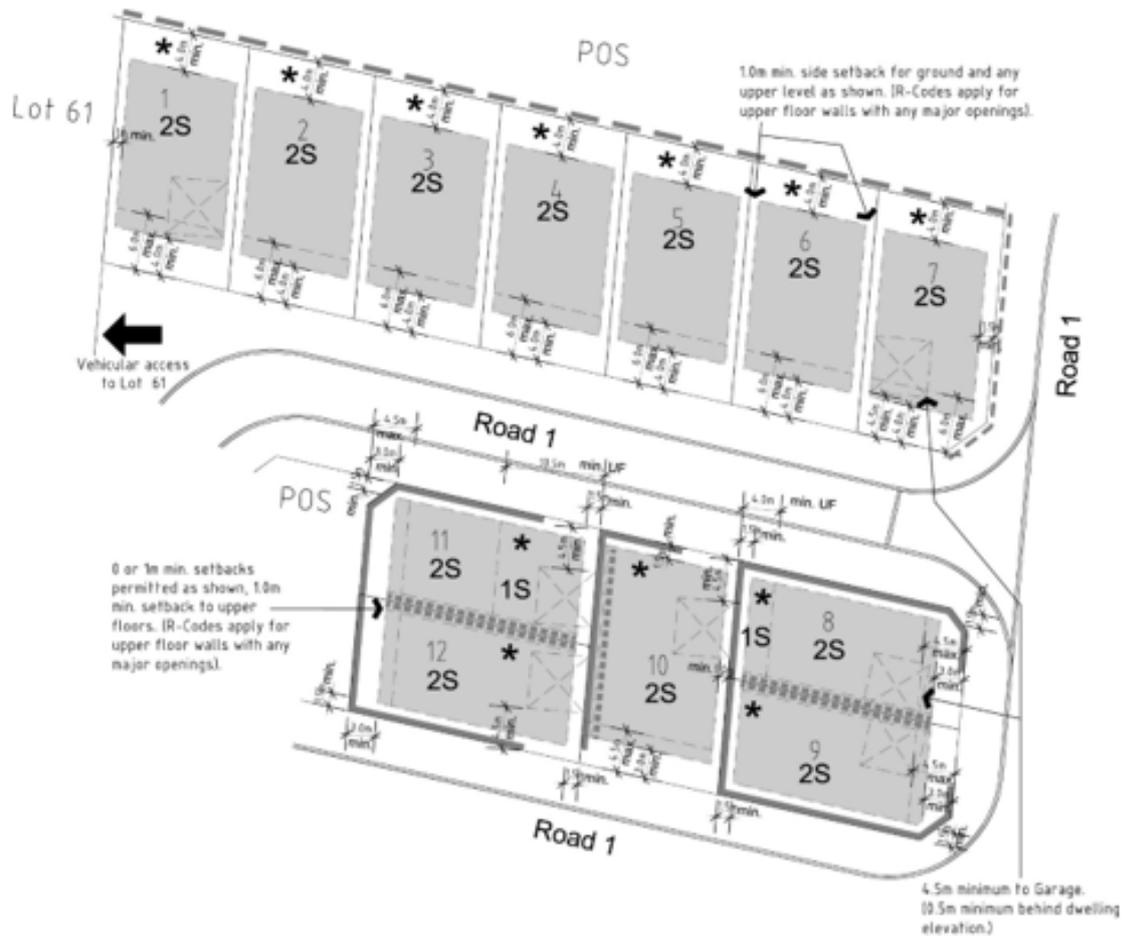
- a) Commercial vehicles, including caravans, boats, trailer etc. shall not be parked or stored on the Lot unless enclosed within a garage or fully screened from public view.
- b) Each dwelling in Precincts 1 to 5 shall include a secure store area (minimum 4sqm) that is integrated into the dwelling or the garage. If freestanding, the store area shall be constructed in a style, materials and colours to match the dwelling.



Council Resolution Number	D52.07
Adoption Date	11 September 2007
Date Reviewed/Modified	2 May 2019
	25 July 2023



APPENDIX 1: Detailed Area Plan – Precinct 1 (Lots 1 to 7) & Precinct 2 (Lots 8 to 12)



Legend:

- ★ location of outdoor living area
- development area
- ⊗ mandatory garage location
- 2S 2 storeys maximum
- retaining wall location
- no access permitted
- - - pedestrian access only
- · · · · nominated nl lot line location



Not to scale



APPENDIX 2: Detailed Area Plan – Precinct 3 (Lots 13 to 40)



- Legend:**
- ★ location of outdoor living area
 - development area
 - ⊗ mandatory garage location
 - 2S 2 storeys maximum
 - retaining wall location
 - nominated nil lot line location





Appendix 4: Detailed Area Plan – Precinct 5 (Lots 48 to 51)



- Legend:**
- ★ location of outdoor living area
 - development area
 - garage location (suggested)
 - 1S 1 storey maximum
 - 2S 2 storeys maximum
 - retaining wall location
 - no access permitted

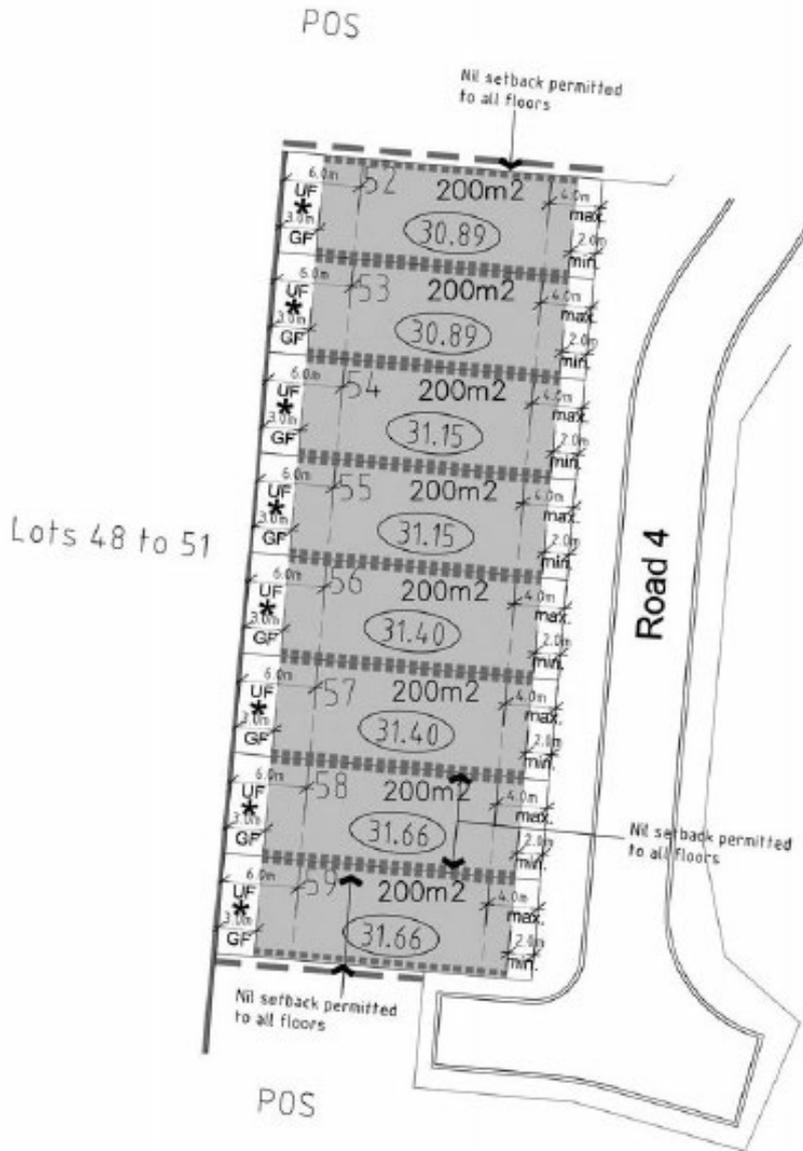


Not to scale



APPENDIX 5: Detailed Area Plan – Precinct 6 (Lots 52 to 59)

Sheet 1: Precinct 6, Lots 52 to 59



Legend (P6):

- * location of outdoor living area
- development area
- no access permitted
- nominated nil lot line location
- NB. 12m height maximum
- (30.89) pad level at completion of subdivision
- 351m² lot area

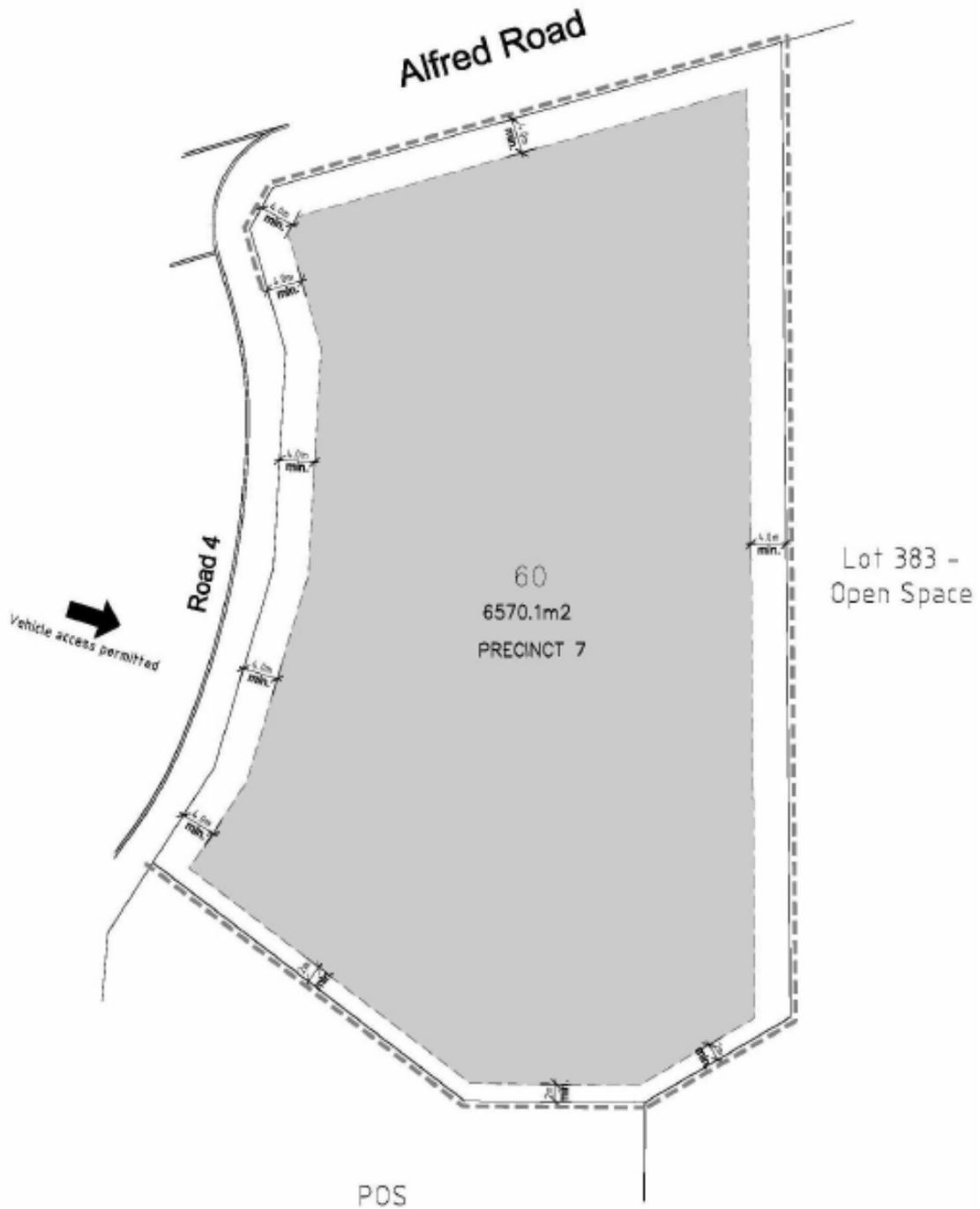


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APPENDIX 6: Detailed Area Plan – Precinct 7 (Lot 60)

Sheet 2: Precinct 7, Lot 60



Legend (P7):

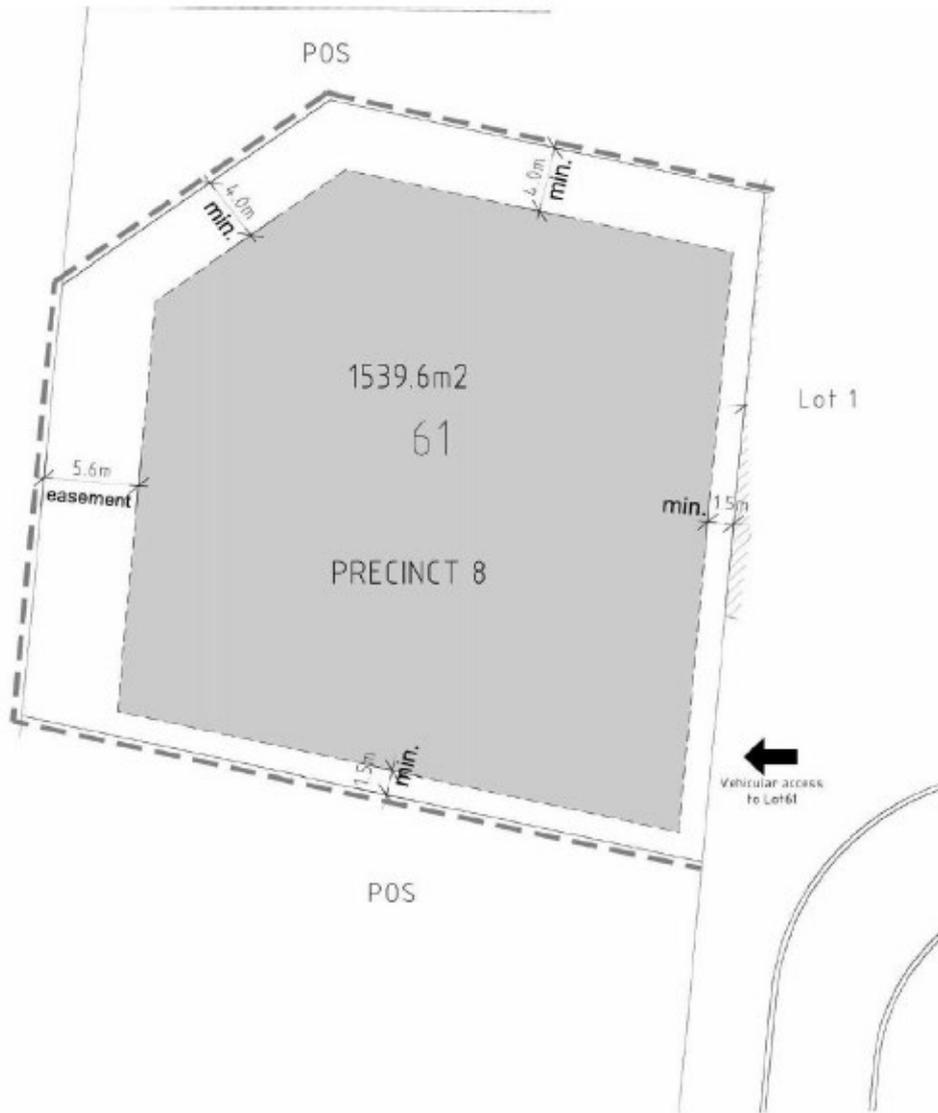
- development area
- pedestrian access only
- 38m² lot area





Appendix 7: Detailed Area Plan – Precinct 8 (Lot 61)

Sheet 3: Precinct 8, Lot 61



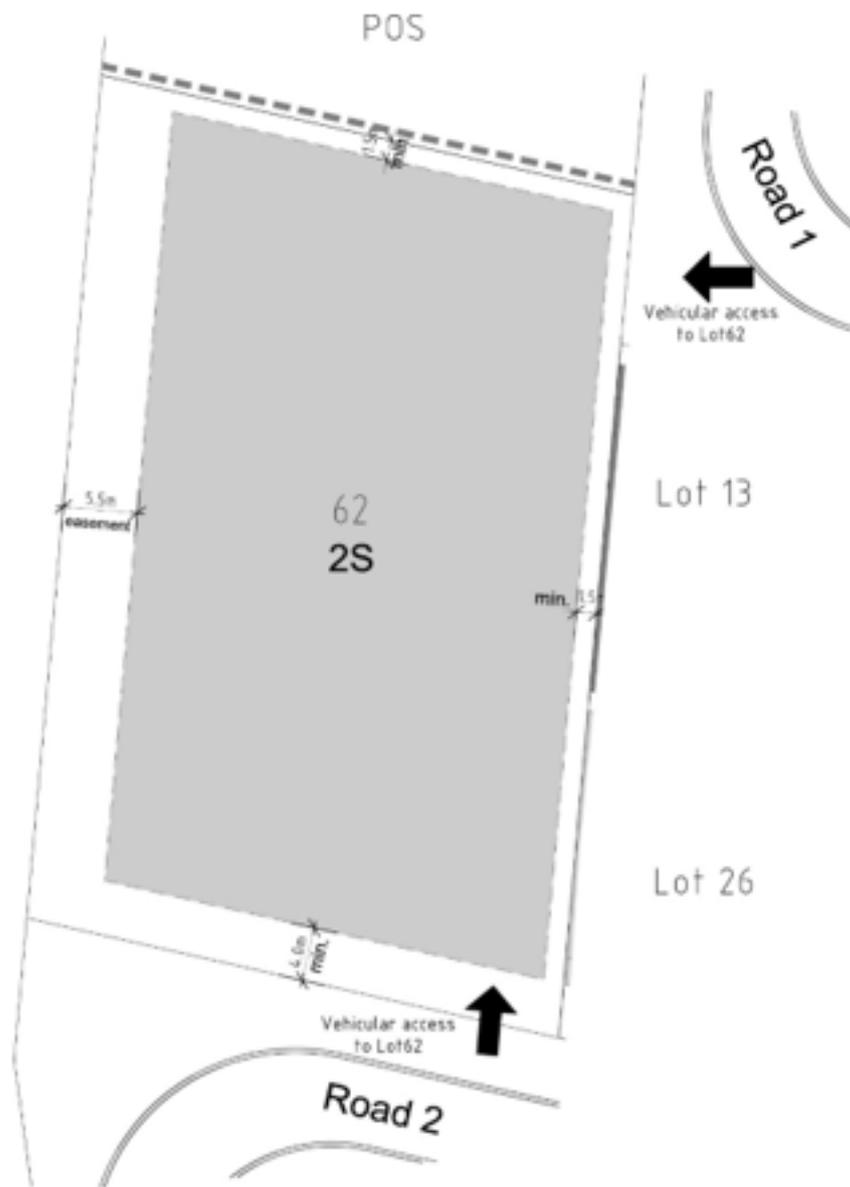
Legend (P8):

- development area
- pedestrian access only
- lot area





Appendix 8: Detailed Area Plan – Precinct 9 (Lots 62 to 64)



Legend:

-  development area
- 2S** 2 storeys maximum
-  pedestrian access only



Not to scale



Legend:

-  development area
- 2S** 2 storeys maximum
-  no access permitted



Not to scale